



Syracuse City Planning Commission Meeting February 3, 2015

Begins at 6:00 p.m. in the City Council Chambers
1979 West 1900 South, Syracuse, UT 84075

Regular Meeting

PLANNING COMMISSIONERS

CHAIR

T.J. Jensen

VICE CHAIR

Ralph Vaughan

Curt McCuiston

Dale Rackham

Greg Day

Trevor Hatch

Troy Moultrie

1. **Meeting Called to Order**
 - Invocation or Thought
 - Pledge of Allegiance
 - Adoption of Meeting Agenda
2. **Meeting Minutes:**
January 6th Regular Meeting and January 20th Joint Work Session and Regular Work Session
3. **Adjourn**

Work Session

1. **Department Business**
2. **Commissioner Reports**
3. **Upcoming Agenda Items**
4. **Discussion Item**
 - a. Title X Code amendment pertaining to the fencing ordinance
 - b. Title X code amendments pertaining to the PRD, Planned Residential Development, Zone
 - c. Title X code amendments pertaining to the Architectural Review Committee and Design Standards
 - d. Title X Code amendment pertaining to the landscape buffer ordinance
 - e. Title X Code amendment pertaining to Land Use Matrix
5. **Shared Solution Discussion**
6. **Adjourn**



SYRACUSE
EST. CITY 1935

Planning Commission Meeting

February 3, 2015

EXECUTIVE SUMMARY

Item 2: Meeting Minutes:

January 6, 2015	Regular Meeting
January 20, 2015	Joint and Work Session

Minutes of the Syracuse Planning Commission Regular Meeting, January 6, 2015

Minutes of the Regular Meeting of the Syracuse City Planning Commission held on January 6, 2015, at 6:00 p.m., in the Council Chambers, 1979 West 1900 South, Syracuse City, Davis County, Utah.

Present:

Commission Members: TJ Jensen, Chairman
Ralph Vaughan, Vice-Chairman
Dale Rackham
Curt McCuiston
Trevor Hatch
Greg Day
Troy Moultrie

City Employees: Sherrie Christensen, Director of Community & Economic Development
Jenny Schow, Planner
Noah Steele, Planner
Jackie Manning, Admin Professional
Terry Palmer, Mayor
Brian Bloemen, City Engineer
Jo Hamblin, Deputy Fire Chief

City Council: Craig Johnson

Excused:

Visitors:

Gary Pratt	Phillip S. Jour	Donna Lehman
Erik Craythorne	Kevin Hugie	Cindy Hugie
Jon Hugie	Sean Johnson	Michelle Banz
Colleen Thurgood	Richard Cowley	Brandon Gallacher
Josh Marshall	Marlon Fernandez	Julie Fernandez
Patt Zaugg	Ray Zaugg	Lance Jensen
Charlene Jensen	Verl Dahl	Lisa Wiebodlt

[6:04:06 PM](#)

1. **Meeting Called to Order:**

Commissioner Moultrie gave an innovation. The Pledge of Allegiance was led by Commissioner Day.

Chairman Jensen informed the Planning Commission of his decision to allow the General Plan Amendment requests on the agenda without a previous Work Session meeting being held for these two requests. He stated his reasoning. Chairman Jensen requested item 14 be moved to item 5.

[6:06:31 PM](#)

MOTION TO ADOPT THE PLANNING COMMISSION AGENDA FOR JANUARY 6, 2015 MEETING BY COMMISSIONER MCCUISTION, WITH THE PROPOSAL THAT ITEM 14 BE MOVED UP TO ITEM 5. THE MOTION WAS SECONDED BY COMMISSIONER RACKHAM. ALL WERE IN FAVOR, WITH NO OPPOSED, SO THE MOTION CARRIED.

[6:06:42 PM](#)

2. **Meeting Minutes:**

November 18, 2014 Regular Meeting

November 18, 2014 Work Session

Chairman Jensen requested a change to line 74 and strike beginning at "He stated Maybe Sherrie [Director Christensen] basically...keep the meeting under control" and requested a rephrasing to "Chairman Jensen pointed out that staff, specifically Director Christensen, does give input more often than some people feel is warranted. Chairman Jensen thinks that is fine as long as everyone else is given equal opportunity to speak."

December 2, 2014 Regular Meeting

[6:07:50 PM](#)

MOTION TO APPROVE THE PLANNING COMMISSION MEETING MINUTES REGULAR AND WORK SESSION FOR THE NOVEMBER 18, 2014, AND REGULAR MEETING FOR DECEMBER 2, 2014, AS AMENDED, BY COMMISSIONER MCCUISTION. THE MOTION WAS SECONDED BY COMMISSIONER RACKHAM. ALL WERE IN FAVOR, WITH NO OPPOSED, SO THE MOTION CARRIED.

[6:08:11 PM](#)

3. **Adoption of the Planning Commission 2015 Schedule:**

[6:09:11 PM](#)

MOTION TO ADOPT THE PLANNING COMMISSION SCHEDULE FOR 2015, BY COMMISSIONER DAY. THE MOTION WAS SECONDED BY MCCUISTION. ALL WERE IN FAVOR, WITH NO OPPOSED, SO THE MOTION CARRIED.

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4. **Public Comment:** This is an opportunity to address the Planning Commission regarding your concerns or ideas regarding items that have not been scheduled for a public hearing on this agenda. Please limit your comments to three minutes.

No comments were made.

[6:10:08 PM](#)

5. **General Plan Committee:** Duration Extension Request.

Commissioner Rackham stated the committee has been reviewing the master plan and have made recommended changes, but they have not had a chance to completely review everything asked of them. The committee would like to request an extension for up to 180 days, although they do not anticipate the review taking that long. He stated they will meet next Wednesday [January 14, 2015] from 6:30pm to 8:30pm and then every other Wednesday after that. The dates will be posted on the Syracuse City webpage, as well as on the city bulletins.

[6:11:16 PM](#)

MOTION TO APPROVE THE EXTENSION FOR THE 180 DAYS FROM TODAY'S DATE [JANUARY 6, 2015], REQUESTED BY THE GENERAL PLAN SUBCOMMITTEE, BY COMMISSIONER VAUGHAN. THE MOTION WAS SECONDED BY COMMISSIONER DAY. ALL WERE IN FAVOR, WITH NO OPPOSED, SO THE MOTION CARRIED.

[6:11:33 PM](#)

6. **Public Hearing – Subdivision Amendment:** Monterey Estates Phase 1-3, Ivory Homes, located at 1500 W 700 S, R-3 Zone.

Commissioner Day disclosed that the firm he works for has done work with Ivory Homes, but he has not worked directly with the applicant on this specific project. There were no objections or requests for Commissioner Day to recuse himself from this item.

Planner Schow summarized a staff memo from the Community Development that explained:

The applicant has requested to amend the phase lines for the Monterey Estates in order to include a club house in phase 1, and a stub road in phase 3 to provide access for the future addition of phase 6 and 7. The requested changes result in the overall loss of two lots within the subdivision. Planner Schow stated the street name for 1600 West is undecided, but the suggested name will be Ninigret Drive. There are no outstanding items with the city.

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Public hearing open.

[6:15:09 PM](#)

Ray Zaugg, Syracuse, Utah, inquired about the naming of roads. His preference for a road name would be 1600 West versus Ninigret Road to allow for better road navigation. He expressed the difficulty of traveling outside of Utah when there are not number streets. Planner Schow stated the purpose in naming the street was recommended both by the planning department and the engineering department because the street begins at 1550 West on the north end and turns into 1600 West on the south end. They felt it would be easier if the street was named, rather than having two separate numbered streets along the same road.

Chairman Jensen inquired about the possibility of having grid coordinates on the sign as well as the named sign. Planner Schow confirmed that would be a possibility.

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Public Hearing Closed.

[6:16:48 PM](#)

Commissioner Vaughan inquired about the possibility of keeping 1550 west all along the road versus dealing with 2 separate names. Planner Schow stated every developer has the option of naming the streets within their development. It is solely a preference. She stated generally she guides the developers towards numbers, but in this case they consulted with the fire marshal and it is easier for 911 calls if it had a street name, rather than 2 different street coordinates.

Commissioner Rackham inquired about an HOA (Homeowners Association) for this subdivision. Planner Schow confirmed there is an HOA and confirmed the clubhouse will be for residents of this subdivision. She stated the open space, the park in the southern corner, does have public access.

There was a general consensus from the Planning Commission to have the street name and the numbering coordinates on the street sign.

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MOTION TO APPROVE THE SUBDIVISION AMENDMENT FOR MONTEREY ESTATES PHASE 1-3, IVORY HOMES, LOCATED 1500 W 700 S, R-3 ZONE, SUBJECT TO SYRACUSE MUNICIPAL CODE, BY COMMISSIONER MCCUISTION. THE MOTION WAS SECONDED BY COMMISSIONER MOULTIRE. ALL WERE IN FAVOR, WITH NO OPPOSED, SO THE MOTION CARRIED.

126 [6:20:17 PM](#)

127 7. **Public Hearing – General Plan Amendment: request from General Commercial to Planned Residential Development**
128 **Zone, Q2 LLC, located at 1600 W 1700 S.**

129
130 Planner Schow summarized a staff memo from the Community Development Department that explained:

131 The current general plan designation for this parcel is General Commercial. The applicant has requested to break up
132 the parcel and zone; the northern part as Planned Residential Development while leaving a little over one half acre along
133 Antelope Drive in the General Commercial zoning. The applicant has indicated intent to develop a 55 and older patio
134 home community. A rezone will also be required upon approval of this application.

135 [6:21:25 PM](#)

136 Eric Craythorne, West Point, Utah stated this property has been zoned general commercial and has been for sale for
137 over 8 years. He stated due to being unsuccessful in selling this property their intent is to have an active 55 and older
138 community. He discussed the benefits of having this type of subdivision for a buffer to the proposed corridor.

139 Chairman Jensen stated there is a request from City Council to adjust PRD density to 8. Director Christensen stated
140 the code has been drafted to maximize at 8 density for PRD Zone, but the Planning Commission tabled action on it
141 because they opened the General Plan for review with the General Plan Subcommittee. She stated within the draft it does
142 say that the City Council determines the dwelling unit density based upon a specific recommendation from the Planning
143 Commission. Mr. Craythorne stated his intent is to be similar to the subdivision south of Smiths, [Sunset Park Villas].
144 Commissioner Rackham inquired about the acreage for the smaller lot. Mr. Craythorne confirmed it is 1 acre. He stated he
145 currently did not have any plans for the 4 existing homes that he owned that would remain General Commercial Zone.

146 Commissioner Vaughan inquired about the width of from Banbury to the east. There was discussion as to whether
147 the width was over 500 feet. Mr. Craythorne stated there would be an access off of Banbury Drive and the goal would be
148 to have an access next to the auto shop to come out on 1700. He stated he met with UDOT (Utah Department of
149 Transportation) that morning. He would have to apply for a variance, but it is very close to meeting their standards. Mr.
150 Craythorne confirmed there would be an outlet to the south. There was discussion regarding the second access point.
151 There have not been a lot of details on the engineering yet, because it is a conceptual plan at this point.

152 [6:29:43 PM](#)

153 Public Hearing Open.

154 [6:29:51 PM](#)

155 Kent Pearsen, Syracuse, Utah is the owner of Pearsen Auto. He confirmed he received the public notice letter. He
156 stated he has received complaints regarding the auto-motive shop. His surrounding neighbors have issued complaints
157 pertaining to air hammers, compressors [noise]. He expressed concern at the idea of having more neighbors at a closer
158 proximity because of the current complaints. He expressed concern about unsuspecting future residents not knowing what
159 they would be facing regarding the noise. Mr. Pearsen stated he lives in Canterbury and mentioned the consistent noise
160 with Walmart as well as the garbage trucks in the morning. He compared the two scenarios as being comparable noise
161 annoyance. Mr. Pearsen stated this would eliminate any future expansion for his auto shop. He approached the applicants
162 father regarding purchasing a portion of land and the applicant was told it was an "all or none" deal.

163 [6:32:00 PM](#)

164 Verl Dahl, Clearfield, Utah stated he owns property near the proposed zone change. He inquired about the future
165 development about whether it would be rental or owner occupied. Mr. Craythorne confirmed the intent would be owner
166 occupied.

167 [6:32:51 PM](#)

168 Public Hearing Closed.

169 Commissioner Rackham stated he didn't mind the PRD, but he didn't like the idea of a road divide the other section,
170 the road next to Banbury road. He didn't feel 1 acre was enough acreage for the PRD. He stated he would prefer to see
171 the Residential area blend with the adjacent zoning.

172 Commissioner Hatch addressed the concern regarding noise, and suggested adding a note on the plat to bring buyer
173 awareness; similar to what you see in agricultural areas. Director Christensen stated that could be added to the plat, but it
174 wouldn't ensure the potential buyers would read the plat. If noise is a concern she recommended a landscape buffer
175 requirement to help mitigate the noise. There was discussion regarding the buffer ordinance with many variables that
176 determine the requirements. Additional analysis would need to be done on the proposed development to determine the
177 appropriate buffer.

178 Commissioner McCuiston stated although there is a known commercial use at one point, there is also zoned
179 commercial uses for the entirety for Antelope Drive, so any potential buyer should be able to see the auto shop when
180 reviewing the area. He felt it was an undue burden on the developer for a known residence advised caution.

181 There was a general consensus among the Planning Commissioners to have the one acre lot be zoned to blend with
182 the adjacent existing properties. Commissioner Vaughan disclosed that he is a customer of Kent Pearsens auto-body
183 shop, but has not been in to see him for 6 months. He stated he did not owe Mr. Pearsen any money, nor did Mr. Pearsen
184 owe him any money.

185 Commissioner Day asked the applicant if he had any thoughts or reservations about the 1 acre property not being
186 zoned PRD. Mr. Craythorne stated he hasn't reviewed the depth as of yet, so he was not sure if it could meet the
187 requirements of the zone. The applicant confirmed he would be OK with the Planning Commission leaving the smaller lot

188 as is. The applicant preferred to move forward with the General Plan Amendment on the east side and will address the
189 west side at a later date.

190 There was a general consensus to address the landscape buffer at the time of a site plan submittal. Chairman
191 Jensen expressed concern regarding the pending ordinance pertaining to PRD density. He stated he would not want to
192 put this application forward until they see the PRD ordinance change. He expressed concerns regarding UDOT
193 connecting into state roads. He stated until they know for sure that UDOT will grant that second access on Antelope Drive,
194 he is hesitant in granting the approval. He did feel that the PRD made sense in that area minus his previous reservations.

195 [6:52:52 PM](#)

196 MOTION TO RECOMMEND APPROVAL TO THE CITY COUNCIL FOR THE GENERAL PLAN AMENDMENT,
197 REQUESTED BY Q2 LLC, PROPERTY LOCATED APPROXIMATELY 1600 W 1700 S, GENERAL COMMERCIAL TO
198 PLANNED RESIDENTIAL DEVELOPMENT ZONE, WITH THE CONDITION THAT ONLY THE EASTERN PORTION BE
199 CHANGED ON THE GENERAL PLAN TO PRD, BY COMMISSIONER DAY. THE MOTION WAS SECONDED BY
200 COMMISSIONER HATCH. COMMISSIONER DAY, HATCH, MOULTRIE, VAUGHAN, AND MCCUISTION VOTED YAY.
201 CHAIRMAN JENSEN AND COMMISSIONER RACKHAM VOTED NAY. THE MOTION CARRIED WITH A MAJORITY
202 VOTE.

203 [6:53:48 PM](#)

204 **8. Public Hearing – General Plan Amendment: request from Neighborhood Services and R-3 Residential to Professional**
205 **Office Zone, Q-2 LLC, located at 1407 S 2000 W.**

206
207 Planner Schow summarized a staff memo from the Community Development Department that explained:

208 The current general plan designation for this parcel is Neighborhood Services and R-3 Residential. The applicant
209 has requested a change to Professional Office. This lot is very long and narrow making it very difficult for residential
210 development. The General Commercial zone will allow for increased development possibilities including a potential
211 assisted living facility. City staff has no issues with this request.

212 [6:55:44 PM](#)

213 Eric Craythorne, West Point, Utah gave a background on the parcel. He stated a few years prior he requested a
214 rezone for R-3 Residential and at the time the residential uses were feasible. He stated since that time there have been
215 some ordinance changes where it has made it impossible to develop the property in an R-3 Residential Zone. He felt the
216 best and highest use of the property would be Professional Office Zoning. There was discussion regarding the previous
217 applications from the applicant regarding this property. The depth of the lot is 629 feet by 132 feet.

218 [7:00:43 PM](#)

219 Public Hearing Open.

220 [7:00:50 PM](#)

221 Shawn Johnson, Syracuse, Utah is an adjacent home owner on the North Side. Mr. Johnson asked about any barrier
222 [buffer] requirement to separate the residential zone from the professional office zone. He inquired about constant lighting,
223 noise, fences, etc. Planner Schow stated lighting would be determined and regulated at site plan review. Planner Schow
224 stated anytime there is a request for a commercial next to residential area a buffer is required. She stated the standard
225 fencing is 6 foot vinyl fencing. Mr. Johnson expressed concern regarding a potential storage unit business. Planner Schow
226 confirmed storage units are not allowed in Professional Office Zoning.

227 [7:03:23 PM](#)

228 Commissioner Vaughan informed Mr. Johnson that there were several options available to the Planning Commission
229 to help mitigate the transition between the zones.

230 [7:04:11 PM](#)

231 Michelle Banns, Syracuse, Utah property owner to the south. Ms. Banns asked about the rezone process. Chairman
232 Jensen reviewed the rezone process and options available. Ms. Banns inquired about property tax increases. Planner
233 Schow stated property tax increases are dependent upon the land use.

234 [7:07:12 PM](#)

235 Richard Connelly, Syracuse Utah, is property owner to the north. Mr. Connelly inquired about the traffic impact on
236 2000 West. He discussed the various traffic hazards in regards to the school traffic. Planner Schow stated without
237 knowing or having a site plan it is difficult to predict the traffic impact.

238 [7:09:01 PM](#)

239 Patt Zaug, Syracuse, Utah asked the applicant if he had been in touch with the church to see if they were interested
240 in purchasing the land for expansion. She expressed concern about the road access. She stated the property has been a
241 problem because of the length and wished the applicant luck.

242 [7:10:09 PM](#)

243 Public Hearing Closed.

244 Chairman Jensen discussed the ordinance regarding the requirement for residential outlets. City Engineer Bloemen
245 stated the road is a state road so they would defer to them. He stated the distance for the 35 mile per hour intersection is
246 350 feet.

247 [7:15:10 PM](#)

248 MOTION TO RECOMMEND APPROVAL TO THE CITY COUNCIL FOR THE GENERAL PLAN AMENDMENT,
249 REQUESTED BY Q2 LLC, PROPERTY LOCATED APPROXIMATELY 1407 S 2000 W, CHANGE FROM
250 NEIGHBORHOOD SERVICES AND R-3 RESIDENTIAL TO PROFESSIONAL OFFICE ZONE, BY COMMISSIONER
251 RACKHAM. THE MOTION WAS SECONDED BY COMMISSIONER MCCUISTION. COMMISSIONER MOULTRIE
252 VOTED NAY; COMMISSIONERS JENSEN, VAUGHAN, MCCUISTION, RACKHAM, HATCH, AND DAY VOTED AYE.
253 THE MOTION CARRIED.

254 [7:15:45 PM](#)

255 **9. Public Hearing - Rezone: request from R-3 Residential to Professional Office Zone, Q-2 LLC, located at 1407 S 2000 W.**
256

257 Planner Schow summarized a staff memo from the Community Development Department that explained:
258 As presented this property also has a General Plan Amendment request in. Any motion made shall be conditional upon
259 City Council decision for the General Plan Amendment. City staff has no issues with this request.

260 [7:16:54 PM](#)

261 Public hearing open.

262 [7:17:13 PM](#)

263 Public Hearing closed. No comments were made.

264 [7:17:22 PM](#)

265 MOTION TO RECOMMEND APPROVAL TO THE CITY COUNCIL FOR THE REZONE, REQUESTED BY Q2 LLC,
266 PROPERTY LOCATED APPROXIMATELY 1407 S 2000 W, CHANGE FROM R-3 RESIDENTIAL TO PROFESSIONAL
267 OFFICE ZONE, BY COMMISSIONER DAY. THE MOTION WAS SECONDED BY COMMISSIONER RACKHAM. ALL
268 WERE IN FAVOR WITH NO OPPOSED, SO THE MOTION CARRIED.

269 [7:18:57 PM](#)

270 **10. Public Hearing – Site Plan: residential facility for persons with a disability, Marlon Fernandez, located approximately**
271 **1886 S 1485 W, R-3 Zone.**
272

273 Planner Steele summarized a staff memo from the Community Development Department that explained:

274 The applicant is requesting site plan approval for a “Residential Facility for Persons with a Disability” that will occupy
275 an existing home in a residential neighborhood. The address is 1886 S 1485 W, zoned R-3. The facility will have 5
276 bedrooms for residents who are elderly. Recovering addicts, Alzheimer’s patients, dementia patients, or institutionally
277 insane patients are not allowed in this type of facility. Patients will include elderly people who cannot live on their own
278 because of age or other illness. The home will be staffed 24 hours per day by a professional nurse. The exterior
279 appearance of the home will not change besides a wheelchair ramp. The applicant has met the minimum parking
280 requirement and there was not a lot of anticipated traffic as the patients are immobile. The site has a 3 car garage to
281 accommodate staff parking.

282 Planner Steele discussed the various correspondence received from local residents expressing concern regarding
283 the applicants proposal.

284 [7:22:06 PM](#)

285 Marlon Fernandez, Syracuse Utah, clarified that the facility would be staffed by a certified nurse aide. Commissioner
286 Vaughan inquired about the size of the bathroom on the site plan. Mr. Fernandez stated it will be remodeled to meet state
287 and city standards. Commissioner Vaughan discussed the standards for ADA bathrooms. Mr. Fernandez confirmed that
288 he will meet the entire guidelines for ADA. Julie Fernandez stated she is a registered nurse and will be the administrator
289 for this facility. She stated the Department of Health has inspected the site and gave feedback that they would be able to
290 remodel the bathroom.

291 Commissioner Vaughan discussed the requirements for ADA ramps and railings. Director Christensen discussed the
292 process for the Conditional Use Permit. She stated the building official and plans examiner review and enforce ADA
293 requirements. She wouldn’t expect the applicant to remodel their home with the hopes that they would get a Conditional
294 Use Permit for the assisted living. She stated they should get the Conditional Use Permit first, next they would be able to
295 apply for the permit to change the occupancy use for the assisted living, and then they would need to comply with all ADA
296 standards and building standards. Commissioner Vaughan stated the state code R432-6-5-1-5 reads that the applicant is
297 required to complete everything done by local ordinances, all codes, and receive certificate of occupancy from the city.

298 Commissioner Vaughan questioned the applicants knowledge of the requirements regarding this project and
299 expressed his concerns granting this project without seeing construction plans. Commissioner Vaughan inquired about
300 the applicants qualifications and experience with this type of facility. Mrs. Fernandez stated she is currently working at a
301 nursing home as an assistant director, with 11 years’ experience. Commissioner Vaughan inquired about the type of
302 residents at this facility. Mrs. Fernandez stated type 2 residents require a little more assistance in more than 2 activities of
303 daily living. She stated the targeted residents will be elderly residents who need assistance in their everyday living. They
304 will be stable in their health and will be required to get a doctors order to confirm their conditions are stable.

305 [7:34:38 PM](#)

306 Public Hearing Open.

307 [7:34:44 PM](#)

308 Charlene Jensen, Syracuse, Utah stated she owns the home next to the proposed facility. Ms. Jensen stated she

309 didn't feel the applicants had done their homework very well, because with Obamacare going in they cannot bill Medicare
310 for assisted living in a residential home. She stated there are only 4 bedrooms on the site plan and the house has stairs
311 that go down to the basement that cannot be reconstructed to make a place for them to enter the basement for additional
312 living quarters. She stated it will be a hit on the value of the neighborhood homes. Commissioner Vaughan showed Ms.
313 Jensen there were 5 bedrooms on the main level. She stated there are a lot of things that CNA's cannot do for those
314 residents under 24 hour care. She stated certain medications can't be administered, there are certain ADL's that a CNA
315 cannot help a nurse with, so they would have to have additional nursing staff. She inquired about controlling visitors
316 parking at that facility.

317 [7:36:31 PM](#)

318 Lisa Wieboldt, Syracuse, Utah lives in the cul-de-sac of the proposed facility. Ms. Wieboldt stated there are 12 homes
319 in the cul-de-sac and there are several active children that play hockey; approximately 20 children living in the area. She
320 stated the letter has addictive recovery that could be in the facility. She didn't feel it was an appropriate location for this
321 type of facility. She has lived in her property for 6 years and has seen the property values crash since 2009. A lot of the
322 residents are backwards in their homes. She stated this home was sold in a Short-Sale and sat vacant for 2 years. She
323 stated it doesn't help anyone for this type of facility to be in the cul-de-sac for those struggling to make their mortgages
324 and keep their families safe and happy. She stated she can't imagine that people brought into this facility would be happy
325 with the noise that goes on. She stated her children are loud and out front 24-7 and it is an active community. She can
326 see great opportunity for service, but she didn't feel the floodgate should be opened.

327 Chairman Jensen asked if her children played street hockey. Ms. Wieboldt confirmed. She said the neighbors have
328 been great about letting the kids play hockey in the street. She commented on the potential for increase in traffic and the
329 lack of parking.

330 [7:39:47 PM](#)

331 Lance Jensen, Syracuse, Utah stated he lives next to facility. He agrees with what the other residents have stated.
332 He stated it's pretty well known that most elderly people get dementia. He inquired what the applicant will do when a
333 patient gets dementia, and asked if they will kick the residents out of the home. Planner Steele stated his understanding is
334 there are specific qualifications that make a patient considered to be a dementia patient versus a regular patient. Mr.
335 Jensen asked how the staff will monitor that. He expressed concern regarding residents leaving the home without staff
336 knowledge and having them strip naked in the front yard. He remarked on the impact that scenario may have on his
337 young daughters. He stated he has 3 kids and the neighborhood is full of kids. He stated he is uncomfortable with the
338 facility being located within that neighborhood. He stated his wife works in the medical field and is very knowledgeable
339 and understands the requirements of taking care of individuals at that capacity. He stated the applicants are not up to
340 status for what they have planned. He foresees future problems down the road.

341 [7:42:19 PM](#)

342 Kevin Hugie, Syracuse, Utah owns the home directly to the north. He inquired if this has been done in Syracuse.
343 Director Christensen stated this has been done in Syracuse before. She expressed empathy for all the comments made
344 and clarified an assisted living facility is a permitted use within this zone. She stated it is federally protected under the Fair
345 Housing Act, so there are certain aspects that the Planning Commission can review, such as the outward appearance,
346 standards for ADA, etc. He stated there are 13 homes in the general neighborhood. He expressed traffic concerns. He
347 stated it is not something he wants to see in his neighborhood with his kids. He expressed concern about property values
348 going down.

349 [7:44:37 PM](#)

350 Public Hearing Closed.

351 Chairman Jensen inquired about the parking requirement. Planner Steele stated 1 car per 5 beds minimum and the
352 applicant has 1.5 for 5 beds. Planner Steele stated the state regulations are strict regarding care, and the role of the city is
353 to ensure the facility doesn't change the residential character of the neighborhood.

354 Chairman Jensen inquired about patients that have dementia. Mrs. Fernandez stated it is state code that persons
355 with mental disabilities are not allowed in this type of facility. She assured that she would not admit residents who will
356 cause problems for the neighborhood. She stated the residents will be grandmas and grandpas who need minimum
357 assistance with activities of daily living. She stated in regards to children, these residents will be supervised at all times
358 including when they are outside. Mrs. Fernandez will be at the facility every day to assist the CNA with their duties and to
359 offer assistance to the residents. She expressed concerns regarding the misconceptions of dementia patients. She gave
360 insights to her personal experience with dementia patients. In short, they would not be likely to lash out at children. She
361 asked the neighbors to see these patients as people, not objects. She stated it is hard to get old. They are in their most
362 vulnerable time of life. The patients living within the facility will not have any mental disabilities and if they begin to show
363 symptoms of dementia they will be placed at the right care facility. This facility gives elderly persons an opportunity to
364 have a quality of life for the remainder of their years.

365 Chairman Jensen expressed concern regarding the parking space ordinance and felt that a minimum of 2 parking
366 spaces for a facility such as this would be more efficient. Commissioner Moultrie expressed concern regarding the 1
367 bathroom for 5 residents. He expressed concern regarding safety for children. Commissioner Day expressed empathy for
368 the residents and stated the code is clear that this is a permitted use. He discussed potential conditions for the property to
369 help mitigate impact. He felt his hands were tied with this application. Commissioner Vaughan discussed the Fair Housing
370 Act and how it affects the city ordinance. He expressed concerns regarding ADA compliance. Commissioner Vaughan

371 referred to the ADA code 1-2-102 which discusses the various type 2 residents that could live at the facility.
372 Commissioner McCuiston expressed concerns regarding the single bathroom and felt it did not seem sufficient for the
373 demand. He stated he had faith in the building inspectors to mandate the ADA requirements. Commissioner Hatch stated
374 as long as the applicant is compliant with ordinances he didn't feel they would be able to deny the application.

375 Commissioner Rackham asked if there was a requirement for the number of bathrooms through ADA. Director
376 Christensen stated that would be a health department regulation that the state would mandate. Commissioner Rackham
377 stated based on the application he didn't feel there was enough information to verify what the applicant is proposing is
378 doable.

379 [8:00:31 PM](#)

380 Mrs. Fernandez confirmed the basement will be used by CNA's for storage of their personal affects. There will be no
381 one living in the basement. There is a bathroom downstairs for the staff to use. Chairman Jensen expressed concern
382 regarding the single bathroom. His biggest concerns were the neighborhood children playing in the street and their safety
383 with the new facility. He expressed concern for the future residents of the facility with the noise from the children playing.

384 Chairman Jensen informed the audience the role of a planning commission was to review an application as it stands
385 and decide if it meets the city ordinance. Planner Steele reminded the Planning Commission they would be able to add
386 conditions to help reduce the impact to the neighborhood, such as fencing, landscaping, etc. Chairman Jensen discussed
387 the possibility of a fence. Commissioner Hatch discussed the types of ramps and design. Commissioner Vaughan
388 expressed the need for a break room for the employees who work at the facility. Commissioner Rackham asked about the
389 option of tabling the application until a more detailed drawing is obtained pertaining to ADA compliance. Planner Steele
390 indicated that tabling is an option for the Planning Commissioners as long as they state the reasoning behind their motion.
391 There was a general consensus from the Planning Commissioners to review a more detailed layout of the home from the
392 applicant.

393 Commissioner Day discussed the potential conditions to place on the site plan approval, such as a solid fence and an
394 ADA ramp that is congruent with the exterior materials of the structure to minimize the negative surrounding homes.

395 [8:12:58 PM](#)

396 MOTION TO TABLE THE SITE PLAN APPROVAL TO FEBRUARY 3, 2015, FOR A RESIDENTIAL FACILITY FOR
397 PERSONS WITH A DISABILITY, REQUESTED BY MARLON FERNANDEZ, LOCATED AT 1886 S 1485 W, R-3 ZONE,
398 TO ALLOW FOR A MORE DETAILED DRAWING CLEARLY SHOWING ADA COMPLIANCE FOR THE BATHROOM
399 AND THE RAMP, BY COMMISSIONER RACKHAM. THE MOTION WAS SECONDED BY COMMISSIONER VAUGHAN.
400 ALL WERE IN FAVOR, WITH NO OPPOSED, SO THE MOTION CARRIED.

401 [8:14:35 PM](#)

402 **11. Public Hearing – Subdivision Amendment: Huckleberry Subdivision, Alan Saunders, located at 1642 S 2625 W, R-1**
403 **Zone.**

404
405 Planner Schow summarized a staff memo from the Community Develop Department that explained:

406 The applicant has requested to amend lot 3 of the Huckleberry Phase 1 Subdivision to include an adjacent parcel of
407 .02 acres also owned by the applicant. The purpose of this request is to allow the applicant to build an addition onto his
408 home and legally meet the setback requirements of the R-1 zone. There are few minor amendments that need to be
409 adjusted on the plat; otherwise, city staff has no issues with this request.

410 Commissioner Rackham disclosed the applicant is a neighbor and a friend. He stated they live fairly close. The
411 planning commission did not have any issues with Commissioner Rackham reviewing this item.

412 [8:17:10 PM](#)

413 Public Hearing Open.

414 [8:17:18 PM](#)

415 Gary Pratt, Syracuse, Utah asked if it was the Syracuse Ordinance to have straight property lines. Planner Schow
416 stated the city code requests the lines to be perpendicular to the street when possible, but it is not an actual requirement.
417 Mr. Pratt stated it was possible to make the line straight, but obviously would then make the property line on the other
418 parcel irregular.

419 [8:19:10 PM](#)

420 Public Hearing Closed.

421 MOTION TO APPROVE THE SUBDIVISION AMENDMENT FOR HUCKLEBERRY SUBDIVISION, REQUESTED
422 FROM ALAN SAUNDERS, LOCATED AT 1642 S 2625 W, R-1 ZONE, SUBJECT TO SYRACUSE CITY MUNICIPAL
423 CODE, BY COMMISSIONER DAY. THE MOTION WAS SECONDED BY COMMISSIONER HATCH. ALL WERE IN
424 FAVOR WITH NO OPPOSED, SO THE MOTION CARRIED.

425 [8:19:53 PM](#)

426 **12. Final Plan Approval: Ninigret North II, located approximately 1550 S SR-193, R-3 Residential & GC (General**
427 **Commercial) Zone.**

428
429 Planner Schow summarized a staff memo from the Community Development Department that explained:

430 **General Plan & Rezone**

431 Planning Commission August 8, 2014

432 City Council August 26, 2014
433 Concept Plan Review November 19, 2014
434 **Preliminary Plan Approval**
435 Planning Commission December 2, 2014
436 City Council December 9, 2014
437

438 The development has been amended from Preliminary approval. After discussion with City Council, the developer
439 has opted to subdivide the commercial zone into 4 lots, thus making the overall development 5 lots. In addition, the city
440 has worked with the developer to have 1550 West paved to complete the connection through to Monterrey Estates Phase
441 1, thus providing access from 700 S. Planner Schow stated she will include the street name as well as the numerical
442 number on the street name.

443 [8:22:23 PM](#)

444 Eric Rice, Layton, Utah had nothing to add.

445 Chairmen Jensen opened the meeting for public comment.

446 [8:23:32 PM](#)

447 Gary Pratt, Syracuse, Utah stated he had 3 issues. The first being the amount of commercial property. Having
448 worked with state developers, all said they need a 300 feet minimum for a commercial development. He stated the most
449 recent developer is behind Golds Gym. He stated in the developers original proposal the road did not encroach on the
450 commercial property as it does right now, thus cutting the set-back to less than 300 feet. He stated the reasons for 300
451 feet. (financially productive, set-backs, and for parking and landscaping)

452 Mr. Pratt stated the road needs to be on the other side of the property line which would move the academy south. He
453 stated the road that is now a cul-de-sac was supposed to be looped around and tied into R-3 subdivision. He stated the
454 academy on Hill field Road required an island added by the city because the amount of turn arounds from parents picking
455 up their children. He stated the Syracuse Arts Academy said they would have a loop through their property to pick their
456 kids up. He stated in reality parents do whatever they want. He reiterated his 3 issues: the set-back in the commercial, the
457 put through for the looping road in Parcel A, and the land locked parcel. He stated if this is not addressed by the planning
458 commission it will be addressed by the city council.

459 [8:27:21 PM](#)

460 Donna Lehman, Syracuse, Utah stated she lives on the corner by 1525 and 700 South. She expressed concern
461 regarding the 140 new homes near her home. She inquired about an additional road near SR-193 to help mitigate traffic.
462 Chairman Jensen confirmed there would be a road.

463 [8:28:08 PM](#)

464 Chairman Jensen stated the 266 feet is not quite 300 feet, but it is close. He stated his concern is that it is prime
465 commercial property.

466 [8:29:17 PM](#)

467 MOTION TO RECOMMEND APPROVAL TO THE FINAL PLAN FOR NINIGRET NORTH II, LOCATED
468 APPROXIMATELY 1550 S SR-193, R-3 RESIDENTIAL ZONE, SUBJECT TO SYRACUSE MUNICIPAL CODE, BY
469 COMMISSIONER MCCUISTION. THE MOTION WAS SECONDED BY COMMISSIONER HATCH. CHAIRMAN JENSEN
470 VOTED NAY. COMMISSIONERS VAUGHAN, MCCUISTION, DAY, RACKHAM, MOULTRIE, AND HATCH VOTED AYE.
471 THE MOTION CARRIED WITH A MAJORITY VOTE.

472 [8:30:03 PM](#)

473 **13. Conditional Use Permit:** Day treatment for person with a disability, Training in Life Choices LLC, located at 2432 W 1700
474 S ste 2&3, GC (General Commercial) Zone.
475

476 Planner Schow summarized a staff memo from the Community Development Department that explained:

477 This application is for an adult day training facility for persons with disabilities and evening training for children. The
478 applicant has provided a detailed written description for this request, please see the applicants letter of intent included in
479 the packet.

480 The proposed location is adjacent to a new restaurant in Syracuse City which provides alcoholic beverages. I have
481 researched regulations with the Department of Alcoholic Beverage Control (DABC) and with the Utah Department of
482 Human Services, both online and over the phone to ensure the proximity of these two uses is allowed by state regulation.
483 The following links have been provided for your information. City staff has no outstanding concerns with this application.

484 Utah Administrative Code

485 <http://www.rules.utah.gov/publicat/code/r501/r501-20.htm>

486 DABC Proximity Restrictions

487 <http://abc.utah.gov/license/proximity.html>
488

489 [8:32:50 PM](#)

490 Debbie Stickler, Roy, Utah stated they will be doing non-aggressive individuals with a combination of Type 1 and
491 Type 2 disorder. They want to teach job skills to help persons with disabilities get a job. Ms. Stickler currently owns
492 another facility in South Ogden. Commissioner Vaughan asked if the attendance was mandated by court orders. Ms.
493 Stickler stated it was not mandated by the court system. The patients are specifically autistic or Down syndrome. They are
494 Medicare approved. Commissioner Vaughan expressed concern with the facility only having two handicap parking. She

495 stated there will be vans transporting people to and from the facility.

496 Ms. Stickler stated guardians, parents, and state coordinators are allowed within the facility, but the general public is
497 not allowed within the facility. There was a discussion regarding parking for the facility. She intends to have up to 20
498 patients at a time.

499 Chairman Jensen invited audience members to address any potential concerns they may have.

500 [8:41:05 PM](#)

501 Patt Zaugg, Syracuse, Utah inquired about parking. She asked who owned the property to the West. She asked if the
502 owner of the strip would be compelled to add more parking to the facility. She stated during the day there is not parking.
503 asked about parking, visitors and inquired about the owners to the West.

504 [8:42:18 PM](#)

505 There was discussion regarding the hours of operation and the motivation behind the location of the facility. There
506 was discussion regarding parking.

507 [8:49:18 PM](#)

508 MOTION TO GRANT APPROVAL FOR THE CONDITIONAL USE PERMIT, DAY TREATMENT FOR PERSONS
509 WITH A DISABILITY, TRAINING IN LIFE CHOICES LLC, LOCATED AT 2432 W 1700 S STE 2&3, GC (GENERAL
510 COMMERCIAL) ZONE, SUBJECT TO FEDERAL, STATE AND SYRACUSE CITY MUNICIPAL CODES, BY
511 COMMISSIONER DAY. THE MOTION WAS SECONDED BY COMMISSIONER MOULTRIE. ALL WERE IN FAVOR,
512 WITH NO OPPOSED, SO THE MOTION CARRIED.

513 [8:49:59 PM](#)

514 **14. Conditional Use Permit: The Dress Garden, Myrna Stone and Amy Packer, located at 1053 W 2920 S, R-2 Zone.**

515 Planner Schow summarized a staff memo from the Community Development Department that explained:
516 This application is for a formal dress consignment and rental boutique. The applicant would like to operate

517 Wednesday-Friday from 4-7 pm, Saturday from 10:00-2:00 and by appointment. The applicant anticipates no more than
518 4-5 clients per visit. This is a joint venture between two neighbors. The applicants can accommodate for a minimum of 6
519 single spaced off street parking stalls and is aware that the street parking shown on the site plan cannot be dedicated for
520 the home occupation.

521 The applicants will be handling customers with special needs by allowing the occasional use of the upstairs as
522 needed, or by allowing the dresses to be checked out and tried on at the client's home. City staff has no outstanding
523 issues with this application. The parking will be listed on their website. There will be no signs. There was a discussion
524 regarding anticipated traffic.

525 [8:57:26 PM](#)

526 MOTION TO GRANT APPROVAL FOR THE CONDITIONAL USE PERMIT, THE DRESS GARDEN, MYRNA
527 STONE AND AMY PACKER, LOCATED AT 1053 W 2920 S, R-2 ZONE, SUBJECT TO FEDERAL, STATE AND
528 SYRACUSE CITY MUNICIPAL CODES, BY COMMISSIONER MCCUISTION. THE MOTION WAS SECONDED BY
529 COMMISSIONER RACKHAM. ALL WERE IN FAVOR, WITH NO OPPOSED, SO THE MOTION CARRIED.

530 [8:58:00 PM](#)

531 **15. Code Amendment: Title X, pertaining to Accessory Structures.**

532 MOTION TO ADJOURN BY COMMISSIONER MCCUISTION.
533

534 **Adjourn** [8:58:21 PM](#)
535

536 _____
537 TJ Jensen, Chairman
538

539 _____
540 Jackie Manning, Admin Professional
541

542 Date Approved: _____
543

Minutes of the Syracuse Planning Commission Joint Work Session Meeting, January 20, 2015

Minutes of the Joint Work Session Meeting of the Syracuse City Planning Commission held on January 20, 2015, at 6:00 p.m., in the Work Session Chambers, 1979 West 1900 South, Syracuse City, Davis County, Utah.

Present:

Commission Members: TJ Jensen, Chairman
Ralph Vaughan, Vice-Chairman
Dale Rackham
Curt McCuiston
Trevor Hatch
Greg Day
Troy Moultrie

City Council: Craig A. Johnson
Karianne Lisonbee
Douglas Peterson

City Employees: Sherrie Christensen, Director of Community & Economic Development
Jenny Schow, Planner
Noah Steele, Planner
Jackie Manning, Admin Professional
Terry Palmer, Mayor
Brian Bloemen, City Engineer
Steve Marshal, Finance Director

Excused: Mike Gailey
Brian Duncan

Visitors: Gary Pratt Patt Zaugg Ray Zaugg
Steven Lord Tim Roder Roger Borgenicht
Renae Widdison Randy Jeffries Kevin Kilpetride

[6:05:13 PM](#)

1. **Meeting Called to Order:**

The meeting was called to order and an invocation was offered by Commissioner Vaughan. The Pledge of Allegiance was led by Commissioner Moultrie. Chairman Jensen suggested an adoption of the meeting agenda be made with the recommendation of swapping item 4a and 4c on the Regular Work Session Meeting.

[6:07:23 PM](#)

MOTION TO ADOPT THE AGENDA FOR JANUARY 20, 2015 PLANNING COMMISSION MEETING, AS AMENDED BY COMMISSIONER MCCUISTION. THE MOTION WAS SECONDED BY COMMISSIONER DAY. ALL WERE IN FAVOR, SO THE MOTION CARRIED.

[6:07:34 PM](#)

2. **West Davis Corridor Alternative Solution:**

Randy Jefferies, project manager for UDOT (Utah Department of Transportation), gave a summarization of the presentation regarding the Shared Solution. For the last 6 months, UDOT (Utah Department of Transportation), the Shared Solution Coalition and local communities have been collaboratively developing the Shared Solution alternative as part of the West Davis Corridor (WDC) study. This alternative is fundamentally different from all previously studied WDC alternatives because it proposes both transportation investments and a modified land use scenario in anticipation of future growth in West Davis and Weber counties.

[6:11:07 PM](#)

Roger Borgenicht, from UDOT, discussed the hybrid alternative presented at tonight's presentation derived from reviewing the growing economy and the generations currently building and purchasing homes, such as the baby boomer generation and the millennials.

[6:12:22 PM](#)

Renae Widdison, from UDOT, stated they have reviewed the economic growth as pertains to congestion and massive road-ways for the next 20 to 30 years. She stated as it stands now the projected future growth of the community will cause enormous amounts of congestion and leave communities divided by massive roadways; causing impractical and expensive communities. Envision Utah, a non-profit organization, has reviewed the growing community, talked to city planners and officials, and developed the Wasatch Choice for 2040.

Ms. Widdison reviewed the 9 principles outlined in the Wasatch Choice for 2040 as they are nearly identical to the Shared Solution. She stated the following principles for the Shared Solution are: efficient infrastructure, regional mobility, coordinated planning, housing choice, health and safety, regional economy, regional collaboration, sense of community, and environment. She stated the key element is how cities are built. The goal is to be more centered in the way they develop. She discussed mixed use buildings and blocks with the focus of allowing people to live, work and recreate close

65 together; thus reducing trip distance, transportation cost, and provide opportunity and choice for people.

66 Ms. Widdison stated the first step is compact mixed use development. The concept applies major intersections and
67 boulevards to bring business housing and transportation choice. The second step is boulevard roadway configurations.
68 This concept will take existing roadways and reconfiguring the widths to obtain maximum efficiency. This will help move
69 traffic through cities, but not at the expense of the users or quality of streets. The third step would be to incentivize transit.
70 She provided examples such as Front Runner. She discussed the option of connecting and protecting bike trails for
71 recreation and transportation purpose. She discussed preventative ramp metering and I-15 overpassing.

72 [6:26:31 PM](#)

73 Chairman Jensen provided the example of Layton City between the interchange on Hill field Road. Layton City is
74 building a bridge over I-15 with the intention of separating traffic going to Hill Air Force Base, from the traffic trying to get
75 on the freeway; thus creating more opportunities for on ramp traffic.

76 [6:27:19 PM](#)

77 Ms. Widdison reviewed the various proposals of different transits within the shared solution. Mr. Jefferies stated the
78 following examples in the presentation derived from feedback received from city attendees at a previous workshop. Ms.
79 Widdison discussed the 5 lane arterial with wide shoulders, examples as seen in the packet.

80 [6:31:58 PM](#)

81 Mr. Jefferies discussed the decorative lighting and underground power in the examples. He stated they would need to
82 be city funded as betterments and UDOT's transportation fund can't fund those types of amenities. He stated the
83 landscaping needs to be funded and maintained by the cities. He expressed design concerns pertaining to snow removal
84 and maintenance.

85 [6:32:49 PM](#)

86 Ms. Widdison referred to the land use map, volume over capacity, which displays congestion. It displayed the
87 predicted congestion if structures remain the same versus the congestion if the shared solution would be adopted. She
88 stated with the Shared Solution UDOT passed level 1 screening in the EIS process. They effectively reduced congestion
89 and delay.

90 [6:35:06 PM](#)

91 Mr. Jefferies stated there were different variables and assumptions, such as increased rider ship, subsidized front
92 runner, and 6 percent of daily trips being on bicycles that influenced the results. He stated they had 4800 new jobs in the
93 study area and about 3800 homes that moved around. When the land use changed, the transportation demand adjusted
94 and relocated homes and jobs. They are now going from city to city with land use suggestions to help mitigate the future
95 anticipated congestion.

96 [6:36:10 PM](#)

97 Mayor Palmer expressed concern regarding the assumed build out at approximately \$35,000 for Syracuse.
98 Chairman Jensen stated the general plan committee has been reviewing those numbers as well and it appears to be
99 closer to \$50,000. There was a discussion regarding the build out estimate with an emphasis on accuracy of estimated
100 costs.

101 [6:38:26 PM](#)

102 Ms. Widdison stated the number of new homes in Syracuse would be fewer under the shared solution land use
103 proposal than the scenario that the free-way was modeled with. Commissioner Vaughan asked for clarification regarding
104 the suggestion that the land use scenario would reduce density. There was a discussion regarding the factors to support
105 the assumption that avoiding the free-way would reduce the density.

106 Ms. Widdison stated Antelope and 2000 West are the proposed boulevard roads. She stated the town center nodes
107 will be expanded onto 2000 West with another at 1000 West. The boulevards themselves would just be configuration
108 adjustments. She stated the process for figuring the land use was done with UDOT consultants. They reviewed the
109 current land use and planned for the future within the next 25 years to determine the shared solution. She referred to the
110 maps for design and location ideas. She discussed mixed use development, referring to Farmington Station. She stated
111 that the Wasatch choice for 2040 toolbox is available for cities implement these types of changes.

112 Ms. Widdison asked if the Shared Solution investments were made, does the city feel the land uses being proposed
113 are reasonable. She asked if the city would incorporate land use scenarios that would support the blend of uses and shift
114 towards the proposed center development.

115 [6:50:19 PM](#)

116 Commissioner Day inquired about the proposal of mixed use and the current zoning versus proposed zoning. Ms.
117 Widdison stated the calculations include units per acres residential and the different land uses, which are associated with
118 various divisions of commercial and residential. She stated the TC1A would have 61 percent residential (8 units per acre)
119 and 39 percent commercial.

120 [6:51:28 PM](#)

121 Chairman Jensen stated that UDOT's website reflects a higher unit per acre than what is being proposed. Ms.
122 Widdison stated there have been modifications as the developments have occurred. She discussed balancing the
123 distributions across the county to help mitigate traffic congestion. The investments in job centers created jobs closer to
124 where people live.

125 [6:53:32 PM](#)

126 Councilman Johnson didn't feel the land use changes were in line with the future of Syracuse. He stated the
127 alternative should be a hybrid solution that would potentially widen streets and create better access streets. Ms. Widdison
128 stated she read the Syracuse town center plan for the 2000 West Antelope intersection, written in 2003, and it included
129 mixed uses with the desire to have commercial and residential, with better connectivity and easier walkable accessibility.
130 Councilman Johnson stated the higher density housing, 8 units per acre, posed as the biggest question as to whether the
131 shared solution met with the needs of Syracuse residents.

132 [6:57:23 PM](#)

133 Chairman Jensen felt there were already elements of the shared solution within Syracuse. He discussed various
134 locations of current high density areas within the city and discussed the ways to incorporate the shared solution into the
135 existing structure. Councilman Peterson stated when they discussed the shared solution at one of UDOT's workshops the
136 proposed change was not that different from the current land use of Syracuse City. He stated the residents hate the idea
137 of a highway.

138 [7:00:15 PM](#)

139 Mike Brown, UDOT, stated they are trying to create an environment where the North Davis area is attractive for jobs,
140 so they don't all end up in Salt Lake City. He stated the boulevards are intended to make it more likely that jobs will come
141 to Syracuse. The proposed design would allow for farm preservation. He stated mixing uses is more important than the
142 actual density.

143 [7:02:28 PM](#)

144 Commissioner Day inquired about how the land use would account for the local infrastructure and shared water
145 burdens. He asked if UDOT would facilitate those potential issues. Mr. Jefferies stated that would be up to the future
146 developers and/or the city. Chairman Jensen stated the city could align their road improvements with the water line
147 replacements/improvements to reduce the cost.

148 [7:04:45 PM](#)

149 Councilwoman Lisonbee stated they won't have the impact fees until the land develops, the land won't develop until
150 UDOT makes the changes, so the city won't have the money in hand to use for the proposed upgrades.

151 [7:05:42 PM](#)

152 Director Whitely discussed the upgrades on 1000 West and 2000 West with the recent project, which was in line with
153 the master plan and model in place, supportive of the current general plan. He stated if they increase the densities it
154 would change the model per capacity and there is a potential need for upsizing some of the infrastructure. He stated they
155 would review culinary and secondary, storm drain, and sewer lines to determine what would be supported with the new
156 densities. Mayor Palmer inquired about supporting 2 and 3 story buildings as the current plan stands. Director Whitely
157 stated they could support 2 story buildings, but once they get to a third story they would have to pump the water up to
158 meet the pressure needs. He stated as they build more north along 2000 West it becomes much more necessary for
159 water pressure. Mr. Brown stated the current proposed densities wouldn't need to have anything higher than a 2 story
160 building in order to achieve the goal. There was a discussion regarding job centers with a focus on transit opportunities
161 and the benefits of eliminating congestion.

162 [7:11:03 PM](#)

163 Commissioner McCuiston reviewed the proposed shared solution. He stated with the current residential zoning with
164 larger lots the average housing cost would be approximately 300 thousand per home, which would require a household
165 income of approximately 100 thousand per year. He stated those jobs are not going to be along a main street in Syracuse.
166 He stated they will still have the same transit of people from Syracuse towards I-15. He discussed the capacity and didn't
167 feel the current proposal would accommodate the congestion problem.

168 Ms. Widdison stated the plan was regional and they kept the same employment and household totals for Davis
169 County, but they moved them around to meet future projections. There was a discussion regarding the overall design and
170 goal of the shared solution; to center the development to preserve open space, reduce travel demand, and potentially
171 lower transportation costs. There was a discussion regarding lowering density with an emphasis of meeting the needs and
172 wants of Syracuse Residents.

173 [7:20:20 PM](#)

174 There was a discussion regarding the various options UDOT has reviewed in lieu of the West Davis Corridor. Mr.
175 Jefferies discussed the traffic studies and how the alternatives failed the studies. Mr. Jefferies invited feedback regarding
176 the proposed alternative solution and advised to look to the future before making a decision.

177 [7:25:25 PM](#)

178 Chairman Jensen asked if the preferred alternative was competitive with the shared solution. Mr. Jefferies stated they
179 are both on the table and both need feedback. There was a discussion regarding design in conjunction with density
180 embedded in fully functioning communities.

181 [7:31:09 PM](#)

182 Director Christensen stated there are two different markets. The people looking for single family residents are not the
183 same people who want to live in a town home. She stated the demographics within Syracuse City are the people who
184 want to live in the single family dwellings. She inquired about the feasibility. Mr. Borgenicht stated they have been

185 approached within many workshops where people who were aging indicated they were seeking higher density housing
186 such as townhomes. He referred to Daybreak.

187 [7:38:31 PM](#)

188 Commissioner Vaughan inquired about funding for the proposed road improvements. Mr. Jeffries stated the estimates
189 for the highway alternatives are 6 million dollars. He stated as of right now they do not have any funding. Mr. Jeffries
190 discussed the funding in phases and increments. They did not know the cost for the alternative solution.

191 [7:42:29 PM](#)

192 Tim Roder, Syracuse, Utah voiced the concern that 99 percent of the citizens of Syracuse will not be adversely
193 impacted by a freeway. He understands the majority of the citizens may want to have less density, but he heard around
194 the table that the changes being asked of by the shared solution are not that significantly different than what is in the
195 Master Plan right now. He asked them to think about the significant number of people whose lives will be dramatically
196 changed the minute this decision is made. There are a lot of fellow citizens who make up a small minority of the total of
197 Syracuse who will give it all. He discussed the importance of having a decision to make. He stated if the freeway goes
198 through he has no decision, because it will have been made for him. He understands the desire to cover all alternatives,
199 but as Randy has said they have reviewed 46 alternatives. He suggested they be careful to represent not only the majority
200 of the citizens, but those who will lose everything they have depending on their decision.

201 Mr. Jeffries requested feedback from the city by February 2015.

202 [7:54:43 PM](#)

203 **3. Syracuse City Master Transportation Plan**

204
205 Steven Lorde, with Horrocks Engineering, is working as a consultant to the city on the updates to the Transportation
206 Master Plan. Mr. Lord stated the big picture is to address transportation needs within Syracuse through 2040. They
207 started by collecting data, which allows them to assess the current traffic situation and project into the future. They did 24
208 hour traffic studies on average weekdays to assess transportation impacts.

209 Mr. Lord discussed the collaborations for each map and how they apply to the traffic flow in Syracuse. Commissioner
210 Vaughan asked for a clarification if the 13 thousand figure, between 2000 West and Antelope Drive, was taken when
211 school was in session. Mr. Lord stated school was not in session, but they adjusted seasonally. He stated that October
212 and March are typically the busiest months in the year.

213 Mr. Lord stated the data did not reflect street light waiting times. He stated for an intersection level service problem
214 they look at widening specifically at the intersection and potentially adding turn lanes.

215 [8:01:23 PM](#)

216 Mayor Palmer asked for clarification regarding the traffic flow map located at SR 193 in Clearfield near the viaduct; he
217 asked if the traffic flow number was 17 thousand plus vehicles. Mr. Lord stated they were based on model data. He stated
218 the focus was Syracuse and outside the city he wasn't as confident.

219 Mr. Lord discussed capacity improvements and methods. Mayor Palmer confirmed with Mr. Lord that 1000 West,
220 2000 West, the extension of Antelope Drive West, and Bluff Road were all included in the improvement plans.

221 [8:10:52 PM](#)

222 Chairman Jensen asked if the West Davis Corridor was not built how it would affect the traffic studies. Mr. Lord stated
223 they would need to reanalyze and adjust some data. He stated a land use change would be more of an impact on the
224 numbers. Commissioner Rackham asked if the model took new developments into account. Mr. Lord confirmed that it did.

225 [8:12:21 PM](#)

226 Mr. Lord stated they use traffic analysis zones to generate traffic in the travel demand model. There were 4 zones
227 found in the Syracuse area, so the engineers took those zones and made them a lot smaller. He stated the funding for
228 these projects will come from the impact fees. They have Zion Bank as a consultant and they will prepare an analysis and
229 put an estimate together to help assist in calculating the impact fees. They review the growth and budget for the next 10
230 years to help calculate the number.

231 [8:14:29 PM](#)

232 Commissioner Day inquired about the method used to determine priority. Mr. Lord stated the city determines the
233 priority. Mr. Lord welcomed and encouraged feedback from the city to solidify the plan for the future road network and
234 help drive a capitol facility plan. There was a discussion regarding road improvement phases with a focus on the location
235 of the West Davis Corridor and its impact on the surrounding cities. Mr. Jeffries discussed a potential layout for the West
236 Davis Corridor phasing and locations. Mr. Jeffries stated the Wasatch Region Model was the same baseline model that
237 was used for the West Davis Corridor. He stated the Shared Solution is a completely different scenario. City Engineer
238 Bloemen welcomed feedback for the proposed improvements on 1000 West and 2000 West and Antelope. Chairman
239 Jensen stated it will be on the Planning Commission Agenda for that discussion.

240 [8:27:58 PM](#)

241 MOTION TO ADJORN INTO REGULAR WORK SESSION, WITH A TEN MINUTE RECESS BY COMMISSIONER
242 MCCUISTION.

243
244 **Adjourn**
245

246
247
248
249
250
251

TJ Jensen, Chairman

Jackie Manning, Admin Professional

Date Approved: _____

DRAFT

Minutes of the Syracuse Planning Commission Work Session, January 20, 2015

Minutes of the Syracuse City Planning Commission Work Session held on January 20, 2015, at 6:00 p.m., in the Conference Room, 1979 West 1900 South, Syracuse City, Davis County, Utah.

Present:

Commission Members: TJ Jensen, Chairman
Ralph Vaughan, Vice-Chairman
Dale Rackham
Curt McCuiston
Trevor Hatch
Troy Moultrie
Greg Day

City Employees: Sherrie Christensen, Director of Community & Economic Development
Jenny Schow, Planner
Noah Steele, Planner
Jackie Manning, Admin Professional
Clint Drake, City Attorney
Jo Hamblin, Deputy Fire Chief
Brian Bloemen, City Engineer
Craig Johnson

City Council:

Visitors:

[8:33:50 PM](#)

1. **Department Business:**

Director Christensen stated Lakeview Farms met with the city staff regarding their concept plan and it reflects the previously presented plans. Planner Schow stated Tivoli Gardens will be on the agenda in the near future. Director Christensen stated the Council wanted PRD (Planned Unit Development) back on the top agenda. The City Council specifically asked the General Plan Subcommittee to review the densities.

[8:37:01 PM](#)

2. **Commissioner Reports:**

Commissioner Rackham stated the subcommittee met on January 14, 2015 and discussed the PRD changes. Chairman Jensen stated the committee suggested having an open house to allow for more citizens to participate. Chairman Jensen stated the Davis County Trails Map is now a printed document, but has not met for a few months due to the holiday.

[8:38:24 PM](#)

3. **Upcoming Agenda Items:**

Chairman Jensen suggested having the PRD on the next agenda for discussion. Commissioner Rackham had some suggestions for accessory structures that he would like to see in the second meeting in February. Chairman Jensen requested Director Christensen add the fencing ordinance on the Work Session to address the variance request from Ovation Homes. Director Christensen discussed the street naming process for developers.

[8:42:32 PM](#)

Discussion Items

a. **Title X Code Amendments: pertaining to the fence ordinance.**

[8:46:55 PM](#)

b. **Title X Code Amendments: pertaining to PRD, Planned Residential Development Zone.**

Chairman Jensen stated the City Council is adamant about striking any density above 8. Commissioner Rackham stated the General Plan Subcommittee proposed to keep the density 6 gross or below. Commissioner Day stated there are good town home projects that exceed 6 units per acre. Chairman Jensen clarified the subcommittee's recommendation is 8 net, which is 20 percent. He stated the subcommittee is recommending striking all references to net and just calculate under gross acreage.

Commissioner McCuiston stated the higher density should be allowed if someone comes together with a good plan. Commissioner Hatch stated he didn't have a problem with higher density than 8, but the citizens did not seem to want it. Commissioner Vaughan supported the idea of 8 density. Commissioner Rackham stated he supported no higher than 6.

Commissioner Rackham discussed the proposed PRD changes to the ordinance, which have been added to the minutes. He stated the majority of the subcommittee liked the development, Sunset Park Villas. Director Christensen inquired about the accessory structure language. She stated the building code stated 200 square feet and greater

62 required a building permit, and she asked if the ordinance could be congruent with the building code.

63 [8:56:01 PM](#)

64 **MOTION TO EXTEND MEETING TO 9:15PM BY COMMISSIONER RACKHAM. THE MOTION WAS SECONDED**
65 **BY COMMISSIONER VAUGHAN. COMMISSIONER MCCUISTION AND HATCH VOTED NAY. COMMISSIONER**
66 **JENSEN, VAUGHAN, RACKHAM, MOULTRIE, AND DAY VOTED AYE. THE MOTION CARRIED.**

67
68 Commissioner Rackham discussed conditional uses in a PRD and the appropriate permitted uses. Commissioner
69 Day inquired about section A-6. He didn't feel the paragraph was necessary. Commissioner Rackham stated he was fine
70 with striking A-6, but in its place they allow 2 road entrances and exits minimum. Commissioner Rackham proposed only
71 single story buildings. There was a discussion regarding variation in roof lines. Planner Steele stated they mirror the
72 proposed design standards. Commissioner Day suggested end unit be single story with the option of two story units in the
73 middle.

74 Chairman Jensen asked for a vote for one story versus two story. Commissioners Day, McCuistion, and Hatch were
75 supportive of two story; Commissioners Moultrie, Rackham, and Jensen were supportive of one story. Commissioner
76 Vaughan stated he liked the idea of one story without limiting the height. Commissioner Rackham stated basements were
77 not excluded in the one story recommendation. Planner Show discussed the design for Fox Haven Estates.

78 There was a discussion regarding density versus architecture. There was discussion regarding open space and
79 landscaping. There was a discussion regarding parking spaces for the community with an emphasis on two car garages,
80 with side street parking.

81 [8:42:40 PM](#)

82 **c. Title X Code Amendments: pertaining to the Architectural Review Committee and Design Standards.**

83
84 Planner Steele stated the committee reviewed the design standards manual. The committee made the guide to allow
85 for clearer standards for single family housing. Planner Steele referred to the guide in regards to commercial buildings and
86 offices to ensure they are attractive and conform to the city ordinances. They want to review multi-family housing. He
87 invited input regarding the proposed changes to allow the ordinance be forwarded to City Council. Chairman Jensen
88 recommended the Planning Commission review the proposed changes and add the guide to another Work Session before
89 adding as an action matter.

90 [9:16:43 PM](#)

91 4. **Adjourn.**

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SYRACUSE
EST. CITY 1935

Planning Commission Meeting

February 3, 2015

EXECUTIVE SUMMARY

Item 4a: Code Amendment, Title 10-30-060 regarding fencing regulations

Please refer to the following documents:

- Applicant Proposal

Reason for amendment to the fencing code

The reason for a code or ordinance in a city in my opinion is for three reasons. First, is to protect against unsafe situations where harm could come to those in and out of the City. Second, is to enhance the enjoyment and privacy of the property owners. Third, is to make the overall view of a living area pleasing to the general public.

Though the present ordinance is written well I believe it only addresses one of the reasons for an ordinance. This ordinance does address the safety issues very well but fails to address properly the other two issues. One, the property owners do want to have privacy in their backyards which a 3' fence does not allow them. Two, the general public's view of most backyards can be less than attractive even with a three 3' fence.

Of the fifteen cities in Davis County, none of them have an ordinance against six foot fences along the sidewalk once the 40' clear vision or line of sight area has been established.

Below I have included an example of the normal fence detail that has been established by most cities. There are many other cities that have less restrictive codes but I believe that the detail below gives the Safety for the public you are wanting.

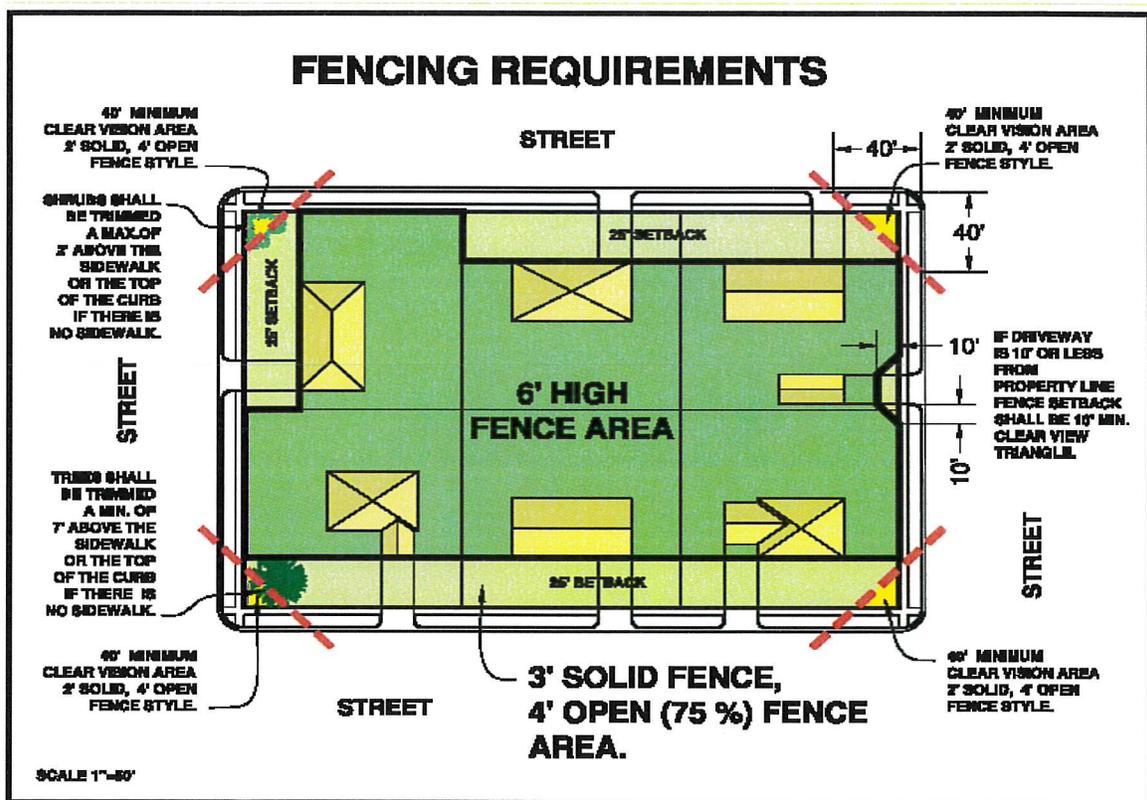
Fencing codes.

Of the fifteen municipalities in Davis County I am unable to find any code where a 6' privacy fence is not allowed along a sidewalk, As long as it does not impede line of sight from corners or driveways. Some examples follow.

Layton City : Code number 19.16.080. Line of sight required on all corner lots. 6' Privacy allowed where not impeding any driveway view.

Fruit Heights: Only code on fencing requires that no fence exceeds 6' in height no line of sight requirements.

South Weber: Fences, walls or similar devices cannot exceed six feet in height. Corner lots must maintain 15' line of sight from centerline of driveway.



We have been using this formula for over fifteen years in the fencing industry and in the majority of situations it is accepted



Brady Parker Estimator Ace Fab & Welding,

10.30.060 Miscellaneous requirements and provisions.

(A) Height of [Fences](#), Walls, and Hedges in Residential [Zones](#). Property owners may erect [fences](#), walls, and hedges to the permitted [building height](#) in the [zone](#) in which they are located provided they are not within any required [yard](#) space. [Fences](#), walls, or hedges in any required side and [rear yard](#) shall not exceed six feet in height. [Fences](#) within the required [front yard](#) setback or side street [setback](#) shall not exceed ^{six feet} ~~three feet~~ in height and shall comply with the requirements of subsection (B) of this section. Where a retaining wall is reasonable and necessary, located on the line separating lots, such retaining wall may include a [fence](#), wall, or hedge on top to the same height that would otherwise be permitted if no retaining wall existed.

(B) Visibility at Intersections. Notwithstanding any provisions of this title in any district, [fences](#), walls, [signs](#), hedges, or other plantings may not encroach within the required clear-visibility triangle located at the intersection of two roads or the intersection of a road and a nonresidential driveway. No one shall erect, place, or plant anything or allow anything to grow in such a manner as to impede vision between a height of two and one-half feet and eight feet above centerline grades of the adjoining street centerline surface elevation. Property owners shall maintain all tree branches so that none of them are lower than eight feet in clear site triangle [area](#). The configuration of a clear-visibility triangle is shown in Exhibit 10.30.060, and the length of each leg, measured along the curb line or edge of roadway or edge of nonresidential driveway, shall be 40 feet, or based upon applicable speed limits greater than 40 mph as per AASHTO's "Policy on Geometric Design of Highways and Streets."



SYRACUSE
EST. CITY 1935

Planning Commission Meeting

February 3, 2015

EXECUTIVE SUMMARY

Item 4b: Title X Amendments-PRD

1. Please find attached the amendments as proposed by Dale Rackham.

Chapter 10.75

PRD – PLANNED RESIDENTIAL DEVELOPMENT

Sections:

- 10.75.010 Purpose.
- 10.75.020 Permitted uses.
- 10.75.030 Conditional uses.
- 10.75.040 Minimum lot standards.
- 10.75.050 Development plan and agreement requirements.
- 10.75.060 Design standards.
- 10.75.070 Street design.
- 10.75.080 Off-street parking and loading.
- 10.75.090 Signs.

10.75.010 Purpose.

The purpose of this zone is to allow diversification in the relationship of residential uses to their sites and permit directed flexibility of site design. Further, its intent is to encourage a more efficient use of the land and the reservation of a greater proportion of common space for recreational and visual use than other residential zones may provide and to encourage a variety of dwelling units that allow imaginative concepts of neighborhood and housing options and provide variety in the physical development pattern of the City. This will allow the developer to more closely tailor a development project to a specific user group, such as retired persons.

The intent of this zone is to encourage good neighborhood design while ensuring compliance with the intent of the subdivision and zoning ordinances. All dwelling units are to be held in private individual ownership. However, the development shall contain common or open space and amenities for the enjoyment of the planned community that are developed and maintained through an active homeowners' association or similar organization with appointed management. [Ord. 12-01 § 1; Ord. 11-04 § 6; Ord. 11-02 § 1 (Exh. A); Ord. 08-07 § 1 (Exh. A); Ord. 06-27; Ord. 06-17; Code 1971 § 10-15-010.]

10.75.020 Permitted uses.

The following are permitted uses by right provided the parcel and building meet all other provisions of this title and any other applicable ordinances of Syracuse City:

- (A) Accessory uses and buildings (under 200 square feet).
- (B) Churches, synagogues, and temples.
- (C) Dwelling units, single-family (no more than four units attached).

(D) Educational services.

(E) Household pets.

(F) Private parks.

(G) Public and quasi-public buildings.

(H) Residential facilities for persons with disabilities and assisted living centers. [Ord. 12-01 § 1; Ord. 11-04 § 6; Ord. 11-02 § 1 (Exh. A); Ord. 08-07 § 1 (Exh. A); Ord. 06-27; Ord. 06-17; amended 1991; Code 1971 § 10-15-020.]

~~10.75.030 Conditional uses.~~

~~The following may be permitted conditional uses after approval as specified in SCC 10.20.080.~~

~~(A) Day care centers (major).~~

~~(B) Home occupations (minor or major).~~

~~(C) Temporary commercial uses (see SCC 10.35.050) (minor).~~

~~(D) Temporary use of buildings (see SCC 10.30.100(A)(9)) (minor). [Ord. 12-01 § 1; Ord. 11-04 § 6; Ord. 11-02 § 1 (Exh. A); Ord. 08-07 § 1 (Exh. A); Ord. 06-27; Ord. 06-17; amended 1991; Code 1971 § 10-15-030.]~~

10.75.040 Minimum lot standards.

All lots shall be developed and all structures and uses shall be placed on lots in accordance with the following standards:

(A) Density: ~~Overall density of six (6) dwelling units per gross acre. The City shall determine the dwelling unit density, building setbacks, and minimum lot size through a development plan based on the specific merits of the proposed development as well as on factors such as recreation facilities, greater open space, landscaping features, fencing type and design, signage, clubhouse provisions, homeowners' covenants, professional maintenance, trails/pathways, and quality of exterior building materials. However, condominium developments shall comply with the Utah Condominium Act, but in no case shall the overall density of the development exceed eight dwelling units per net acre, without recommendation for approval by the Planning Commission and the consent and approval of the City Council.~~

~~The overall density of the development may exceed eight dwelling units per net acre and increase up to a maximum of 12 dwelling units per net acre only after receiving recommendation for approval by the Planning Commission and consent and approval by the City Council. The Planning Commission recommendation and City Council consent and approval, for a developer to exceed eight dwelling units per net acre, shall be subject to the ability of the development plan to meet the following criteria:~~

~~(1) The development area shall be a transitional residential buffer to commercial, industrial, and/or retail zones, as established in the general plan;~~

~~(21) The development shall provide a standard road right-of-way of 60 feet which shall include curb, gutter, and sidewalk improvements;~~

~~(32) The development shall provide a minimum of 35 percent parks and/or functional open common space within the development based on the net acreage of the proposed development;~~

~~(43) The aesthetic and landscaping proposals shall provide a superior residential development and environment for trees and shrubs that break up the look of having the same building style duplicated throughout the development;~~

~~(54) The development shall provide adequate off-street parking area(s), subject to requirements of this chapter and off-street parking requirements as found in Chapter 10.40 SCC; and~~

~~(65) The development design shall include a direct connection to a major arterial, minor arterial, or major collector roadway.~~

(B) Lot width: determined by development plan.

(C) Front yard: 20 feet.

(D) Side yards: a minimum of 16 feet between ~~attached units structures.~~

(E) Rear yard: a minimum of 15 feet.

(F) Building height: as allowed by current adopted building code, ~~with a maximum height of 30 feet to the top of the roof structure and shall be single story buildings.~~

(G) Open space/common space: shall be a minimum 50 percent of the total ~~land area~~acreage, excluding ~~any roadways, buildings, and~~ above-ground City infrastructure. [Ord. 12-01 § 1; Ord. 11-04 § 6; Ord. 11-02 § 1 (Exh. A); Ord. 08-07 § 1 (Exh. A); Ord. 06-27; Ord. 06-17; amended 1998; Code 1971 § 10-15-040.]

10.75.050 Development plan and agreement requirements.

(A) Subdivision ordinance requirements shall generally apply to planned residential communities. The developer shall submit a residential development plan of all project phases for City consideration and approval and shall integrate the proposed development plan into a development agreement between the developer and City. The development agreement shall undergo an administrative review process to ensure compliance with adopted City ordinances and standards with approval by the City Council. The developer shall develop the property in accordance with the development agreement and current City ordinances in effect on the approval date of the agreement, together with the requirements set forth in the agreement, except when federal, state, county, and/or City laws and regulations, promulgated to protect the public's health, safety, and welfare, require future modifications under circumstances constituting a rational public interest. ~~The Land Use Authority shall use the submitted development plan and agreement with the design amenities and unique development features and merits of the development to determine overall development dwelling unit density up to a maximum of 12 dwelling units per net acre.~~

(B) A planned residential development must have a minimum of five acres ~~with a minimum of 20 percent of the acreage in common space area excluding required roadways, curbs, and other City infrastructure.~~

(C) The developer shall landscape and improve all open ~~or common~~ space around or adjacent to building lots and and common space and maintain the same through a lawfully organized homeowners' association, residential management company, or similar organization.

(D) The development plan submitted for review shall show the location and building elevations with exterior building materials, size, and general footprint of all dwelling units and other main buildings and amenities.

(E) The development plan submitted for review shall include landscaping, fencing, and other improvement plans for common or open spaces, with the landscaping designed in accordance with an approved theme to provide unity and aesthetics to the project. The plan shall include all special features, such as ponds, fountains, signs, walking paths, inviting entryways, etc., together with a landscape planting plan. ~~Open-Common space and recreational areas~~ should be the focal point for the overall design of the development, with various community facilities grouped in places well related to ~~these open the common~~ spaces and easily accessible to pedestrians.

(F) The proposed development shall show it will not be detrimental to the health, safety, or general welfare of persons residing adjacent to the proposed development.

(G) A planned residential community shall be of sufficient size, composition, and arrangement to enable its feasible development as a complete unit, managed by a legally established owners' association and governed by enforceable, duly recorded CC&Rs. [Ord. 12-01 § 1; Ord. 11-04 § 6; Ord. 11-02 § 1 (Exh. A); Ord. 08-07 § 1 (Exh. A); Ord. 06-27; Ord. 06-17; Code 1971 § 10-15-050.]

10.75.060 Design standards.

The Land Use Authority shall approve the required common building theme. The design shall show detail in the unification of exterior architectural style, building materials, and color and size of each unit; however, the intent is not to have the design so dominant that all units are identical. Residential dwellings shall comply with SCC 10.30.020. [Ord. 12-01 § 1; Ord. 11-04 § 6; Ord. 11-02 § 1 (Exh. A); Ord. 08-07 § 1 (Exh. A); Ord. 06-27; Ord. 06-17; Code 1971 § 10-15-060.]

10.75.070 Street design.

The Land Use Authority may approve an alternative street design so long as it maintains the City's minimum rights-of-way. The developer shall dedicate all street rights-of-way to the City. [Ord. 12-01 § 1; Ord. 11-04 § 6; Ord. 11-02 § 1 (Exh. A); Ord. 08-07 § 1 (Exh. A); Ord. 06-27; Ord. 06-17; Code 1971 § 10-15-070.]

10.75.080 Off-street parking and loading.

For multi-unit developments; on additional off-stree parking shall be provided for each of four dwellings.

Off-street parking and loading shall be as specified in Chapter 10.40 SCC; provided, however, that the City may limit or eliminate street parking or other use of City rights-of-way through the employment of limited or alternative street designs. [Ord. 12-01 § 1; Ord. 11-04 § 6; Ord. 11-02 § 1 (Exh. A); Ord. 08-07 § 1 (Exh. A); Ord. 06-27; Ord. 06-17; amended 1991; Code 1971 § 10-15-080.]

10.75.090 Signs.

The signs permitted in this zone shall be those allowed in residential zones by Chapter 10.45 SCC. [Ord. 12-01 § 1; Ord. 11-04 § 6; Ord. 11-02 § 1 (Exh. A); Ord. 08-07 § 1 (Exh. A); Ord. 06-27; Ord. 06-17; amended 1991; Code 1971 § 10-15-090.]

10.10.040 Definitions.

~~“Common space” means land area within a development not individually owned or dedicated for public use, for which its design and intended use as an amenity shall be for the direct benefit of the residents in such development. Common space may be either natural or functional as a designed element of a development that has a functionally described and planned benefit. Examples include landscaped areas that provide visual relief, shade, screening, buffering, or another environmental amenity and nature trails, exercise trails, and facilities, e.g., swimming pools, tennis courts, club houses, pavilions, and golf courses.~~ with an amenity whose dedicated purpose is shared equally by all the residents of that community or the public.

“Gross Acreage” means the total land being developed.

~~“Net acreage” means the total land area available for development after excluding 20 percent assigned to the City in the form of roads and other public easements.~~

~~“Net density” means the number of allowable building lots in a zone per net acre. (Example: 8.3 net acres times 3.79 allowable lots in the R-2 zone equals 31.46 allowable lots, or 31 allowable lots rounding down to the nearest whole number (i.e., $8.3 \times 3.79 = 31.46 = 31$).~~

~~“Open space” means any area of land characterized by openness that provides for that portion of the human environment, through dedication to preservation of said openness, in order to enhance urban, suburban, or rural areas, and provide important physical, recreational, conservation, aesthetic, or economic value or assets.~~

~~(1) “Functional open space” means any area of land improved and dedicated for public or private use and designed as an amenity for the benefit of the residents of a development or citizens of the City. Examples include landscaped aesthetic areas, City parks, playgrounds, and ball fields.~~

~~(2) “Natural open space” means any area of land, essentially unimproved and not occupied by structures or manmade impervious surfaces, dedicated or reserved in perpetuity for public or private enjoyment as a preservation of open area.~~

~~(3) “Cluster subdivision open space” means open space, either natural or functional, provided to compensate for the lot size reductions from minimum lot size requirements or increases in overall gross density.~~

~~(4) “Public open space” means open space owned by a public agency, such as the City of Syracuse, and maintained by such agency for the use and enjoyment of the general public.~~

“Open space” means any area of land without human-built structures; such as parks, recreational and natural areas or land not occupied by buildings.



Work Session

January 20, 2014

EXECUTIVE SUMMARY

Item 4c: Title X Code amendment pertaining to Architectural Review Committee and Design.

Please refer to the following documents:

- Proposed Amendment
- Design Standards Example Guide

Chapter 28

ARCHITECTURAL REVIEW COMMITTEE AND DESIGN STANDARDS (Ord. 13-11)

Sections:

10.28.010 Purpose

10.28.020 Architectural Review Committee (ARC)

10.28.100 Commercial, Professional Office, Multifamily Residential and Public Facility Developments

10.28.110 Building Design

10.28.120 Site Design

10.28.200 Industrial Developments

10.28.210 Industrial Site Planning

10.28.220 Industrial Architecture

10.28.230 Industrial Landscape Design

10.28.010 Purpose.

- (A) The purpose of the design standards outlined in this Chapter are to facilitate exceptional design in the built environment and preserve the quality of life within Syracuse City. This Chapter is based on the following principles:
1. Higher quality designs will bring value to the commercial community of Syracuse and attract businesses which positively contribute to the overall quality of life and well-being of Syracuse residents.
 2. Syracuse welcomes a variety of businesses and recognizes that brand recognition has become an important aspect of developing a successful and competitive business. The design standards enumerated in this Chapter are intended to help and encourage development of imaginative and unique design solutions which meet business needs, while at the same time preserving Syracuse's unique history and community identity.
 3. This Chapter supplements the objectives of other chapters in this Title which also impose certain design standards or requirements that are zone specific.
- (B) This Chapter references design standards and a design guidelines standards example guide. They are intended to improve the quality and compatibility of development, particularly with regard to building design, and site design.
1. Design Standards. Design standards are required in addition to other standards set forth in this Title. Design standards are intended to ensure quality development and permanence in design. The implementation of these standards ensures that the goals and values of the community are reflected in each commercial and multi-family residential development and contribute positively to the overall built environment.
 2. Design Guidelines Standards Example Guide. Design guidelines The Guide offers examples to clarify and explain the design standards. They The Guide are made is available for public use and distribution within a separate manual that can be found on

record in the Community Development Department. The purpose of the Syracuse City Commercial Design Standards and Guidelines Manual Guide is to better clarify the relationship between design standards and guidelines. The design guidelines serves to graphically represent the design standards and are is used as a reference tool in order to better illustrate the application of the design standards.

10.28.020 Architecture Review Committee (ARC).

The ARC is established to review all applicable development plans for compliance with the design standards in this chapter. This Committee functions as a subcommittee of the Planning Commission and consists of seven (7) members appointed by the Mayor with the advice and consent of the City Council in accordance with the Syracuse Municipal Code. Members consist of community residents, Planning Commissioners (maximum 2), and City staff. The Planning Commission Chair may recommend candidates for the Mayor's consideration.

The ARC is responsible to review the plan, elevations, architectural details, and development design pattern book and make recommendations to the Planning Commission consistent with this Chapter. The Planning Commission will, in turn, submit their recommendations to the City Council.

10.28.100 Commercial, Professional Office, Multifamily Residential, and Public Facility Developments.

(A) Applicability. The design standards set forth in this Part apply to:

1. All new commercial, professional office, multifamily residential or public facilities buildings and uses except where the requirements of this Chapter are superseded by another provision of this Title.
2. Existing commercial, professional office, multifamily residential, or public buildings and uses when a change occurs that involves a design standard set forth in this Chapter and either;
 - (a) requires a building or other permit issued by the City;
 - (b) alters the occupancy designation of a building under the current building codes adopted by the City;
 - (c) increases required parking; or
 - (d) increases the amount of outside storage.

(B) Imposition of Conditions. When reviewing a development plan, the Architecture Review Committee ("ARC") may recommend that the Planning Commission impose conditions consistent with design standards in this Chapter.

(C) Other Code Requirements. The requirements of this Chapter apply in addition to other applicable requirements of this Title.

10.28.110 Building Design.

(A) Context. All building designs are required to be drafted with sensitivity to the design of nearby buildings and developments. This sensitivity includes considering whether:

1. buildings contribute to the overall character of Syracuse and the neighborhood;
2. buildings reflect the character of surrounding development through use of some similar features;
3. buildings demonstrate imaginative design; and

4. buildings vary colors, materials, or architectural elements where proposed building designs closely copy or mirror surrounding developments.
- (B) Entrances. All building entrances are required to be clearly articulated to indicate a transition from the exterior to the interior of the building. Every main entrance is required to have a special emphasis when compared to the other portions of the building. This is accomplished through the use of at least three of the following near entrances:
1. a prominent architectural feature that is unique to the overall building design;
 2. complimentary yet differing building materials or colors;
 3. increased use of windows or glass;
 4. pedestrian amenities that may include patios, porches, special paving treatments, seating areas, or awnings; or
 5. increased landscaping.
- (C) Façade Articulation. Buildings designed with completely flat façades and monotone color schemes are not permitted. All buildings are required to have articulation of all façades.
1. Horizontal or vertical façade variations must occur at least every 30 feet or along a minimum of 60% of the horizontal length of buildings with facades 100 feet or greater. This is accomplished by using methods such as:
 - (a) variation in the surface plane that may include pop-outs, bays, and recesses;
 - (b) variation in the surface pattern such as arches, banding, and paneling; or
 - (c) distinguished treatment of windows, doors, and eaves that may include molding or framing.
 2. Buildings with façades 100 feet or greater in total length must have at least one significant façade variation from the primary wall plane whose depth is at least 5% of the total façade length and whose width is at least 20% of the total façade length. Uninterrupted façades 100 feet or greater in length are prohibited.
- (D) Height and Roofline. All building roof heights will be compatible with the building's location, and varied roofline elevations or parapets are required in order to add architectural interest and avoid the appearance or sense of monotonous roofline expanses. All buildings are required to:
1. have appropriate roof height for the location based on zoning regulations and the height of buildings within the immediate area;
 2. have roofline and parapet variations where there are long, continuous, and undisturbed rooflines 50 feet in length or greater;
 3. use similar materials and colors on the back of false-fronts, parapets, cornices, or other parts of the building which extend beyond the roofline or main building so that the building appears cohesive from all views; and
 4. have screening of mechanical equipment and systems that will be mounted on the roof. Any portion of these pieces of equipment that is not fully shielded is required to be painted a color which is compatible with the roofing or parapet materials.
- (E) Massing. Proper massing reduces the impact of the massive bulk created by large buildings that may not otherwise relate in scale to surrounding development. Vertical

articulation, horizontal articulation, and multi-planed roof or awnings must be used in designs to mitigate the impact on surrounding development and the overall landscape.

- (F) Materials. Quality long-lasting materials are required for all buildings in order to contribute to the aesthetics of the community over the long term.
1. A minimum of three colors per elevation is required.
 2. Color utilization should be sensitive to existing development within the vicinity and the natural landscape in which the project is situated.
 3. Primary Materials. 65% of all surface materials, not including glass or roofing materials, are required to include a combination of brick, stone, ceramic tile, masonry materials, insulated metal panels, or wood fiber/composite cement-fiber siding. Exposed cinder block is not permitted, except for minimal foundation exposure. Unfinished or painted concrete block is prohibited as a surface material. Architectural block such as split faced, honed, or similar may be permitted. Concrete masonry unit, Exposed concrete, stucco, vinyl, wood siding, or insulated metal panels may be used as accent or secondary materials only.
 - ~~4. Exposed tilt-up concrete or insulated metal panels may be used as a primary material on buildings located in business park zone. Some variation in materials along the base and near the entrances of concrete tilt-ups is required.~~
 - 4-5. All projects are required to submit a sample board containing physical samples of all exterior surface materials, including roofing materials, in all the colors they will be used. Photos alone are not sufficient.
- (G) Development Design Pattern Book. The developer is required to provide a development design pattern book ~~to be reviewed by the ARC and then the Planning Commission in conjunction with a subdivision plan and/or site plan application.~~ **for projects including more than one structure.** ~~Where there is a development agreement, the design pattern book will become a part of the agreement.~~ Design pattern books are subject to the following:
1. Written descriptions with graphic illustrations explaining how the development complements the physical form of the property and how the theme and standards found in this Chapter are to be integrated into the design of the development.
 2. Written descriptions with graphic illustrations explaining the proposed conceptual architectural design, building elevations, and other such related design schemes; and
 3. Written descriptions with graphic illustrations that clearly describe proposed open spaces, landscaping ideas, pedestrian pathways, furnishings, lighting and related entryway features and/or amenities.
- (H) Pedestrians. All buildings will be designed with an integral focus on encouraging pedestrian activity and social interaction. Additionally, buildings that contain more than one story or that are above 20 feet in height are required to provide a clearly articulated and more detailed base that relates to pedestrians.
- (I) Signs. Signs located on any building façade are required to be compatible with the building's overall design. As an integral design element, signs are required to be compatible with the style of the buildings in terms of location, scale, color, and lettering.
1. The locations for signs on a building's façade will be planned for as part of the building's overall design.
 2. Signs located on façades should integrate similar or complimentary materials as the building.

- (J) Windows. Windows are key to the overall design of a building and the relationship between the exterior and interior. The majority of windows are required to relate to the scale of a person.
1. Windows should be at eye-level .
 2. Where buildings are adjacent to pedestrian walkways, transparent windows must relate the scale of the building and the building's interior to pedestrians. Where transparent windows may not be desirable, tinted windows, false windows, or glass block are allowed.
 3. Window awnings are an effective way to add detail and variation to a building, emphasize pedestrian scale windows, and create an exciting and inviting environment. When placing awnings:
 - (a) use quality materials which are durable and are able to withstand extremes in the weather;
 - (b) colors should be complimentary to the color of the building on which the awning is located; and
 - (c) styles should be compatible with the architectural features and overall architecture of the building on which the awning is located.

10.28.120 Site Design.

- (A) Building Placement. Building placement is integral to the site design and the overall effect any development has on surrounding properties. Building placement is required to comply with the following:
1. All buildings must be oriented with the main or similar façade facing a principal street to which it has frontage.
 2. Buildings located on corner lots are required to orient main façades to each street and give equal treatment to each.
 3. Buildings located on corner lots should include a prominent architectural feature of greater height than the rest of the roof, or emphasis at the corner where the two public streets meet.
- (B) Context. New developments are required to match or compliment surrounding developments **and landscapes** in order to create a site which relates to its surroundings and adds positively to the overall ~~built~~ environment in the site area.
1. **All developments shall consider natural features, such as view corridors, riparian corridors, creeks, topography, mature trees, and vegetation, as integral features to be preserved, enhanced, and incorporated into development proposals.**
 2. **Structures which are historic or are otherwise distinctive should be preserved and incorporated into development proposals.**
- (C) Miscellaneous. Screening: The small details that sometimes become afterthoughts of site planning and design are important factors for making aesthetically attractive sites. The following are required during initial site planning, along with any other requirements within this code:
1. Landscaped areas and walls will be designed to decrease noise levels and separate loading and service bays from customer parking. Service and loading bays

(automotive, service, tire, etc.) should be oriented away from neighboring residential areas. Further they cannot have direct access to major public streets, access shall be provided via internal site plan circulation. The general public should be restricted from accessing such areas.

2. Approved outdoor storage areas are required to be fully screened from view using the same materials as the building or approved masonry fencing. Enclosures are also required to be surrounded by landscaping to further soften their visual impact. Public access to these areas should be restricted.
3. Outdoor refuse and garbage collection containers are required to be fully screened from view using the same materials as the building or approved masonry fencing. Enclosures are required to be surrounded by landscaping to further soften their visual impact. Public access to these areas should be restricted.
4. Shopping cart corrals are highly visible and needed to keep development sites safe and orderly. Corrals are required to be in fixed position.
5. Generators are required for businesses that the ARC determines will provide essential services to the public during inclement weather or natural disasters. Generators and other large auxiliary equipment are required to be placed at locations where they will be least intrusive in terms of noise, appearance, and odors, particularly for occupants of neighboring properties. Site plans will include public utilities equipment placement. Generators and other large auxiliary equipment:
 - (a) should be kept low to the ground;
 - (b) if they include exhaust systems may not have exhaust systems protrude above the equipment; and
 - (c) are required to be surrounded by walls, landscaping, and other screening.
6. **Razor and barbed wire fences are prohibited if visible from public right-of-way or a residential area, except for agricultural purposes. Chain link fencing shall be coated in a non-obtrusive color, such as black or dark green, in order to diminish its visual impact.**
6. ~~Site plans will be designed to conform to all requirements of the American's with Disabilities Act (ADA). The ARC shall review the site plan for adequate handicap parking and access to buildings.~~

(D) Landscaping. Landscaping is required as a tool to enhance and beautify the site, and the building's architecture and design. To aid in the design process, designers are encouraged to refer to the ~~Syracuse City Commercial Design Standards and Guidelines Manuals~~ **Design Standards Example Guide**.

1. The portion of a development site devoted to landscaping exclusive of parkstrips and walkways will be calculated by the zone requirements for the parcel. Additional landscaping should be provided to achieve compatibility between differing, adjacent land uses such as residential and commercial, as required in the buffering table.
2. ~~Landscaping is required to be integrated into the design, placement, and enhancement of pedestrian plazas, sitting areas, walkways, flag poles, and signs and will comply with zoning requirements.~~ **Outdoor amenities such as patios, plazas, public art, water features, and outdoor seating areas are encouraged.**
3. ~~Vegetative ground cover must be utilized for at least 80% of a development site's frontage along any public right-of-way and in required landscape areas between a building and the parkstrip not including sidewalks, trails, and entry points.~~ **One (1) street tree shall be planted in the park strip or front set-back every 30 feet of property**

frontage abutting any public street. Tree spacing should be equidistant and coordinate with adjacent street trees, with the purpose of creating tree lined streets.

4. Where possible and reasonable, existing landscape features and mature trees should be preserved and incorporated into landscape plans.
5. A minimum 2' wide landscape strip of woody landscape plants is required around the base of all structures, exclusive of sidewalks or driveways that cross at a perpendicular angle.
6. Drought resistant shrubs and trees will be used in conjunction with efficient low water use irrigation systems. A list of low water use plants is available from the Community Development Department.
7. Invasive or noxious plants & weeds shall be removed during site preparation.

(E) Lighting. Carefully planned lighting schemes can create safe environments for pedestrians and motorists. Lighting is an integral design element which adds to the overall site plan and building design. Lighting must be designed in compliance with Chapter 8 (Signs and Lighting Regulations).

1. Fixtures shall match existing down facing "Bell" style or similar fixtures found in the town center. Lighting schemes will include coordinating parking, wall, and pedestrian scaled fixtures which compliment building architecture and site features.
2. Parking and Circulation. Lifestyle, separated land uses, and lack of sufficient public transit have created the need for parking and access for automobiles onto most commercial sites. Lighting in required parking areas must be designed to have a minimal impact on the surrounding environment.

(F) Traffic. Developments which generate significant increases in traffic will include an analysis of the proposed development's impact on the current and future transportation system, and methods to control traffic.

1. Major internal circulation roadways that provide access from the public right-of-way or between buildings on the same site must be separated from parking areas using curb and gutter and a combination of any of the following methods:
 - (a) landscaping;
 - (b) pedestrian walkways; or
 - (c) lighting.
2. Concrete "deadmen" wheel stoppers are required for parking spaces adjacent to a pedestrian walkway or amenity. ~~(c) Cross access for automobiles and pedestrians to future and existing commercial developments is required during initial site planning and construction.~~
3. Cross access for automobiles and pedestrians to future and existing commercial developments is required during initial site planning and construction.
4. The design and location of loading areas and dock facilities must minimize the interaction between trucks and visitor's automobiles. Access to loading and delivery areas must be separated from parking areas.
5. The design and location of loading facilities must take into consideration the specific dimensions required for the maneuvering of large trucks and trailers into and out of loading position at docks or in stalls and driveways.

- (G) Pedestrians. Active Transportation Site layout and design must ~~equally~~ address the needs of pedestrians, bicycles, and ~~automobiles~~ other non-motorized forms of transportation. ~~Pedestrian access~~ Access and safety on the site should be ensured for all users.
1. Pedestrian access from the public right-of-way through the site to main entrances is required. These walkways are required to be constructed of dissimilar materials to the roadway or parking area, and provide for clearly defined crossings where there are points of conflict with automobiles.
 2. Dissimilar roadway materials within parking lots are required to be used directly in front of entrances to slow motorists and create a safer environment for pedestrians.
 3. Pedestrian drop-off locations when incorporated within overall circulation patterns are required to be convenient and safe for pedestrians.
 4. An approved bike rack shall be installed near the entrance(s) of each building or unit as applicable.
- (H) Security. Security of the site is required to be addressed in site design. The developer is required to submit documents that demonstrate the security measures of the site design in relation to private, semi-public and public areas, by utilizing natural surveillance, access control and proper maintenance.

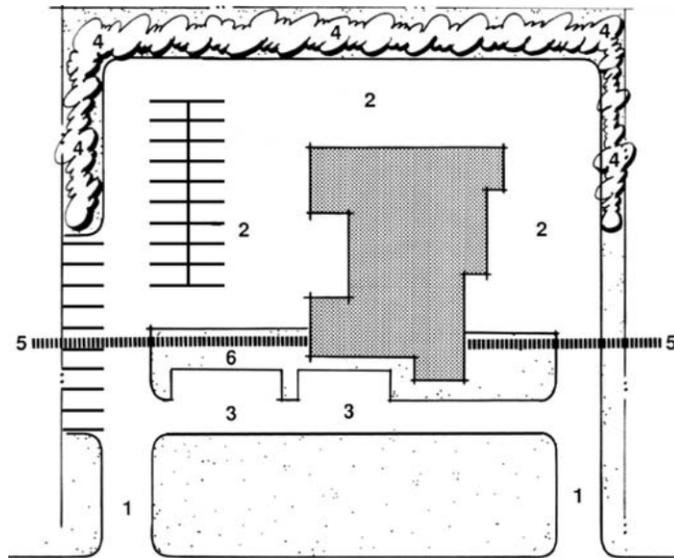
10.28.200 Industrial Developments

The design ~~guidelines~~ standards in this Part are applicable to all new industrial, and warehouse ~~developments~~ buildings in the City as well as additions to and exterior remodeling of existing buildings where the improvements are visible from a public right-of-way.

10.28.210 Industrial Site Planning

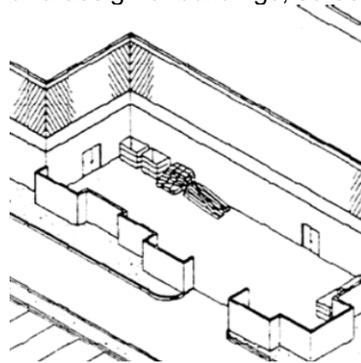
Site planning considers how the various components of a development (e.g., buildings, circulation, parking, open space, etc.) relate to adjacent streets and existing development, and how the various components relate to each other within the development site.

- (A) Building and Facilities Location. The main elements of a well-designed industrial site include:
1. controlled site access with appropriate maneuvering areas for trucks separated from general vehicle circulation (1);
 2. employee parking areas located apart from loading and service areas. (2);
 3. convenient public access and short-term visitor parking at the front of the building (3);
 4. screening of storage, work areas, and mechanical equipment and buffering of adjacent land uses (4);
 5. emphasis on a well-designed main building entry and landscaping (5)



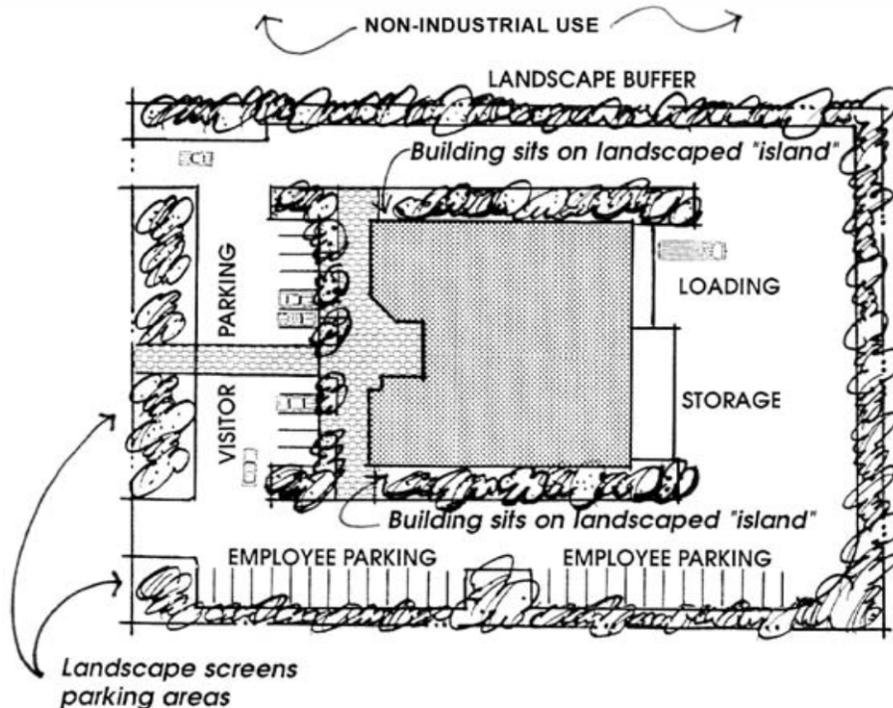
Example of appropriate industrial site layout

6. Site elements, such as buildings, parking, driveways, and out-door activities should be arranged to emphasize the more aesthetically pleasing components of the site (e.g., landscaping and superior architectural features) and disguise less attractive elements (e.g., service facilities, outside storage, equipment areas, and refuse enclosures) through proper placement and design of buildings, screen walls, and landscaping.



Outdoor storage areas-screened from view

7. Industrial and warehouse development must be screened and buffered from any adjacent uses that are less intensive in compliance with the Code. Intensified landscaping, increased setbacks, and appropriate building location will be utilized as a means of providing adequate separation between land uses of varied intensity.



8. Noise generating functions must be located in a way that minimizes any impact on adjacent non-industrial properties. Sound attenuation walls should be used where appropriate to mitigate/reduce noise.
9. The number of site access points are to be located at distances from street intersections that will minimize points of potential vehicle conflict, especially between automobiles and trucks.
10. Primary entry drives for automobiles, especially visitors, must be enhanced with: ornamental landscaping, low-level decorative walls, monument-type signs, or decorative paving to emphasize site access locations.

(B) Vehicular Circulation

1. Site access and internal circulation must promote safety, efficiency, convenience, and minimize conflict between trucks and other vehicles. Appropriate maneuvering and stacking areas for trucks should be a primary consideration in the overall design of the circulation system.
2. Uses where trucks are anticipated, such as distribution centers, should be planned to accommodate safety and maximize visibility for both truck maneuvering and other traffic.
3. The design and location of loading areas and dock facilities must minimize the interaction between trucks and other automobiles. Access to loading and delivery areas must be separated from parking areas.
4. The design and location of loading facilities must take into consideration the specific dimensions required for the maneuvering of large trucks and trailers into and out of loading position at docks or in stalls and driveways.

(C) Parking Location

1. Parking lots are not to be the dominant visual element at the front of the site. Expansive paved areas located between the street and the building are prohibited.
2. Large parking areas (over 100 spaces) must be divided into smaller multiple lots and provided with trees located throughout the parking area to reduce the visual impact.
3. Visitor parking spaces should be located to produce the shortest route of travel to a building entrance.
4. Pedestrian walkways must provide safe, convenient, and well-defined access between parking areas and the public sidewalk and the main public access to the building.
5. Pedestrian circulation should be clearly delineated and separate from vehicle circulation. The use of landscaping, walkways, or decorative paving to delineate pedestrian circulation must be used.

10.28.220 Industrial Architecture

The architectural design of a structure must consider many variables, from the functional use of the building, to its aesthetic design, to its “fit” within the context of existing development. The following **guidelines standards** help buildings achieve the appropriate level of design detail on all facades, avoid blank/uninteresting facades, and provide for the proper screening of equipment and refuse areas.

(A) Architectural Form and Detail

1. If adjacent to a residential zoning district, in addition to the buffer requirements of this code, additional building setbacks of ten feet (10') must be provided adjacent to the residential use to reduce the visual impact of ~~large-scale~~ industrial buildings.
2. The mass and scale of large, box-like industrial buildings are to be reduced through the incorporation of varying building heights and setbacks along the front and street sides **of** building façades.
3. Front and street sides **of** facades of large buildings visible from a public street must include: architectural features such as reveals, windows and openings, changes in color, texture, or material to add interest to the building elevation and reduce its visual mass.
4. Primary building entries must be readily identifiable and well defined through the use of projections, recesses, columns, roof structures, or other design elements.

(B) Color and Materials

1. A comprehensive material and color scheme must be developed for each site. Material and color variations in multi-building complexes must be complementary and compatible among buildings.

(a) All projects are required to submit a sample board containing physical samples of all exterior surface materials, including roofing materials, in all the colors they will be used. Photos alone are not sufficient.

2. Large expanses of ~~smooth~~ similar material (e.g., concrete) must be broken up with reveals and/or changes in texture and color.
3. Bright, contrasting colors should be used for small areas of building accents only.
4. Design and colors of wall signs must be compatible with the main buildings on the site.
5. Materials, design, and colors of monument signs must be compatible with the main buildings on the site.

(C) Accessory Buildings

1. The design of accessory buildings (e.g., security kiosks, maintenance buildings, and outdoor equipment enclosures) must be incorporated into and be compatible with the overall design of the project and the main buildings on the site.
2. Temporary buildings are not to be located where they will be visible from adjoining public streets.
3. Modular buildings must be skirted with material and color that is compatible with the modular unit and the main buildings on the site.

10.28.230 Industrial Landscape Design

Landscaping has a variety of functions, including softening the hard edges of development, screening unattractive views, buffering less intensive uses, providing shade, and increasing the overall aesthetic appeal of a project.

(A) Landscape Design

1. Landscape design must follow an overall concept and link various site components together.
2. Landscaped areas incorporate a three-tiered planting system: 1) grasses, ground covers, or flowers 2) shrubs or vines, and 3) trees.
3. The use of a variety of trees, especially in parking areas and pedestrian open space areas, is required.
4. More intense landscaping and special landscape features are to be provided at major focal points, such as entries and pedestrian gathering areas.
5. The front, public portions of buildings must be separated from parking areas by landscaping and pedestrian walkways.

(B) Walls and Fences

1. The colors, materials, and appearance of walls and fences, including walls for screening purposes must be compatible with the overall design character/style of the development.
2. Landscaping must be used in combination with walls and fences to visually soften blank surfaces.

3. When security fencing is required adjacent to streets, it must consist of wrought iron, tubular steel, or similar material supported by masonry piers.

(C) Outdoor Lighting

1. The design and location of outdoor lighting fixtures must preclude direct glare onto adjoining property and streets in compliance with the Development Code. Illumination devices must be installed, directed, and shielded to confine light rays within the property.
2. Outdoor lighting (e.g., location, height, and number) must be designed to foster security. Site and building entries must have enhanced illumination to increase visibility and safety.

(D) Refuse Storage and Utility Equipment

1. Refuse storage areas should be located at the rear of the development and screened from public view in compliance with the Development Code.
2. If refuse storage areas, fuel tanks, generators, and fire check safety valves cannot be located out of public view, the design of refuse storage areas should incorporate architectural screening elements and landscaping compatible with the design of buildings and landscaping on the site.



SYRACUSE
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DESIGN STANDARDS EXAMPLE GUIDE

Commercial, Professional Office, Multifamily Residential, and Public Facility Developments

Design Standards Example Guide

Purpose

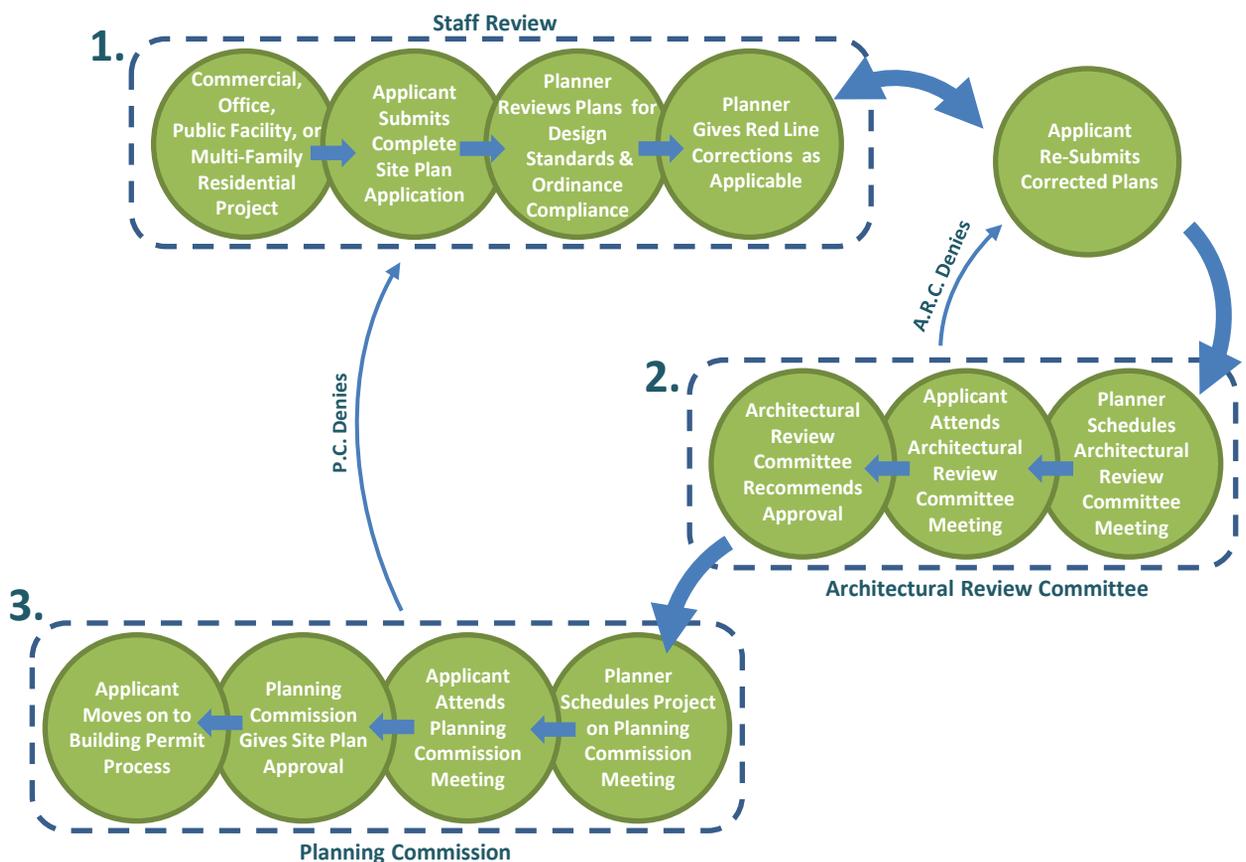
This Guide offers examples to clarify and explain the architectural design standards found in Title 10, Chapter 28 of the Syracuse City Land Use Ordinance. It serves to graphically represent the design standards and are used as a reference tool in order to better illustrate the application of the standards. The purpose of the standards are to improve the quality, compatibility of development, and permanence in design found in Syracuse City. A copy of this manual is available at the Community Development Department located at 1979 W 1900 S Syracuse UT, 84075.

Applicability

The Design standards referenced in this manual are required in addition to other standards set forth in the Syracuse City Land Use Ordinance. They are applicable with regard to building and site design. The implementation of these standards ensures that the goals and values of the community are reflected in each commercial, professional office, public facility, and multi-family residential development.

Process

Please refer to the following flow chart for guidance as to the City's process for site plan approval.



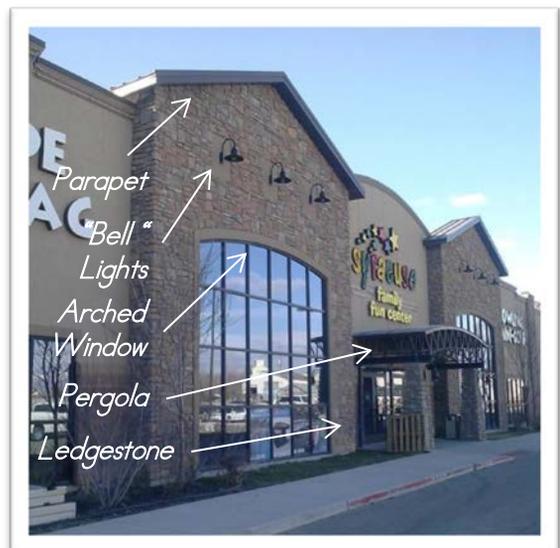
Design Standards Example Guide

Building Design

(A) Context: New buildings must be designed to include common features and materials that are used on existing Syracuse buildings. These features create a sense of place and character for the City. However, avoid copying too closely and use imaginative design. Please review the following examples of features and materials commonly used.

List of Contextual Features and Materials:

- Towers – Hipped or Cross Gabled Roofs
- Segmental Style Arched Entries & Windows
- Circular Accent Windows
- Gabled (Pitched) Roof
- Red Brick/Block
- LedgeStone Style Stone
- “Bell” Style Light Fixtures
- Awnings/ Pergolas
- Parapets (False Fronts)
- Metal Channel Roofing



“The Rush” Fun Center - 1806 South 2000 West

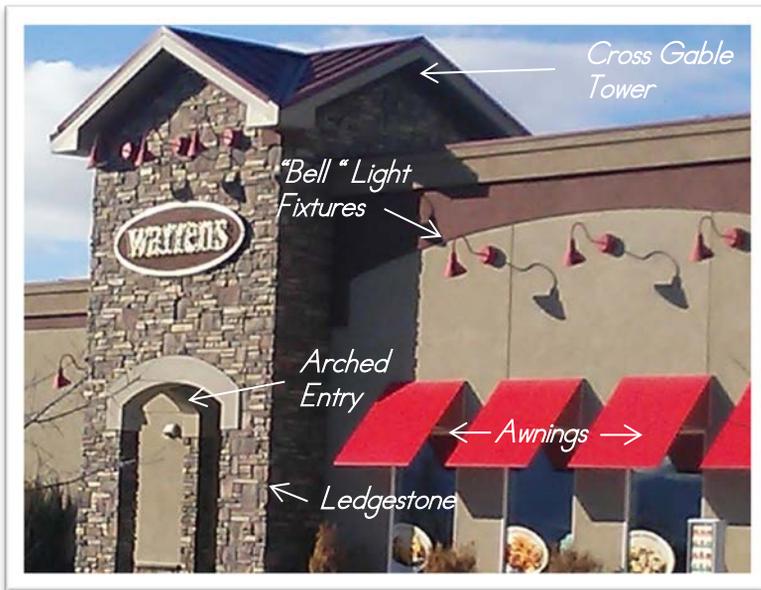


Syracuse Library - 1875 South 2000 West

Design Standards Example Guide

Building Design

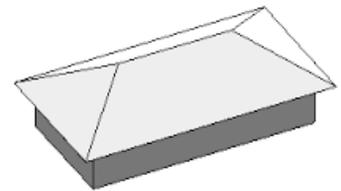
(A) Context: (Continued)



Warrens - 1778 S 1000 W



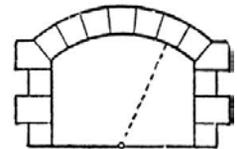
Example of Ledgestone Pattern



Example of Hipped Roof



Carl's Jr. - 2118 W. Antelope Dr.



Example of Segmental Arch



Example of “Bell” Light Fixture

Design Standards Example Guide

10.28.110 Building Design

(B) Entrances: All building entrances are required to be clearly articulated to indicate a transition from the exterior to the interior of the building. Every main entrance is required to have a special emphasis when compared to the other portions of the building.



Design Standards Example Guide

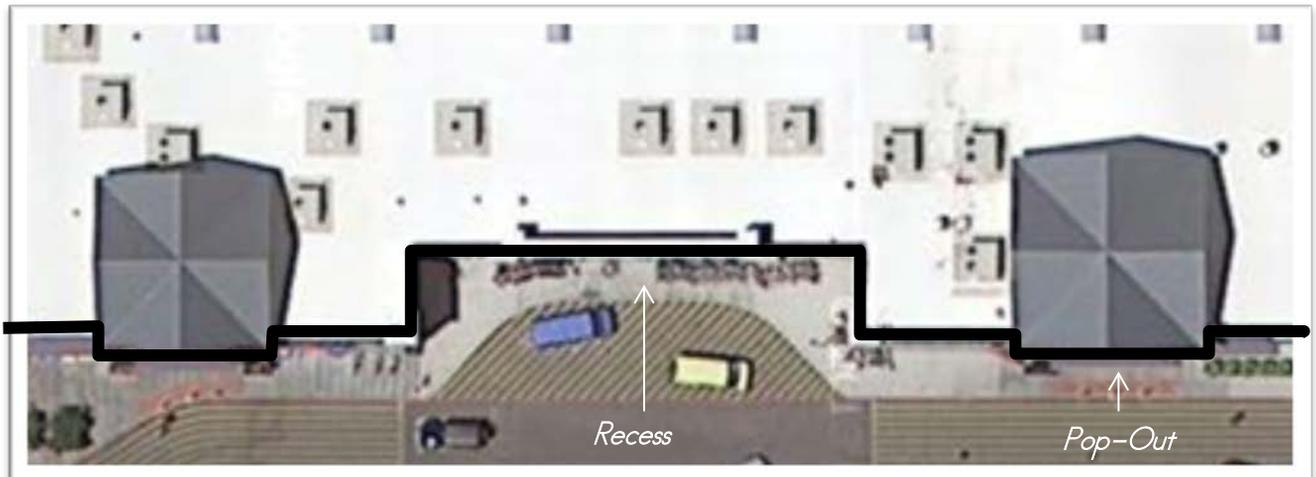
10.28.110 Building Design

(C) **Façade Articulation:** Buildings designed with completely flat façades and monotone color schemes are not permitted. All buildings are required to have horizontal and vertical façade variations such as pop-outs, bays, recesses, arches, banding, columns, or similar features. Such features are required at least every 30 feet along all exterior wall planes.

Front Elevation



Plan View



Design Standards Example Guide

10.28.110 Building Design

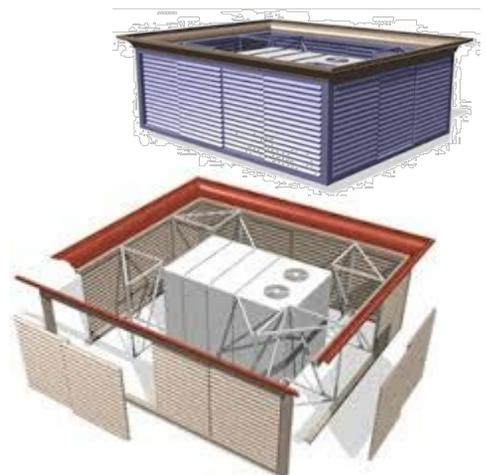
(D) Height and Roofline: Varied roofline elevations are required in order to add architectural interest and avoid the appearance or sense of long, monotonous roofline expanses. A variation such as a parapet or tower is required every 50 feet of roofline. Also, mechanical equipment mounted on the roof must be screened and the back of parapets must match the color and materials of the building.



Good Example - 1588 South 2000 West



Avoid Monotonous Rooflines



Proper Mechanical Screening

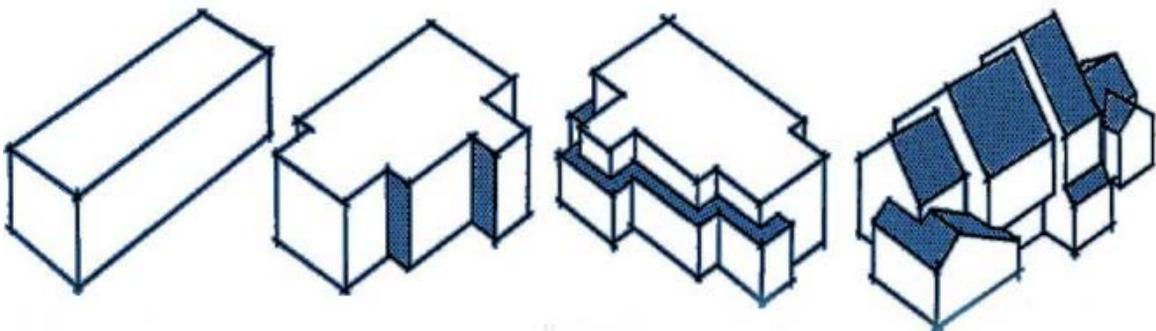
Design Standards Example Guide

10.28.110 Building Design

(E) Massing: Proper massing reduces the impact of the massive bulk created by large buildings that may not otherwise relate in scale to surrounding development. Vertical articulation, horizontal articulation, and multi-planned roof or awnings must be used in designs to mitigate the impact on surrounding development and the overall landscape. The examples below are near the same density of units per acre and building height, but the top example's massing reduces the impact and bulk of the building more effectively than the bottom example.



Good Example – 910 W. 1920 S.



Undesirable
Massing

Vertical
Articulation

Horizontal
Articulation

Multi-Planned Roof
Reduces Bulk

Design Standards Example Guide

10.28.110 Building Design

(F) Materials: Quality long-lasting materials are required for all buildings in order to contribute to the value of the community over the long term. A minimum of three colors per elevation required. Colors have to be sensitive to existing development in the vicinity. 65% of the surface materials are required to include brick, stone, metal panels, or cement-fiber siding. Stucco, vinyl, or block may be used as an accent only. A sample board containing physical samples is required.



Syracuse Library - 1875 South 2000 West



Example of Materials Sample Board



Above: unfinished concrete block is not permitted as a surface material.

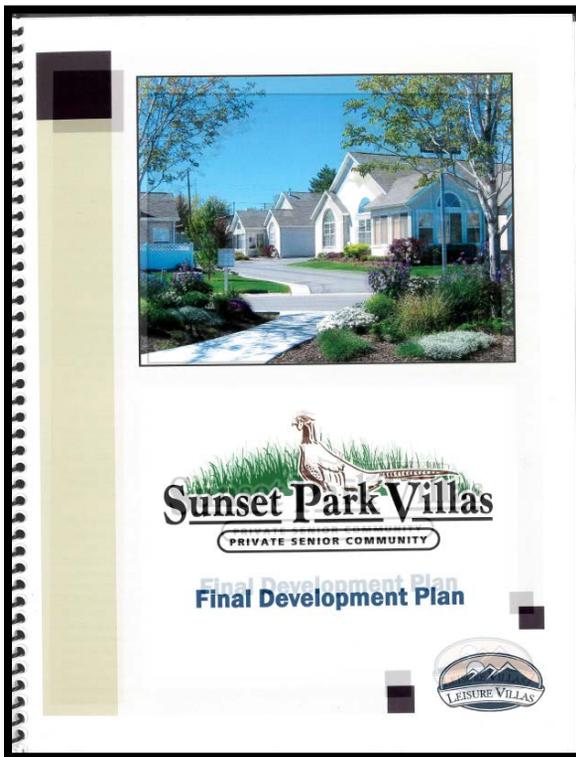
Left: A sample board containing physical samples is required. Photos alone are not sufficient.

Design Standards Example Guide

10.28.110 Building Design

(G) Development Design Pattern Book: The developer is required to provide a development design pattern book for developments including more than one structure. A design pattern book should include:

1. Written descriptions with graphics explaining how the development complements the unique characteristics of the property.
2. Written descriptions with graphic illustrations/photos explaining the theme and physical form of the architectural design.
3. Written descriptions with graphic illustrations/photos describing the proposed open spaces, pedestrian pathways, and other amenities

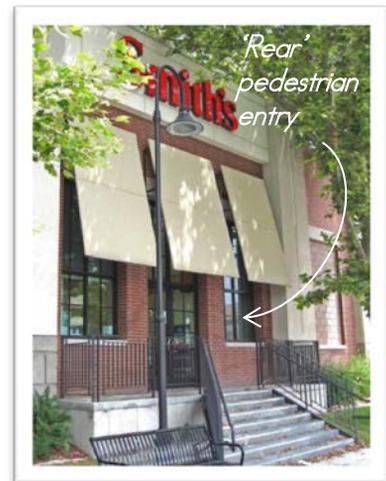


Example Design Pattern Book

Design Standards Example Guide

10.28.110 Building Design

(H) Pedestrians: All buildings will be designed with an integral focus on encouraging pedestrian activity and social interaction. Additionally, buildings that contain more than one story or that are above 20 feet in height are required to provide a clearly articulated and more detailed base that relates to pedestrians.



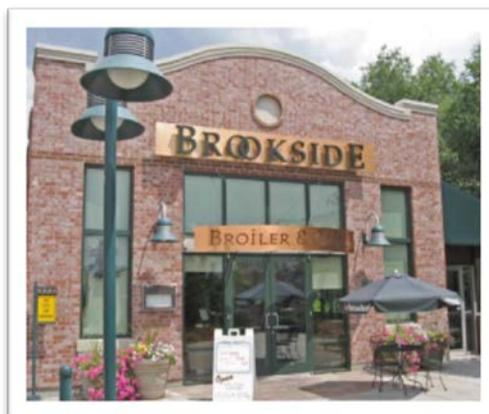
Sugarhouse Utah Smiths

10.28.110 Building Design

(I) Signs: Signs located on any building façade are required to be compatible with the building's overall design. As an integral design element, signs are required to be compatible with the style of the buildings in terms of location, scale, color, and lettering.

1. The locations for signs on a building's façade will be planned for as part of the building's overall design.

2. Signs located on façades should integrate similar or complimentary materials as the building.



Complimentary Sign Materials

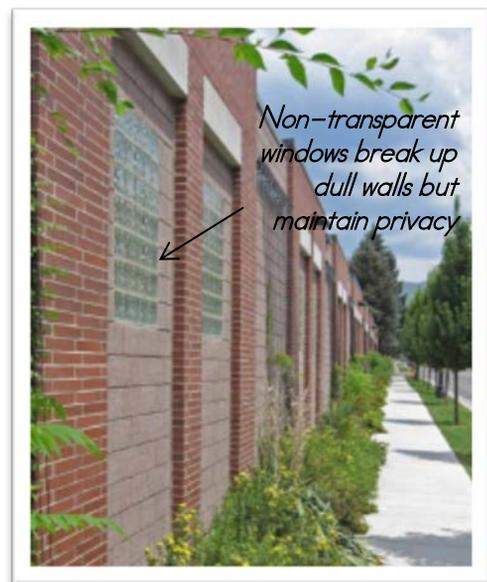


Sign Locations Not Incorporated Into Architecture

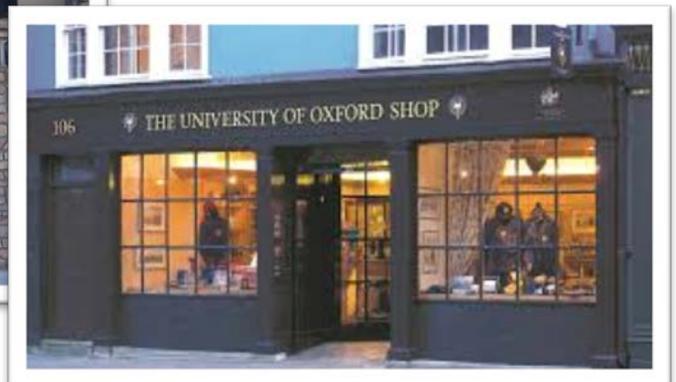
Design Standards Example Guide

10.28.110 Building Design

(J) Windows: Windows are key to the overall design of a building and the relationship between the exterior and interior. The majority of windows are required to relate to the scale of a person.



Mirrored glass not as welcoming



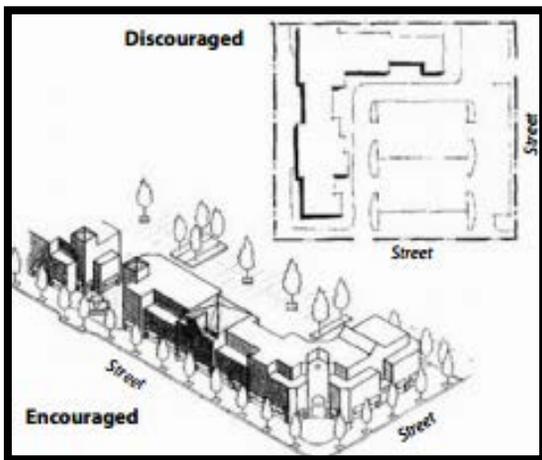
Transparent windows draw customers in

Design Standards Example Guide

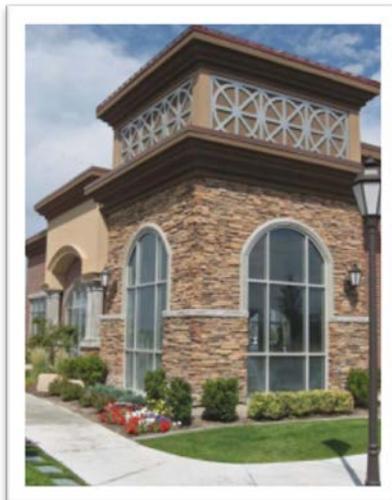
10.28.120 Site Design

(A) **Building Placement:** Building placement is integral to the site design and the overall effect any development has on surrounding properties. Building placement is required to comply with the following:

1. All buildings must be oriented with the main or similar façade facing a principal street to which it has frontage.
2. Buildings located on corner lots are required to orient main façades to each street and give equal treatment to each.



3. Buildings located on corner lots should include a prominent architectural feature of greater height than the rest of the roof, or emphasis at the corner where the two public streets meet.

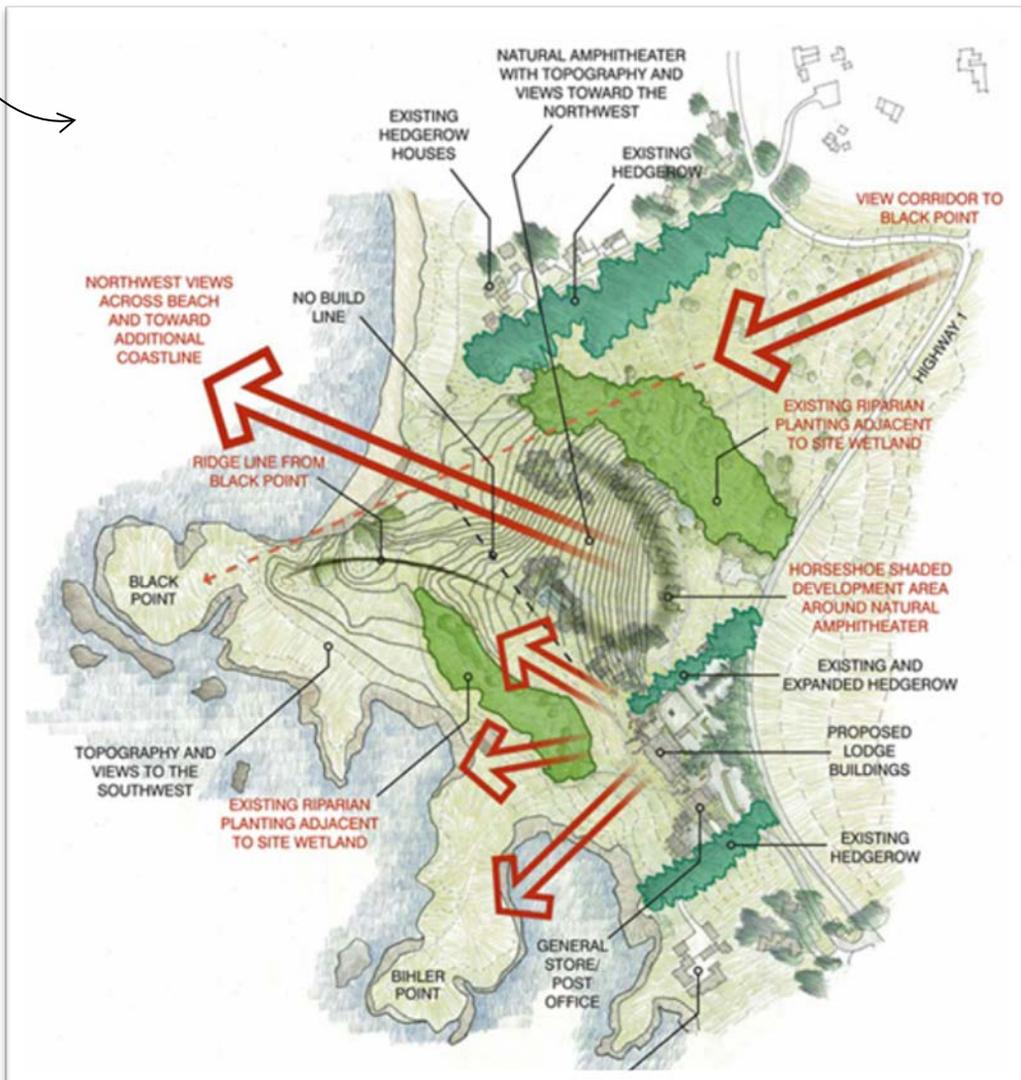


Design Standards Example Guide

10.28.120 Site Design

(B) Context: New developments are required to match or compliment surrounding developments and landscapes in order to create a site which relates to its surroundings and adds positively to the overall environment in the site area.

- *Natural features*
- *Wetlands*
- *Historic Structures*



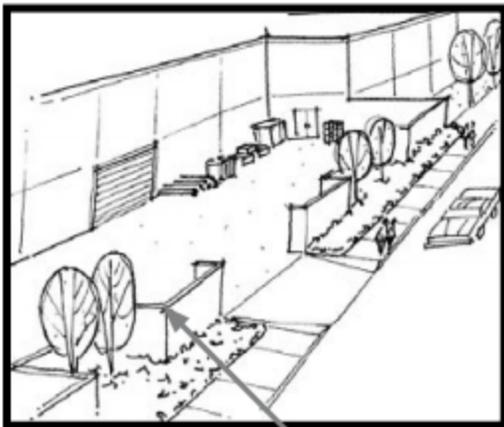
Site Analysis Example

Design Standards Example Guide

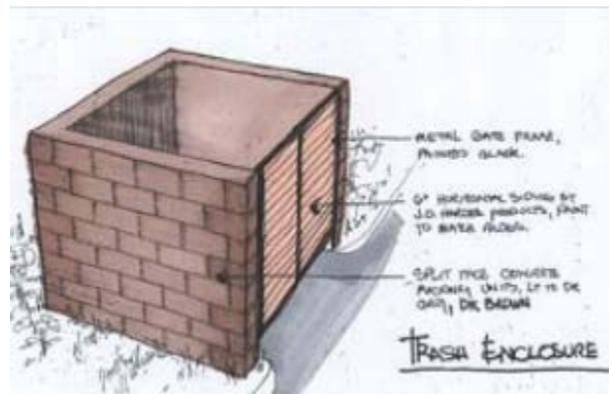
10.28.120 Site Design

(C) **Screening:** The small details that sometimes become afterthoughts of site planning and design are important factors for making aesthetically attractive sites.

1. Decrease noise levels by screening loading and service areas with walls, landscaping and locating away from houses.
2. Outdoor storage areas, generators, A/C units, and trash enclosures are required to be fully screened using approved masonry fencing and landscaping.
3. Razor fences and uncoated chain link are prohibited when visible from the public right of way.



A screen wall, combined with landscaping, enhances this loading area.



Un-coated Chain Link Prohibited



Split face block wall is effective at screening noise and is attractive

Design Standards Example Guide

10.28.120 Site Design

(D) Landscaping: Landscaping is required as a tool to enhance and beautify the site, and the building's architecture and design. Street trees and landscape increase property values.

1. A detailed landscape plan designed by a licensed landscape architect is required.
2. Street trees shall be planted every 30 feet along the public right of way.
3. Native plant species will be used with water efficient irrigation systems.
4. Outdoor amenities such as patios, plazas, water features and outdoor seating areas are encouraged.
5. Existing trees and landscape features should be preserved and incorporated into landscape plans.
6. Landscaping around the base of the building is required

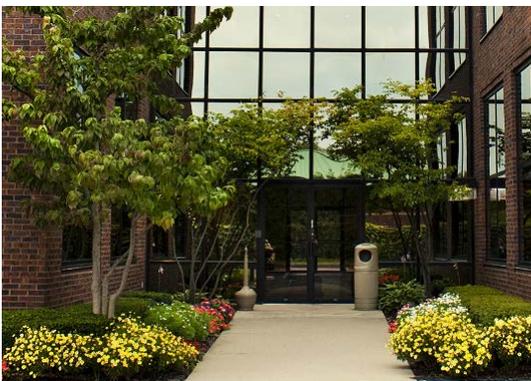


Use Native Plants



Plant Street Trees Every 30 Feet.

Hire a Licensed Landscape Architect →



Landscape the base of buildings and near entrances



Incorporate Outdoor Patios & Seating Areas

Design Standards Example Guide

10.28.120 Site Design

(E) **Lighting:** Carefully planned lighting schemes can create safe environments for pedestrians and motorists. Lighting is an integral design element which adds to the overall site plan and building design.



Coordinated light fixtures on signage and building adds character



Fixtures complement building architecture



Pedestrian scale fixtures increases safety



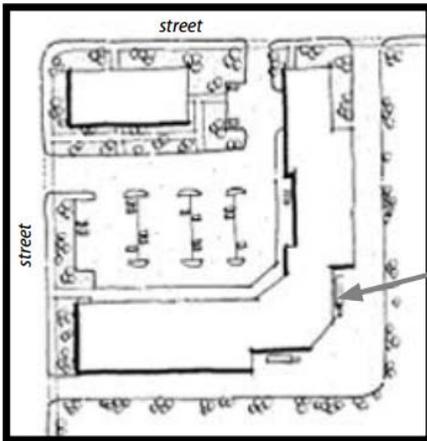
Down facing fixtures minimize light pollution

Design Standards Example Guide

10.28.120 Site Design

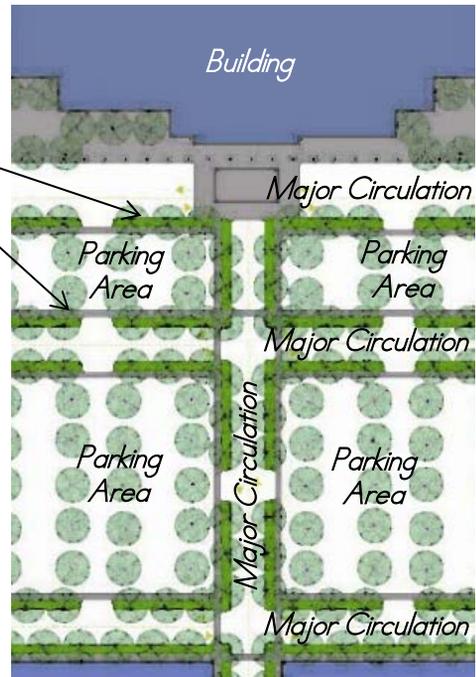
(F) **Traffic:** Developments which generate significant increases in traffic will include an analysis of the proposed development's impact on the current and future transportation system, and methods to control traffic.

- Major internal circulation roadways must be separated from parking areas using curb and gutter, landscaping, pedestrian walkways; or lighting

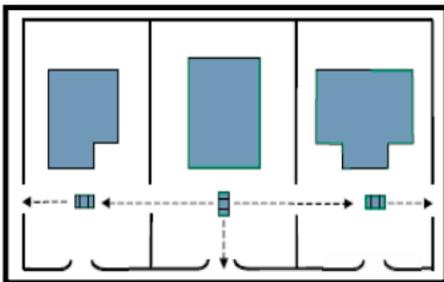


Landscaping
Sidewalk

Loading and service areas should be located away from street edge and public circulation patterns.



Cross-access for automobiles and pedestrians is required



Automobile Cross-Access



Pedestrian Cross-Access

Design Standards Example Guide

10.28.120 Site Design

(G) Active Transportation: Site layout and design must address the needs of pedestrians, bicycles, and other forms of transportation. Access and safety on the site should be ensured for all users.



Bike Rack/Bench



Wheelchair Access



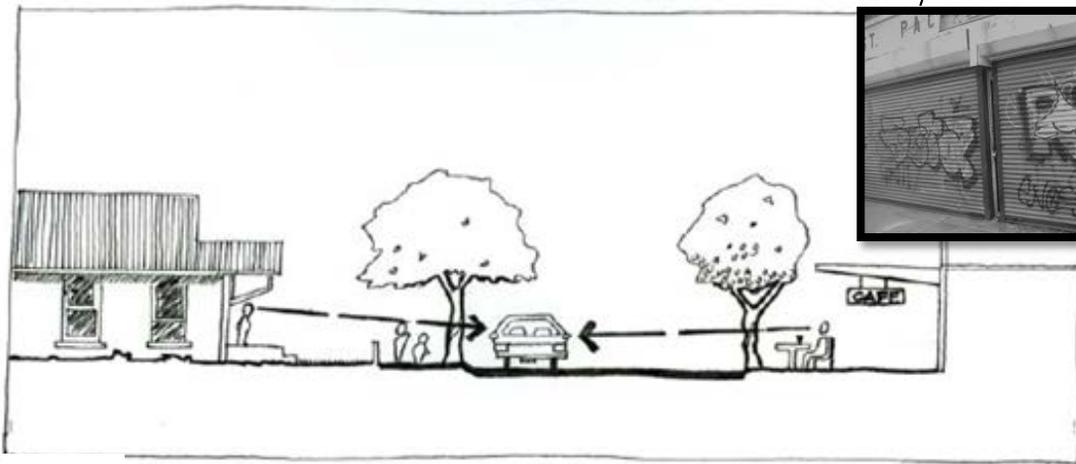
Strollers

Design Standards Example Guide

10.28.120 Site Design

(H) Security: Security of the site is required to be addressed in site design. The developer is required to submit documents that demonstrate the security measures of the site design in relation to private, semi-public and public areas, by utilizing natural surveillance, access control and proper maintenance.

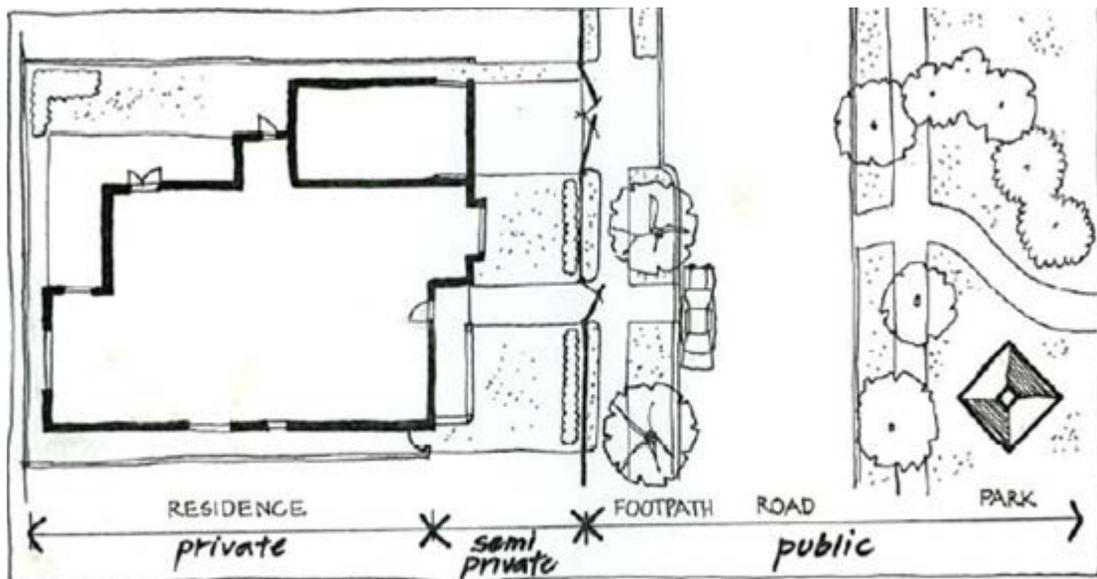
Natural Surveillance:



Proper Maintenance:

A number of observers have clear sight lines to the streetscape allowing for natural surveillance

Access Control/ Public Private Delineation



Clearly marking the distinction between private, semi-private and public space allows for territorial reinforcement

Design Standards Example Guide

Resources

Architectural Review Committee Design Standards: Syracuse City Ordinance Title 10 Chapter 28

Allowed Street Trees: Syracuse City Ordinance Title 10 Chapter 30 Section 7

Land Use Ordinances: Syracuse City Ordinance Title 10 Chapter 6

Parking Requirements: Syracuse City Ordinance Title 10 Chapter 8

Site Planning: Syracuse City Ordinance Title 10 Chapter 4 Section 90

Crime Prevention Through Environmental Design (CEPTED):

<http://www.cadca.org/files/CEPTED%20Handbook%20overview.pdf>

Native Landscape Plants:

<http://theutahhouse.org/files/uploads/Utah%20House%20Plant%20List%20v2%204p.pdf>



SYRACUSE
EST. CITY 1935

Planning Commission Meeting

February 3, 2015

EXECUTIVE SUMMARY

Item 4d: Title X Amendments-Landscape Buffer

1. Please find attached the Landscape Buffer Ordinance.
2. The Council has requested that the Planning Commission review the ordinance for updating to include amendments that allow minor subdivisions not be subject to the provisions of providing a buffer.

condemn and remove, or order the removal of, any tree, tree stump, shrub, or plant upon private property when the City Forester finds such action necessary for public safety, to prevent the spread of disease or insects, or to prevent the upheaval of any public street, curb, or sidewalk. The City Forester shall have the authority, after exercising due diligence, to notify abutting property owners, to remove or order the removal of any tree, shrub, or plant upon any public right-of-way or on any public property in violation of this section or any other ordinance. The City Forester shall have the authority to report any violations of this section to the City Council for its action. Trees, shrubs, or plants removed under the provisions of this title shall be so removed at the property owner's expense or at the expense of the abutting property owner if said plants are in the street right-of-way.

(I) Tree Topping. It shall be unlawful as a normal practice for any person, firm, or City department to top any street tree, park tree, or other tree on public property. The definition of "topping" is the severe cutting back of limbs to stubs larger than three inches in diameter within the tree's crown to such a degree so as to remove the normal canopy and disfigure the tree. Trees severely damaged by storms or other causes, or certain trees under utility wires or other obstructions where other pruning practices are impractical, may be exempt from this section at the determination of the City Tree Board.

(J) Pruning – Corner Clearance. Every owner of any tree overhanging any street or right-of-way within the City shall prune the branches so that such branches shall not obstruct the light from any street lamp or obstruct the view of any street intersection and so that there shall be a minimum clear space of 11 feet above the surface of the street and a minimum clear space of seven feet above the surface of the sidewalk. Said owners shall remove all unhealthy, dead, diseased, or dangerous trees, or tree limbs that constitute a menace to the safety of the public or prevent the City from maintaining City sidewalks, curb, or streets. The City shall have the right to prune any tree or shrub on private property when it interferes with the proper spread of light along the street from a street light or interferes with visibility of any traffic control device, traffic sign, or street maintenance equipment.

(K) Willful Injury to Trees. No person shall willfully injure or destroy any tree on public

streets, public parks, or other public property of the City by any means including, but not limited to, the following:

(1) Constructing a concrete, asphalt, brick, or gravel sidewalk or otherwise filling up the ground area around any tree so as to shut off air or water from the roots, except under written authority from the City Forester.

(2) Piling building material, equipment, or other substance around any tree so as to cause injury.

(3) Pouring any injurious matter on or around any tree or on the ground around it or on any lawn or sidewalk.

(4) Injuring any tree, tree stake, or guard with any vehicle or animal or in any other manner causing injury to any tree or lawn or public property.

(L) Removal of Stumps. All stumps of street and park trees shall be removed below the surface of the ground so the top of the stump shall not project above the surface of the ground. [Ord. 11-02 § 1 (Exh. A); Ord. 08-11 § 1 (Exh. A); Ord. 08-07 § 1 (Exh. A); Ord. 06-27; Ord. 06-17; amended 2000, 1997; Code 1971 § 10-6-070.]

10.30.080 Buffer yards.

(A) Purpose. The buffer yard is a unit of land, together with the planting required thereon, to ameliorate nuisances between adjacent land uses or between a land use and public road. Both the calculated amount of land and the type and amount of planting specified for each buffer yard required by this chapter shall ensure they do, in fact, function as "buffers." Buffer yards shall separate different land uses from each other in order to eliminate or minimize potential nuisances such as dirt, litter, noise, glare of lights, signs and unsightly buildings or parking areas or to provide spacing to reduce adverse impacts of noise, odor, or danger from fires or explosions.

(B) Location of Buffer Yards. Buffer yards shall be located on the outer perimeter of a lot or parcel adjacent to a different use and shall extend along the entire boundary of the property adjacent to that use. Fencing associated with buffer yards shall be located on property lines except as described in subsection (G) of this section.

(C) Determination and Approval of Buffer Yards Required. To determine the type of buffer

yard required between two adjacent parcels or between a parcel and a street, the following procedure shall apply:

(1) Identify the land use category of the proposed use.

(2) Identify the use category of the existing land use adjacent to the proposed use by an on-site survey to determine the intensity classification from Table 1. Agricultural determination need not directly relate to whether or not someone is farming the adjacent property.

(3) Determine the buffer yard required for the proposed development by using Table 2.

(4) Using Buffer Tables A through E, identify the buffer yard options using the buffer yard requirement determined in Table 2. The City Council, upon recommendation of the Planning Commission, shall approve buffer yard options contained in the Buffer Table.

(D) Use of Buffer Yards. The buffer yard may be used to provide for passive recreation and may contain pedestrian, bike, or equestrian trails; provided, that: (1) the buffer yard does not eliminate any plant material, (2) provisions are in place to ensure maintenance of the total width of the buffer yard, and (3) all other requirements of this title are met. In no event, however, shall buffer yards contain the following uses: ice skating rinks, play fields, ski hills, stables, swimming pools, and tennis courts.

(E) Ownership of Buffer Yards. Buffer yards may remain in the ownership of the original developer of the land use or be subject to deed restrictions and subsequently freely conveyed, or the proprietor may transfer ownership to any consenting grantees, such as adjoining land owners or homeowners' association, or deed the same to the City; provided, that any such conveyance adequately guarantees the protection of the buffer yard for the purposes of this title.

(F) General Landscaping Requirements. Buffer Tables A through E identify details for landscaping requirements and specify the number and types of plants required in 100-foot increments. Any substitute plants require approval from the City Council.

(G) Alternative to Fencing Requirements. When the owner of a buffer yard, identified in Tables D and E, transfers same to an adjoining

property owner, the fence location may shift to the opposite side of the buffer area.

**Table 1
Existing Land Use Classification**

Classification	Existing Land Use
1	Agriculture Farm Industry
2	R-1 Residential Outdoor Recreational Parks
3	R-2 Residential Indoor Recreation Day Care Centers Schools Cemeteries
4	R-3 Residential PRD Residential Commercial Preschools
5	Churches Hospitals Medical Care Facilities Office Complex Professional Offices Nurseries Greenhouses
6	Industrial Business Park Neighborhood Services Dog Kennels Commercial Commercial Entertainment Research Park

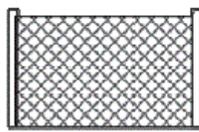
**Table 2
Buffer Classification Requirements**

Proposed Land Use	Buffer Classification Requirements*	EXISTING LAND USE CLASSIFICATION					
		1	2	3	4	5	6
Industrial		—	E	E	E	E	—
Business Park		—	D	D	D	D	—
Neighborhood Services		—	C	C	C	C	—
General Commercial		A	D	D	D	D	—
Agriculture		—	—	A	A	B	C
R-1 Residential		A	—	—	A	B	C
R-2 Residential		A	—	—	—	C	D
R-3 Residential		A	—	—	—	C	E
Private Residential Development		A	C	D	—	D	E
Professional Office		C	D	D	D	—	—
Research Park		C	D	E	E	E	E

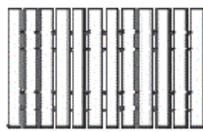
* Refer to minimum lot standards associated with each zone for minimum yard setback requirements.

NOTE: Any residential use abutting agriculture or farm industry must have a five-foot nonclimbable fence.

BUFFER TABLE A



5' Chain Link Fence



5' Wood Stockade Fence



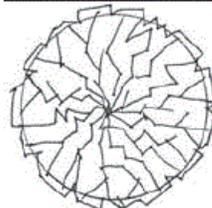
5' Wood Rail Fence



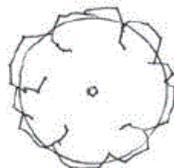
5' Vinyl Fence

AND

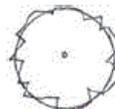
Required Plat Units/100'



(0.6) Canopy Tree



(1) Understory Tree

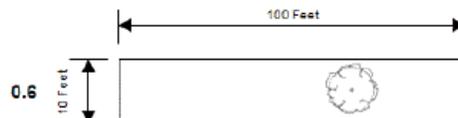
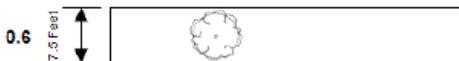
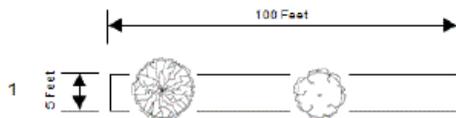


Shrub

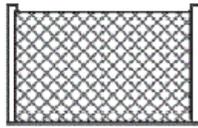


Evergreens/Conifers

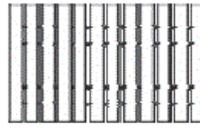
Plant Multiplier



BUFFER TABLE B



5' Chain Link Fence



5' Wood Stockade Fence



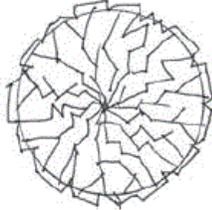
5' Wood Rail Fence



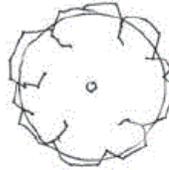
5' Vinyl Fence

AND

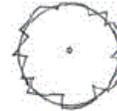
Required Plat Units/100'



(1) Canopy Tree



(1) Understory Tree

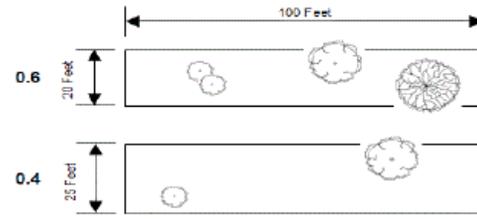
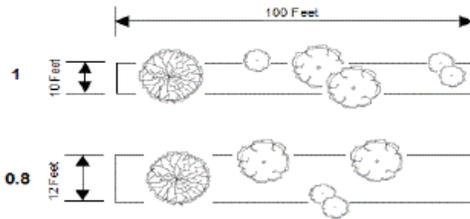


Shrub

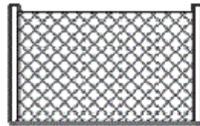


Evergreens/Conifers

Plant Multiplier



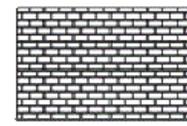
BUFFER TABLE C



6' Chain Link Fence with Privacy Slats



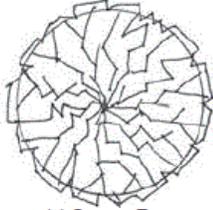
6' Impervious and Opaque Wood Stockade or Vinyl Fence



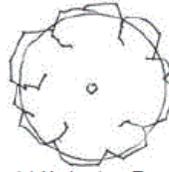
6' foot Masonry Wall

AND

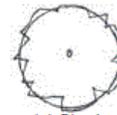
Required Plat Units/100'



(2) Canopy Tree



(4) Understory Tree

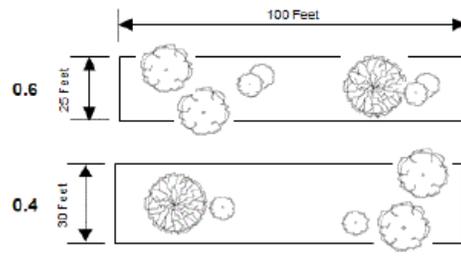
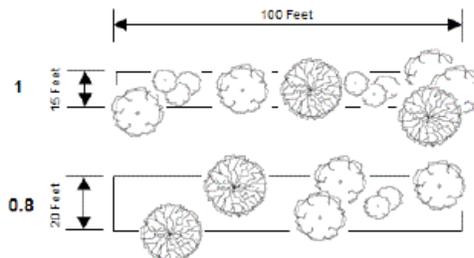


(6) Shrub

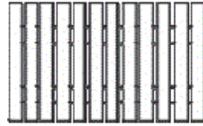


Evergreens/Conifers

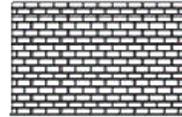
Plant Multiplier



BUFFER TABLE D



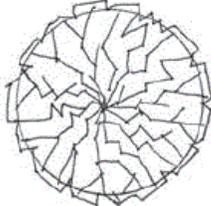
6' Impervious and Opaque Wood Stockade or Vinyl Fence



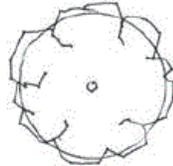
6' foot Masonry Wall

AND

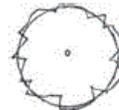
Required Plat Units/100'



(3) Canopy Tree



(6) Understory Tree

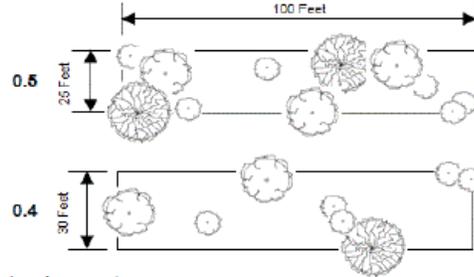
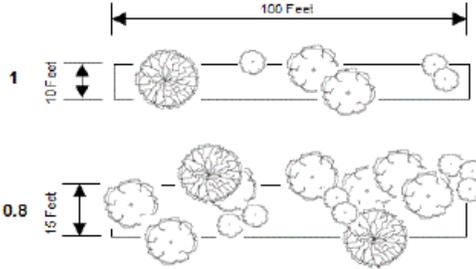


(9) Shrub

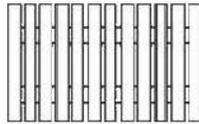


Evergreens/Conifers

Plant Multiplier

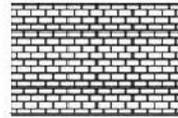


BUFFER TABLE E



F1 = 6'
F2 = 8'

Impervious and Opaque Wood Stockade or Vinyl Fence

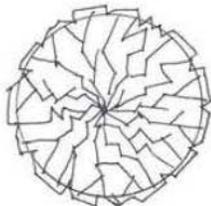


F1 = 6'
F2 = 8'

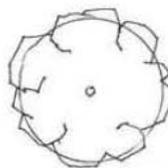
Masonry Wall

OR

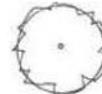
Required Plat Units/100'



(3) Canopy Tree



(6) Understory Tree

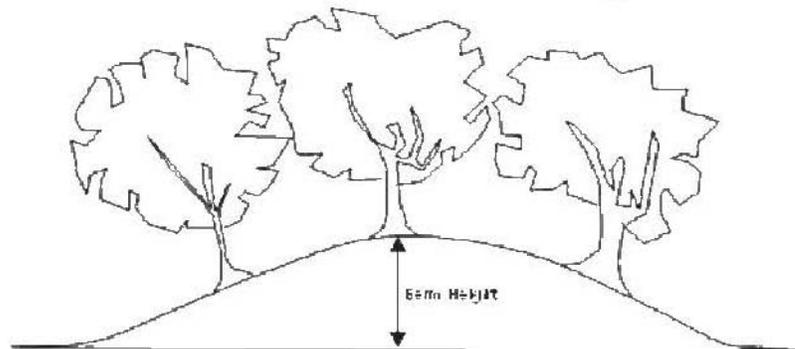
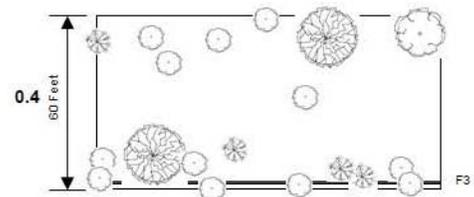
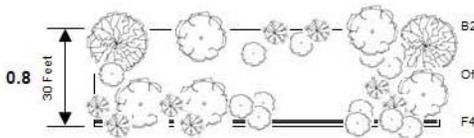
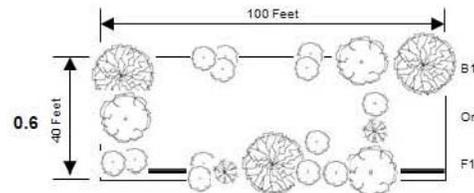
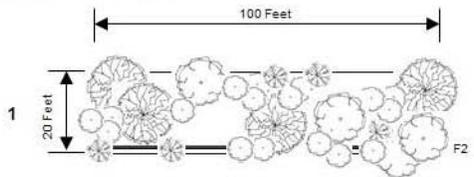


(9) Shrub



Evergreens/Conifers

Plant Multiplier



Symbol	Height	Material
B1	6 Feet	Earth
B2	3 Feet	Earth

[Ord. 14-09 § 1; Ord. 12-14 § 2; Ord. 12-12 § 2; Ord. 11-02 § 1 (Exh. A); Ord. 09-10 § 1 (Exh. A); Ord. 08-11 § 1 (Exh. A); Ord. 08-07 § 1 (Exh. A); Ord. 06-27; Ord. 06-17; Ord. 03-18; Code 1971 § 10-6-080.]

Planning Commission Meeting

February 3, 2015

EXECUTIVE SUMMARY

Work Session Item 4e. Public Hearing, Code Amendment, Title 10, Land Use Matrix

- ❖ Proposed Title 10 Amendments.

BACKGROUND:

Please see the attached draft Matrix for discussion. Land uses have been grouped by type with the specific zones. This is a working draft and is not complete. I have left the categories (P, C, MC) off the table so that the Planning Commission could have a discussion of the uses not biased by the existing code designations.

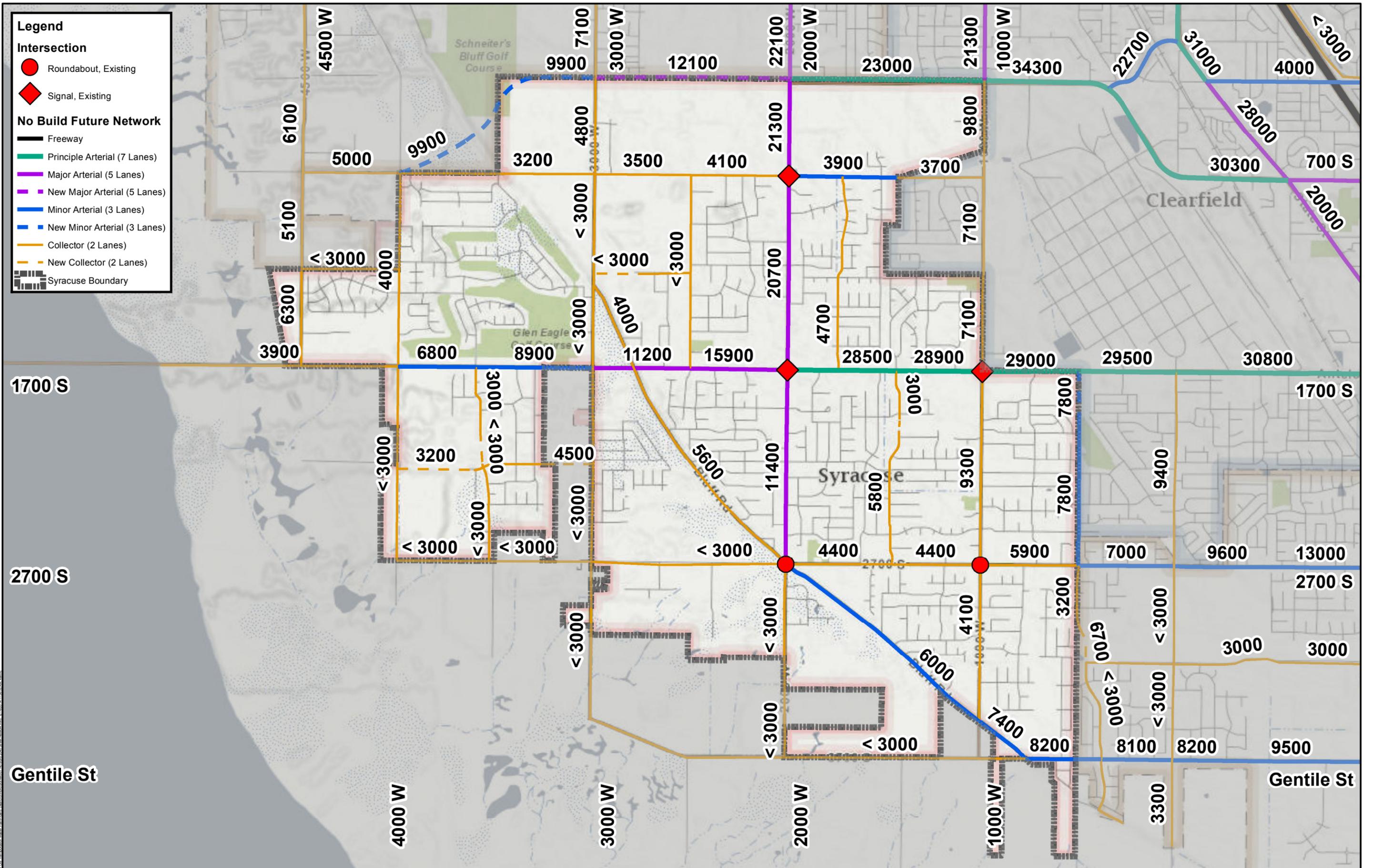
Legend

Intersection

- Roundabout, Existing
- ◆ Signal, Existing

No Build Future Network

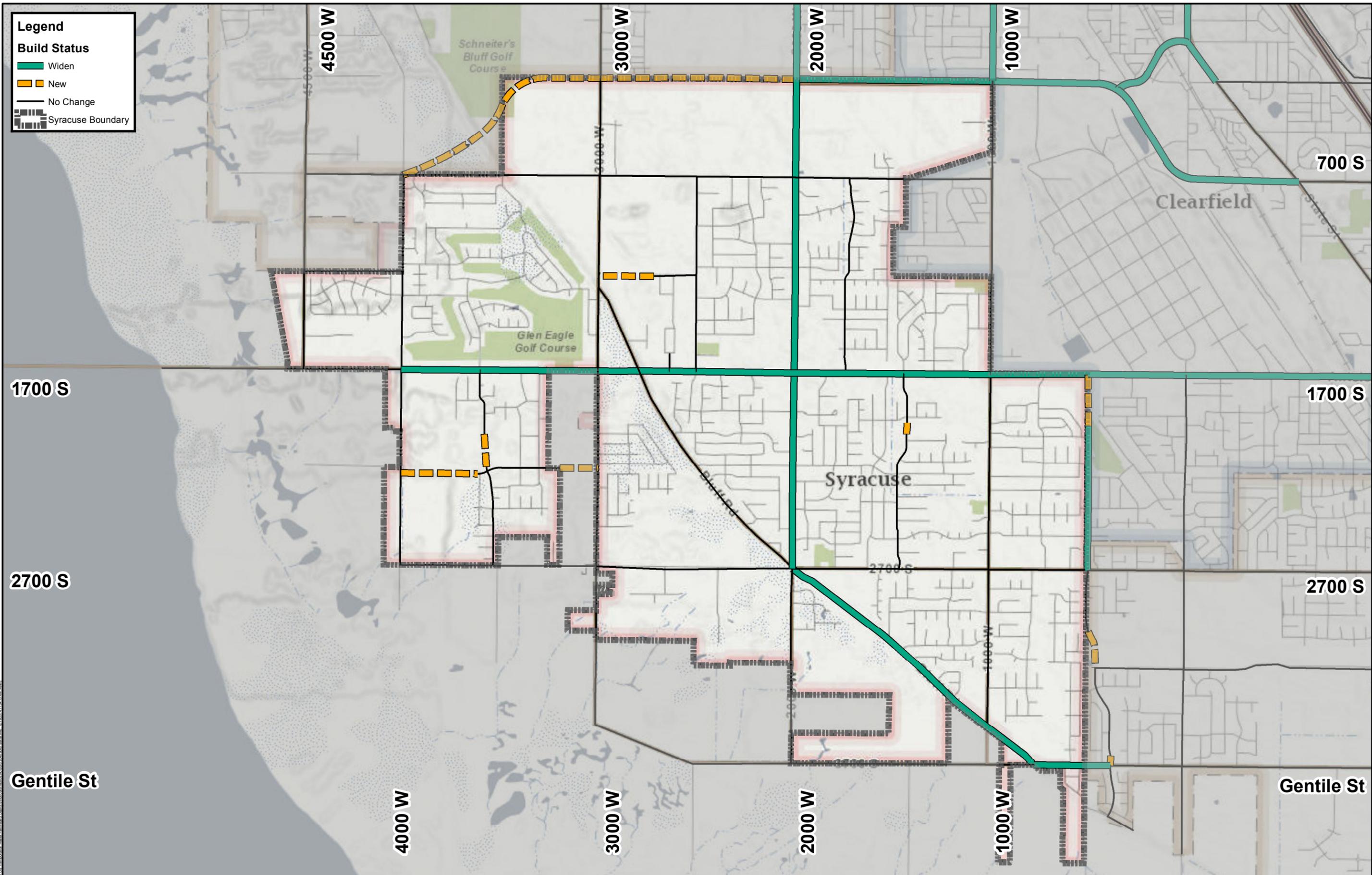
- Freeway
- Principle Arterial (7 Lanes)
- Major Arterial (5 Lanes)
- New Major Arterial (5 Lanes)
- Minor Arterial (3 Lanes)
- New Minor Arterial (3 Lanes)
- Collector (2 Lanes)
- New Collector (2 Lanes)
- ▬ Syracuse Boundary



Legend

Build Status

- Widen
- New
- No Change
- Syracuse Boundary



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