



SYRACUSE CITY

Syracuse City Council Work Session Notice

December 11, 2012 – 6:00 p.m.

Municipal Building, 1979 W. 1900 S.

Notice is hereby given that the Syracuse City Council will meet in a work session on Tuesday, December 11, 2012, at 6:00 p.m. in the large conference room of the Municipal Building, 1979 W. 1900 S., Syracuse City, Davis County, Utah. The purpose of the work session is to discuss/review the following items:

- a. Review agenda for business meeting to begin at 7:00 p.m. (5 min.)
- b. Presentation on Chloe's Sunshine Park donation options. (5 min.)
- c. Discuss City Cemetery burial fees. (10 min.)
- d. Discuss potential petition to disconnect cemetery property from Clearfield City. (10 min.)
- e. Discuss culinary water meters- radio reads (10 min.)
- f. Review agenda item #5 – Public Hearing: Authorize Administration to dispose of a parcel of real property adjacent to 2400 West. (5 min.)
- g. Review agenda item #6 – Final Approval, Hammon Acres Subdivision, located at approximately 1290 South 3700 West. (5 min.)
- h. Review agenda item #7 – Final Approval, Fox Haven Subdivision, located at approximately 2900 South 2400 West. (5 min.)
- i. Council business. (5 min.)

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In compliance with the Americans Disabilities Act, persons needing auxiliary communicative aids and services for this meeting should contact the City Offices at 801-825-1477 at least 48 hours in advance of the meeting.

#### **CERTIFICATE OF POSTING**

The undersigned, duly appointed City Recorder, does hereby certify that the above notice and agenda was posted within the Syracuse City limits on this 6<sup>th</sup> day of December, 2012 at Syracuse City Hall on the City Hall Notice Board and at <http://www.syracuseut.com/>. A copy was also provided to the Standard-Examiner on December 6, 2012.

CASSIE Z. BROWN, CMC  
SYRACUSE CITY RECORDER



SYRACUSE  
EST. CITY 1935

# Chloe's Sunshine Playground

## Phase 1:

Playground Equipment/Fencing Estimate:

\$379,338.39

In-kind services:

\$30,000.00

**Phase 1 total cost:**

**\$409,338.39**

## Phase 2:

Splash Pad Estimate:

\$350,000.00

Restroom Estimate:

\$150,000.00

**Phase 2 Total cost:**

**\$500,000.00**

**Total Project cost:**

**\$909,338.00**



SYRACUSE  
EST. CITY 1935

# Contributions Update

|                                                |                     |
|------------------------------------------------|---------------------|
| 2010 Contributions:                            | \$76,118.75         |
| 2011 Contributions:                            | \$12,011.00         |
| 2012 Contributions:                            | \$93,105.08         |
| <b>Davis County Arts Gala:</b>                 | <b>\$46,046.20</b>  |
| In-Kind Agriculture Services:                  | \$10,000.00         |
| In-kind Engineering Services:                  | \$10,000.00         |
| <u>In-kind Excavation/Site Prep Services:</u>  | <u>\$10,000.00</u>  |
| <b>Total Contributions:</b>                    | <b>\$257,281.03</b> |
| <b>Money still needed to complete Phase 1:</b> | <b>\$152,057.36</b> |



SYRACUSE  
EST. CITY 1935

# Donation Options

1. **Utility Bill**
2. **Donate directly to The Charitable Foundation of Syracuse City**
3. **Purchase a Brick or Picket for a fence for \$100.00**





# COUNCIL AGENDA

December 11th, 2012

Agenda Item “c”

## Discuss City Cemetery Burial Fees

### *Factual Summation*

- Any questions about this agenda item may be directed to one of the following: Public Works Director, Robert Whiteley; Parks and Recreation Director, Kresta Robinson; or Cemetery Sexton, Kathryn Lukes
- Cemetery fees were last reviewed and adjusted by city council in July 2011. The rates were updated to ensure they cover actual operating and maintenance costs. These fees are reflected on the current Consolidated Fee Schedule.
- A request was made to the city to waive fees for infant burials. The current fee is \$100 for a resident infant interment.

### *Considerations*

- Cemetery fees are established in order to cover operating costs, such as record-keeping, mapping, online updating, agency and survivor coordination, internments, and ongoing maintenance of the land.
- Regardless of the size of the interment and who the individual is, there are still costs that the city is responsible for in order to properly and safely perform the necessary tasks.
- Fee comparisons were performed in July 2011. Our current fees remain one of the lowest cost cemeteries in the area.

### *Recommendation*

- The currently established fees are suitable for continued operation and maintenance of the cemetery and city staff recommends that the fees remain unchanged.

## Resident Cemetery Fees

|                               | West Point | Syracuse | Farmington | Ogden | Bountiful | Roy  | Clinton | Kaysville | Centerville | Brigham City |
|-------------------------------|------------|----------|------------|-------|-----------|------|---------|-----------|-------------|--------------|
| Plot Purchase                 | 300        | 500      | 400        | 500   | 500       | 375  | 650     | 500       | 540         | 600          |
| Plot Purchase half/infant/urn | 250        | 250      | 125        | 500   | 250       | 375  | 325     | 300       | 540         | 600          |
| Interment/Adult               | 250        | 300      | 250        | 300   | 400       | 300  | 300     | 500       | 300         | 500          |
| Interment/Child               | 175        | 175      | 100        | 125   | 400       | 300  | 150     | 500       | 300         | 500          |
| Interment/Urn/Infant          | 100        | 100      | 100        | 100   | 100       | 300  | 150     | 500       | 300         | 500          |
| After hours 3:00 p.m.         | 100        | 100      | 250        | 100   | 200       | 350  | 450     | unk       | 450         | 200          |
| Interment Weekend/Holiday     | 100        | 200      | 500        | 200   | 500       | 400  | 450     | unk       | 450         | 750          |
|                               | 1275       | 1625     | 1725       | 1825  | 2350      | 2400 | 2475    | 2300      | 2880        | 3650         |



# COUNCIL AGENDA

December 11, 2012

Agenda Item #d

Discuss potential petition to disconnect cemetery property from Clearfield City. (10 min.)

***Factual Summation***

- Please see the attached documentation from City Attorney Will Carlson. Any questions regarding this item may be directed at him.



**Mayor**  
Jamie Nagle

**City Council**  
Brian Duncan  
Craig Johnson  
Karianne Lisonbee  
Douglas Peterson  
Larry D. Shingleton

## MEMORANDUM

**To:** Mayor and City Council  
**From:** City Attorney, William J. Carlson  
**Date:** November 13, 2012  
**Subject:** Potential Petition to Disconnect Cemetery Property from Clearfield

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### Summary

Syracuse owns property immediately north of the city cemetery which is inside Clearfield's city boundaries. In the past, Syracuse has made efforts to make minor adjustments to its boundary with Clearfield. Such adjustments are allowed to be negotiated by Utah Code §10-2-419. In a work session on June 19, 2012, the Clearfield City Council unanimously declined to participate in a boundary adjustment.

Syracuse anticipates eventually converting the property north of the cemetery from farmland to expand the existing cemetery. Utah Code provides a separate procedure for a property owner to disconnect land from a city. This memorandum outlines the procedure for a disconnection as well as potential obstacles, including apparent restrictions on municipal use of the disconnection process.

### Background

The boundary between Clearfield and Syracuse is jagged, with the line running along 500 West, 1000 West, 1480 West, and 1525 West at different locations. Along some sections of the border a road is entirely within one city while at other points the border runs down the middle of the road. The recently considered Ninigret development is almost entirely in Syracuse, but it also includes a small portion of land in Clearfield's city boundaries. Syracuse also owns farmland immediately north of the city cemetery which is in Clearfield. This complicates efforts to maintain infrastructure along the border as well as development opportunities.

In an effort to increase clarity and streamline development for both cities, Syracuse staff spoke with Clearfield staff about implementing some boundary adjustments. On June 19, 2012 the Clearfield City Council was asked about this possibility during a work session. The Clearfield Council was not impressed with the suggestion. Clearfield expressed several concerns, including: disappointment with improvements of 500 South near Barlow Park, development of a subdivision in that area prior to completion of the street, the value of the cemetery property owned by Syracuse for residential development, buffering for Clearfield residents, Syracuse' reputation for not being cooperative in issues along the border, and not wanting to benefit the cemetery. [Clearfield Council Minutes, June 19, 2012](#), pp. 5-6.

### **Boundary Adjustments and Disconnections under State Code**

Utah Code anticipates two relevant methods of adjusting a border between cities: adjustments based on approval by both cities, and disconnections based on the request of property owners. UCA §§[10-2-419](#) and [10-2-501](#) through [510](#).

“The legislative bodies of two or more municipalities having common boundaries may adjust their common boundaries as provided in [Utah Code 10-2-419].” UCA §[10-2-419](#). Unfortunately, the Clearfield Work Session of June 19, 2012 suggests Clearfield Council does not intend to pass any ordinance permitting a boundary adjustment. *See* Clearfield Council Minutes above.

Even so, state law does provide a method for property owners to disconnect their land from a city. Since Syracuse owns some land in Clearfield city limits, the question was raised of whether the city could annex the land using the disconnection method. The disconnection process begins with property owners [petitioner] filing a request for disconnection. [UCA 10-2-501\(2\)\(a\)](#). That request must include four things:

1. The names, addresses, and signatures of the owners of more than 50% of the real property in the area proposed for disconnection;
2. The reasons for the proposed disconnection;
3. A map or plat of the territory proposed for disconnection; and
4. One to five persons with authority to act on the petitioners' behalf in the proceedings. *Id* at (2)(b).

After filing the request, the petitioner must publish the request in the paper once a week for three weeks and deliver the request to the Clearfield Council. *Id.* at (3). The Clearfield Council must hold a public hearing and, within 45 days of the hearing, decide whether or not to grant the disconnection. UCA [§10-2-502.5](#). If the Clearfield Council denies the request, the petitioner may file a petition to disconnect in District Court. *Id.*<sup>1</sup>

Assuming that the Clearfield Council denies the disconnection and a petitioner files the petition, the Court is likely to hold a hearing on the matter. At that hearing, the petitioner must prove four things by the preponderance of the evidence:

1. The viability of the disconnection;
2. That justice and equity require that the territory be disconnected from the municipality;
3. That the proposed disconnection will not:
  - a. leave the municipality with an area within its boundaries for which the cost, requirements, or other burdens of providing municipal services would materially increase over previous years;
  - b. make it economically or practically unfeasible for the municipality to continue to function as a municipality; or
  - c. leave or create one or more islands or peninsulas of unincorporated territory; and
4. That the county in which the area proposed for disconnection is located is capable, in a cost-effective manner and without materially increasing the county's costs of providing municipal services, of providing to the area the services that the municipality will no longer provide to the area due to the disconnection. Utah Code [§10-2-502.7\(3\)](#).

In making a decision, the court would have to consider all relevant factors, including how the disconnection will affect: the municipality or community as a whole, adjoining property owners, existing or projected streets or public ways, water mains and water services, sewer mains and sewer services, law enforcement, zoning, and other municipal services. *Id.* at (4).

If the court orders the disconnection, it must also order the county to levy a tax on the property to compensate Clearfield for costs of disconnection and a proportionate share of obligations accrued while the property was in Clearfield. UCA §§[10-2-506](#), [507](#).

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<sup>1</sup> If the Clearfield Council grants the request, only Davis County can challenge the decision. UCA 10-2-502.5(5)(a)(ii).

## Obstacles to Disconnection

If Syracuse were to attempt to disconnect the property north of the cemetery from Clearfield, it would face several obstacles. First, Clearfield's lack of cooperation on the earlier boundary adjustment suggests that a disconnection request is likely to be denied and end up in District Court. Second, Utah Code may prohibit cities from engaging in disconnections as petitioners. Utah Code [§10-2-510](#) states:

“This part [about disconnections] may not be construed to abrogate, modify, or replace the boundary adjustment procedure provided in Section [10-2-419](#).”

To the extent that Syracuse's attempt to disconnect is an attempt to avoid obtaining the cooperation of Clearfield, it is likely to be statutorily prohibited. In *Bluffdale Mountain Homes, LC v. Bluffdale City*, the Utah Supreme Court pointed out that:

The plain language of section 10–2–419(1) limits the boundary adjustment remedy to neighboring municipalities. Section 10–2–419(1) states as follows: “The legislative bodies of two or more municipalities having common boundaries may adjust their common boundaries as provided in this section.”<sup>69</sup> Only municipalities “having common boundaries” may adjust their boundaries under this section

*Bluffdale Mountain Homes, LC v. Bluffdale City*, 2007 UT 57, 167 P.3d 1016, 1037. In this context, a court could easily determine that since 10-2-419 only applies to municipalities, 10-2-510 prevents municipalities from pursuing disconnection efforts. Syracuse would have to argue that it pursued an adjustment under section 419 only to be rebuffed by Clearfield and that accordingly the disconnection is not an abrogation, modification, or replacement of section 419. No appellate courts in Utah have addressed such an argument.

Syracuse would also have to argue that it qualifies as a person under state code. Utah Code §10-2-501 defines petitioners as “persons who...own title to real property within the area proposed for disconnection.” Case law has long recognized corporate personhood for the purpose of protecting property

owned by the corporation. *See Society for the Propagation of the Gospel in Foreign Parts v. Town of Pawlet*, 29 U.S. 480 (1830).

### **Conclusion**

The City Attorney was asked whether Syracuse can adjust the boundaries between Syracuse and Clearfield so that the property owned by the city north of the cemetery would be inside Syracuse city limits. Based on a June work session in Clearfield, a collaborative boundary adjustment seems unlikely. As a property owner, Syracuse could seek to disconnect the property from Clearfield, but it is likely to face the same opposition. Moreover, state code on disconnections suggests that cities may be precluded as property owners from disconnecting their land from other cities.

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# COUNCIL AGENDA

December 11th, 2012

Agenda Item “e”

**Discussion on culinary water meters – radio reads.**

***Factual Summation***

- Any questions about this agenda item may be directed at Finance Director Stephen Marshall or Public Works Director Robert Whiteley.
- City Staff has previously discussed with the Council the idea of placing meters on secondary water to implement a bill for use system to help conserve irrigation water. This idea was removed from consideration.
- This discussion will focus on our culinary water system and the possibility of placing a radio read device on all culinary meters. This device would be capable of sending up-to-the minute real time information and data to our utilities department and would allow the city to read meters instantaneously at any time during the year. This information could also be available to each resident so they would have access to water usage at any time from a computer in their home.
- We wanted to have an open conversation and get the Council’s thoughts about implementing this type of upgrade to the system. We want to discuss the Pro’s and Con’s about this type of project and have a candid discussion about whether this would be the right decision for Syracuse City.
- Some of the Pro’s and Con’s for this project are as follows, this is not an all inclusive list:

**Pro’s**

- Year-Round Metering of water usage for all residents and businesses.
- Real time data accessible by citizens.
- Help with leak detection and water conservation.
- Citizens would not be billed all at once for high usage during winter months.
- Already have meters for culinary water and they are already installed.
- No seasonal employees to read meters during summer months.

### Con's

- High start up costs for 6500 homes currently built in Syracuse.
  - Ongoing maintenance costs of new system.
  - Likely a 2-3 year phase in for project.
- 
- Estimated costs of a project can vary depending on the vendor we use, type of radio read system we install, and installation costs of the new system. A radio read device can vary in price from \$75 per unit to \$120 per unit. The software and system to support the radio read equipment could cost between \$70,000 and \$120,000. For our city of approximately 6,500 homes, the estimated cost to fully implement a system city wide would be anywhere from \$550,000 to \$900,000. This is a wide range because it is a rough estimate of costs.
  - There are several entities that have already converted to a radio read system here in Utah. Some of these entities include Spanish Fork, Sandy, Nephi, Lehi, Highland, Bountiful, Murray, South Jordan, Payson, St. George, and Weber Basin Water. We have not contacted any of these cities to get their input on their radio read systems.
  - The City Staff would like open discussion and direction from the City Council as to whether a project like this would be beneficial to the City.



# COUNCIL AGENDA

December 11, 2012

**Agenda Item #f**

Review agenda item #5 – Public Hearing: Authorize Administration to dispose of a parcel of real property adjacent to 2400 West. (5 min.)

***Factual Summation***

- Please see the attached memo from the Community and Economic Development Department. Any questions regarding this item can be directed at Mike Eggett, Community and Development Director.



**Mayor**  
Jamie Nagle

**City Council**  
Brian Duncan  
Craig Johnson  
Karianne Lisonbee  
Douglas Peterson  
Larry D. Shingleton

**City Manager**  
Robert D. Rice

### ***Factual Summation***

- Any questions regarding this items may be directed at Public Works Director, Robert Whiteley, and City Engineer, Brian Bloeman
- See the attached Survey Map

## **MEMORANDUM**

**To:** Mayor and City Council

**From:** City Engineer, Brian Bloeman

**Date:** December 11, 2012

**Subject:** City Council Approval of the disposal of real property owned by Syracuse City and adjacent to 2400 West.

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### **Background**

Syracuse Town acquired a “flag” lot in 1919 which the City shop and rodeo arena currently occupy today. A 16.5’ wide strip extends from 2700 South Street south to the rodeo arena. In 1948 Syracuse Town acquired a second wider parcel to the west of their previous parcel from 2700 South Street south to the rodeo arena. The current shop road lies within the parcel acquired in 1948. In doing so a gap of ±13 feet was left between the two parcels, which to this day still remains unclaimed by the County. Adjacent property owners have a right to claim the unclaimed property. In addition, a portion of the “flag” lot (0.13 acres) was quitclaimed by the City in 2006. Furthermore, the distance between the parcel previously quitclaimed in 2006 and Lot 1 of Syracuse Meadows Subdivision Plat A is 60 feet. Staff is recommending to project the westerly line of the parcel previously quitclaimed in 2006 south to the southerly line of the Fox Haven development. The City will retain everything to the west of this line and Clinton Sherman would be granted everything to the east. This will result in the following land being exchanged:

1. The City will grant ±0.26 acres of property it owns in fee to Clinton Sherman
2. The City will not contest Clinton Sherman claiming ±0.08 acres of unclaimed property
3. The City will claim ±0.14 acres of unclaimed property

In exchange for granting the land, Clinton Sherman has agreed to help the City improve 2400 West Street. The following is what has been agreed to:

1. Syracuse City will relinquish all rights to the property east of the projected easterly right-of-way line of 2400 West street through the Fox Haven Subdivision.
2. Clinton Sherman will not contest Syracuse City claiming the property west of the projected easterly right-of-way line of 2400 West street
3. Clinton Sherman will agree to pay up to \$1.20 per square foot to replace the asphalt on the west side of 2400 West in front of the development (As a result of utility installation and City Standards the east half of the road will be required to be replaced with the development).
4. Syracuse City will pay for the road base under the asphalt (Clinton Sherman will pay for road base under the portions of the road impacted by the Fox Haven Development).
5. Syracuse City will agree to install curb, gutter and repave from the north line of the Fox Haven to 2700 South street.

### **Recommendation**

Staff does not see this strip of land being utilized at any point by the City and is recommending it be disposed of as excess property. This will bring the existing right-of-way along 2400 West to 45 feet. The additional right-of-way will be acquired when the property to the west develops.

# Proposed Fox Haven Subdivision/Syracuse City Property Line Adjustments

2700 South Street

Syracuse Meadows Subdivision  
Plat A

3 2 1

Existing Property  
Lines Set Up For 60'  
Wide Right-of-Way

Parcel Acquired In 1948  
Currently Owned In Fee By  
Syracuse City (2400 West  
Street-City Shop Road)

Unclaimed Property

Future Right-of-Way Line

Strip Previously Quitclaimed  
By Syracuse City To Lloyd  
Walton - December 20, 2006  
Book 4183, Page 1174

Proposed Property Adjustment Line  
-Everything To West Will Be Granted To Syracuse City  
-Everything To East Will Be Granted To Clinton Sherman  
-Everything South Of The Development Will Remain City Owned

16.5' Wide Strip

**SYRACUSE**

Currently Owned By Clinton Sherman  
(Proposed Fox Haven Subdivision  
Development)

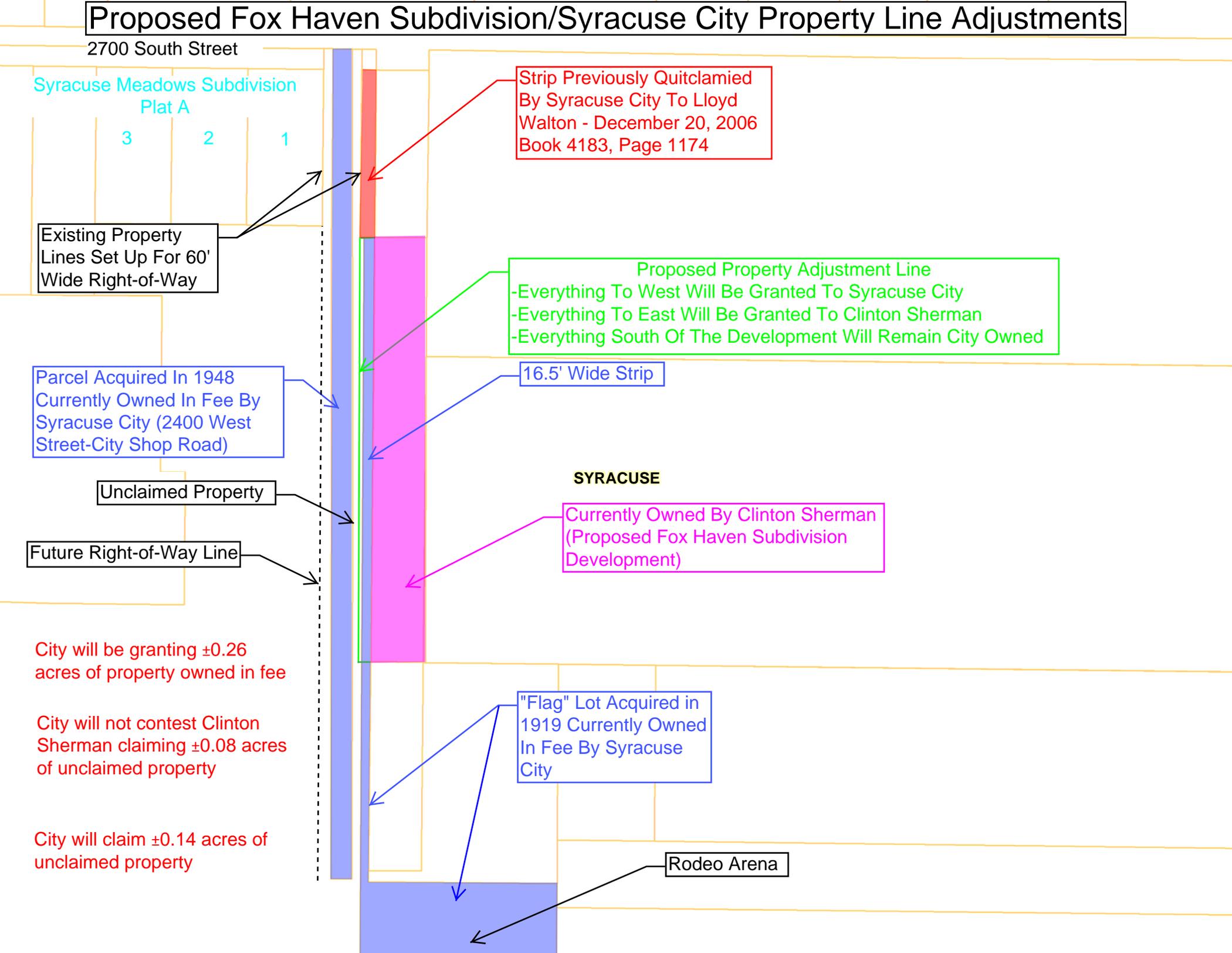
City will be granting  $\pm 0.26$   
acres of property owned in fee

City will not contest Clinton  
Sherman claiming  $\pm 0.08$  acres  
of unclaimed property

City will claim  $\pm 0.14$  acres of  
unclaimed property

"Flag" Lot Acquired in  
1919 Currently Owned  
In Fee By Syracuse  
City

Rodeo Arena





# COUNCIL AGENDA

December 11, 2012

Agenda Item #g                      Review agenda item #6 – Final Approval, Hammon Acres Subdivision, located at approximately 1290 South 3700 West. (5 min.)

***Factual Summation***

- Please see the attached memo from the Community and Economic Development Department. Any questions regarding this item can be directed at Mike Eggett, Community and Development Director.



**Mayor**  
Jamie Nagle

**City Council**  
Brian Duncan  
Craig Johnson  
Karianne Lisonbee  
Douglas Peterson  
Larry D. Shingleton

**City Manager**  
Robert D. Rice

### ***Factual Summation***

- Any questions regarding this items may be directed at CED Director, Michael Eggett and representative Planning Commissioners
- See the attached Hammon Acres Subdivision Packet

## **MEMORANDUM**

**To:** Mayor and City Council

**From:** Community & Economic Development Department

**Date:** December 11, 2012

**Subject:** City Council Approval of the Hammon Acres Subdivision: Sheldon Peck request for Final Subdivision approval located at approximately 1290 South 3700 W. 4 lots, 2.5 Acres, Residential 2 (R-2) Zone & Agriculture (A-1) Zone

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### **Background**

The Planning Commission held a public meeting on November 20, 2012 for Final Plan approval of Hammon Acres Subdivision. All items noted in staff report have been addressed by the Planning Commission. Lots 101-103 are zoned R-2, while lot 104 is zoned A-1, which accounts for the varied lot sizes in the subdivision.

### **Consideration of Recommendation for City Council Approval of the Hammon Acres Subdivision, (Final Plans Review)**

On December 20, 2012, the Syracuse City Planning Commission recommended that the Syracuse City Council approve the Hammon Acres Subdivision, subject to the City staff reviews dated November 14, 2012.

The following documents have been included in your packets for your use and review:

- Final plat drawing for Hammon Acres Subdivision Road and lot plan
- City Engineer's review
- Planning Department's review

- Fire Department's review

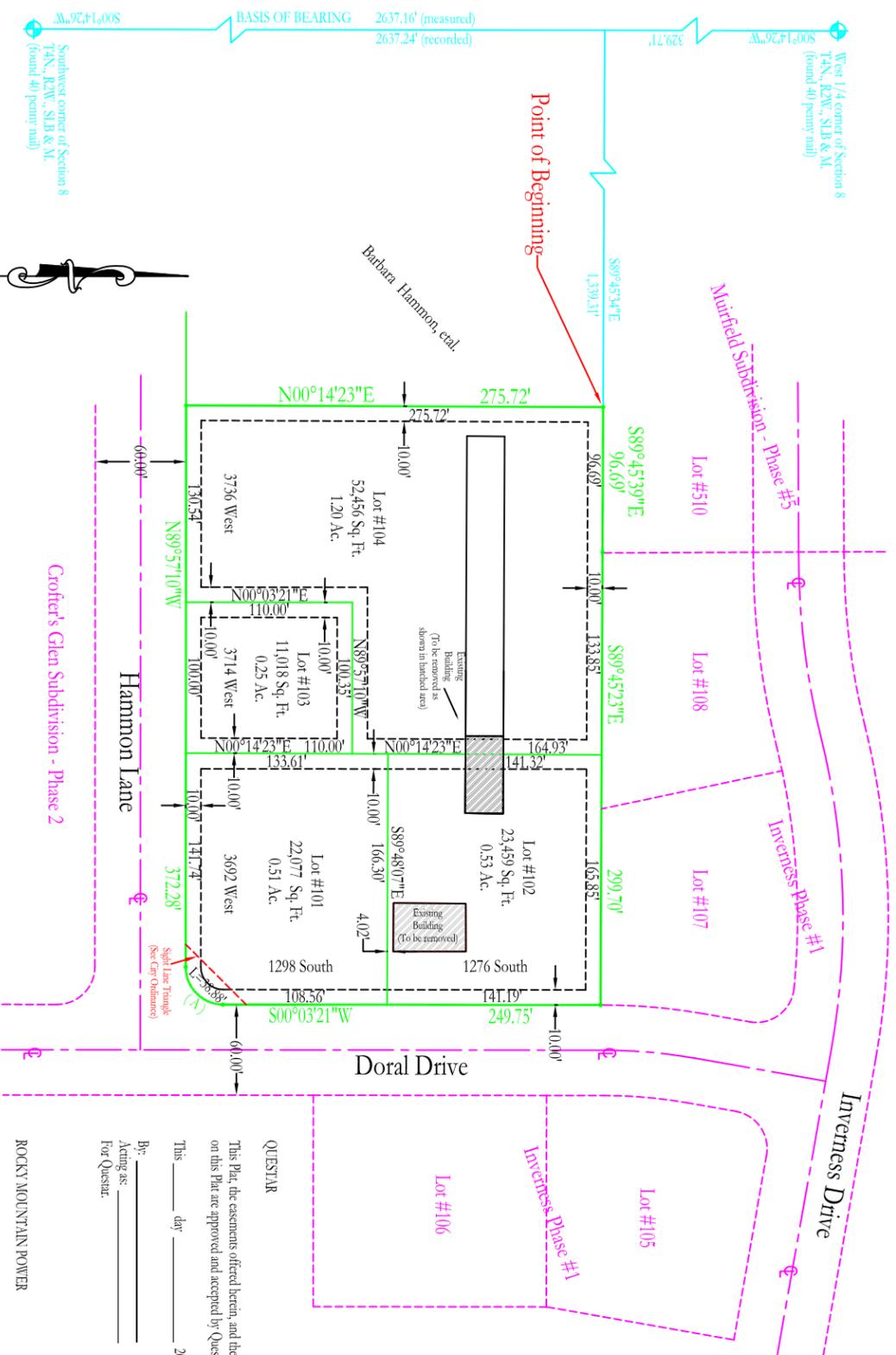
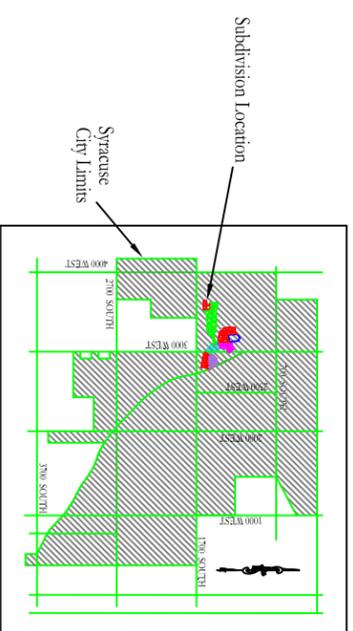
**Recommendation**

The Syracuse City Planning Commission and CED Staff hereby recommend that the City Council approve the final plans for the Hammon Acres Subdivision, located at approximately 1290 South 3700 West, subject to meeting all requirements of the City's Municipal Codes and City staff reviews dated November 14, 2012.

# Hammon Acres Subdivision - Not to be Recorded

A Part of the South One-Half of Section 8, T4N, R2W, S1B&M, US. Survey, Syracuse City, Davis County, Utah

November 2012



| Curve Data Table |        |        |           |             |              |
|------------------|--------|--------|-----------|-------------|--------------|
| Curve            | Radius | Length | Delta     | Bearing     | Chord Length |
| A                | 25.00' | 38.88' | 89°06'23" | S45°29'26"W | 35.08'       |

drawn by:  
N. Scott Nelson, P.E.  
4621 Jefferson Avenue  
South Ogden, Utah  
(801) 547-7723

drawing date: 5 November 2012

Syracuse City Planning Commission

Approved by the Syracuse City Planning Commission on this \_\_\_\_\_ day of \_\_\_\_\_ 2012.  
Signed this \_\_\_\_\_ day of \_\_\_\_\_ 2012. \_\_\_\_\_ Chairman

Syracuse City Engineer

I hereby certify that the requirements of all applicable statutes and ordinances prerequisite to City Engineer's approval of the foregoing plat and dedications have been complied with.  
Signed this \_\_\_\_\_ day of \_\_\_\_\_ 2011. \_\_\_\_\_ Engineer

Syracuse City Council

This is to certify that this plat and the dedication of this plat, along with the dedication of all streets, easements and public improvement guarantee were duly approved and accepted by the City Council of Syracuse City, this \_\_\_\_\_ day of \_\_\_\_\_ 2012.  
Mayor \_\_\_\_\_ Attest: \_\_\_\_\_ Recorder

## VICINITY MAP

CENTURY LINK  
This Plat, the easements offered herein, and the restrictions noted on this Plat are approved and accepted by Century Link.

This \_\_\_\_\_ day of \_\_\_\_\_ 2012.  
By: \_\_\_\_\_  
Acting as: \_\_\_\_\_  
For Century Link.

CORPORATE ACKNOWLEDGMENT  
State of Utah  
County of Davis

On this \_\_\_\_\_ day of \_\_\_\_\_ 2012, personally appeared before me, Bruce H. Jones, who being by me duly sworn did say that he is the President of Blackburn Jones Real Estate Inc., a Utah corporation, and that the foregoing instrument was signed on behalf of said corporation by authority of its board of directors, and he acknowledged to me that said corporation executed the same.

ACKNOWLEDGMENT  
State of Utah  
County of Davis

On this \_\_\_\_\_ day of \_\_\_\_\_ 2012, personally appeared before me Sheldon L. Peck, the signer(s) of the above Owner's Dedication Plat, who being by me duly sworn, did acknowledge to me that he signed the owner's dedication freely and voluntarily and for the purposes therein mentioned.

Seal

Notary Public

This \_\_\_\_\_ day of \_\_\_\_\_ 2012

By: \_\_\_\_\_  
Acting as: \_\_\_\_\_  
For Rocky Mountain Power.

This Plat, the easements offered herein, and the restrictions noted on this Plat are approved and accepted by Rocky Mountain Power.

ROCKY MOUNTAIN POWER

## SURVEYORS CERTIFICATE

I, Dick N. Meckem, do hereby certify that I am a registered land surveyor, and that I hold license number 153649, as prescribed under the laws of the State of Utah. I further certify that by authority of the Owners, I have directed a survey of the tract of land as shown on this plat and described below and that the referenced markers shown on this plat are located as indicated and are sufficient to retracement or restore this survey, that the information shown herein is sufficient to accurately establish the lateral boundaries of the below described tract of real property and of each of the lots, located on said tract.

Signed this \_\_\_\_\_ day of \_\_\_\_\_ 2012.

Dick N. Meckem  
License No. 153649



## BOUNDARY DESCRIPTION

A Part of the South One-Half of Section 8, T4N, R2W, S1B & M US. Survey, Syracuse City, Davis County, Utah, described as follows:

Beginning at a Point which is S91°42'6"W 329.71' and S89°45'34"E 1,339.31' from the West 1/4 corner of Section 8, T4N, R2W, S1B & M, and containing  
Thence S89°45'39"E 96.69' along the southeasterly boundary of Marfield Subdivision - Phase #5 (Lot #510), thence S89°45'23"E 299.70' along the southeasterly boundary of the Inverness Subdivision - Phase #1 to the south easterly corner of Lot #107 of said Inverness Subdivision Phase #1, said corner being on the West right-of-way of Doral Drive, thence S00°03'21"W 249.75' along said West right-of-way; thence along the arc of a curve having a radius of 25.00' a distance of 38.88' (long chord bears S45°29'26"W 35.08); thence along the North right-of-way of Hammon Lane N89°57'10"W 372.28'; thence N00°14'23"E 275.72'; to the Point of Beginning.

Contains: 109,010 square feet or 2.50 acres.

## OWNERS DEDICATION

We the undersigned owners of the hereon described tract of land, hereby set apart and subdivide the same into lots, as shown on this plat and name said tract "Hammon Acres Subdivision" and hereby dedicate, grant and convey to Syracuse City, Davis County, Utah, all those parts or portions of said tract of land designated as easements and streets; the same to be used as public easements and public right-of-ways, dedicating all streets as perpetual right-of-ways for public access purposes and all easements for public utilities as shown hereon, the same to be used for the installation, maintenance, and operation of public utility service lines and as public access as may be authorized by Syracuse City.

Signed this \_\_\_\_\_ day of \_\_\_\_\_ 2012.

Andrew K. Nield

Jessica J. Nield

Bruce H. Jones, President  
Blackburn Jones Real Estate Inc.  
Sheldon L. Peck

## ACKNOWLEDGMENT

State of Utah  
County of Davis

On this \_\_\_\_\_ day of \_\_\_\_\_ 2012, personally appeared before me Andrew K. Nield and Jessica J. Nield, the signer(s) of the above Owner's Dedication Plat, who being by me duly sworn, did acknowledge to me that they signed the owner's dedication freely and voluntarily and for the purposes therein mentioned.

Seal

Notary Public

## DAVIS COUNTY RECORDER

Entry No. \_\_\_\_\_ Fee Paid \_\_\_\_\_  
Filled For Record and Recorded \_\_\_\_\_ at \_\_\_\_\_  
in book \_\_\_\_\_ of official records, page \_\_\_\_\_. Recorded for \_\_\_\_\_  
County Recorder By: \_\_\_\_\_

## Note:

1. A 10' utility easement along the front and rear of each lot property line with 7.5' along all sides of the lot property line as indicated by dashed lines unless indicated otherwise. All easements to be used for irrigation, culinary water, storm drainage, electrical power, communication lines and other public utilities. All utility easements around the perimeter of this subdivision are 10' in width.
2. No survey monuments to be set.
3. All right-of-ways for roadways to be 60' wide.
4. A general soil report has been prepared for the Glen Eagle Golf Course and surrounding areas and may not totally apply for this subdivision.
5. The maximum depth of a structural footing shall not be lower than 5' below grade.
6. All property corners will be marked in the field with a capped rebar. Front corners will be marked with a pin in the top back of the curb & gutter at the extension of the property line.

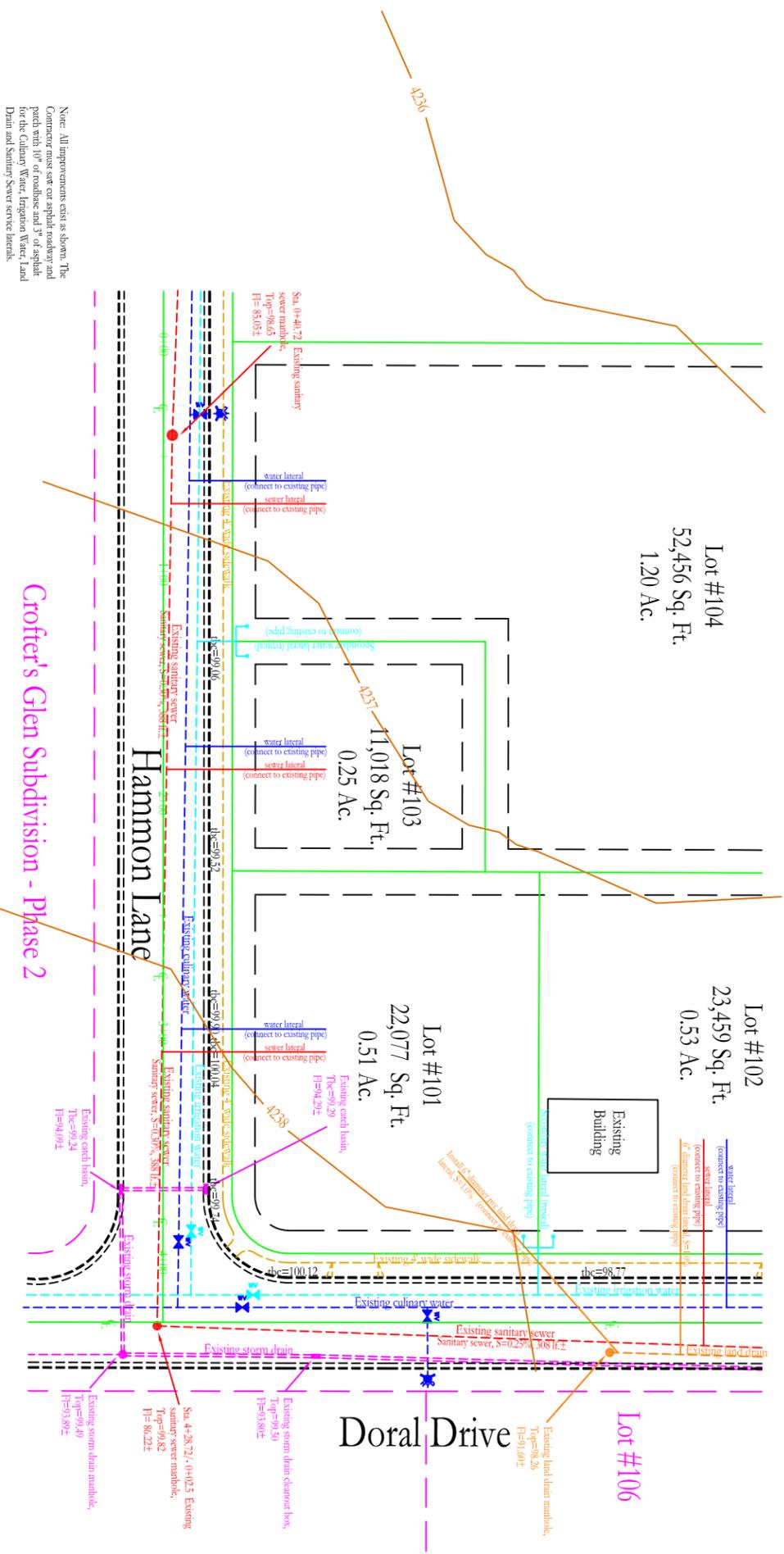
Lot #104  
52,456 Sq. Ft.  
1.20 Ac.

Lot #102  
23,459 Sq. Ft.  
0.53 Ac.

Lot #101  
22,077 Sq. Ft.  
0.51 Ac.

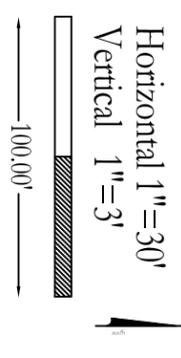
Lot #106

Doral Drive



Note: All improvements exist as shown. The Contractor must saw cut asphalt roadway and patch with 10" of roadbase and 3" of asphalt for the Culinary Water, Irrigation Water, Land Drain and Sanitary Sewer service laterals.

- General Notes:**
1. All construction work shall meet or exceed Syracuse City Public Works Standards.
  2. All sanitary sewer laterals shall be 4" pvc materials constructed with a minimum slope of 2%.
  3. Lateral locations: Culinary water at the center of the lot. Sanitary sewer at 10' downstream of culinary water (pipe color green) Secondary water location as shown (6" diameter, minimum slope=1.0%/)
- Note for laterals:** Or as shown on the drawings.
5. All irrigation piping facilities shall meet or exceed the standards of the Davis/Weber irrigation company.
  6. The existing utilities shown for this "Subdivision" were taken from "Blue Staking" and prior improvement drawings and are for information purposes only. The contractor is required to verify all existing utilities (horizontal and vertical location) as it relates to the design. All existing utilities to be protected from damage.
  7. All sanitary sewer pipe to be pvc materials - "SDR 35".
- Note: The storm drain piping system is not shown in profile since the new culinary water and sanitary sewer laterals are not in close proximity to cause concern during installation of the laterals.



|      |                            |                                               |  |  |  |  |  |  |  |
|------|----------------------------|-----------------------------------------------|--|--|--|--|--|--|--|
| 4200 | Finish grade at centerline | 4200                                          |  |  |  |  |  |  |  |
| 4197 |                            | Centerline grade = 0.50% ± (existing roadway) |  |  |  |  |  |  |  |
| 4194 |                            |                                               |  |  |  |  |  |  |  |
| 4191 |                            |                                               |  |  |  |  |  |  |  |
| 4188 |                            |                                               |  |  |  |  |  |  |  |
| 4185 |                            |                                               |  |  |  |  |  |  |  |
| 4182 |                            |                                               |  |  |  |  |  |  |  |

Note: All improvements exist as shown. The Contractor must saw cut asphalt roadway and patch with 10" of roadbase and 3" of asphalt for the Culinary Water, Irrigation Water and Sanitary Sewer service laterals.

Note: The storm drain piping system is not shown in profile since the new culinary water and sanitary sewer laterals are not in close proximity to cause concern during installation of the laterals.

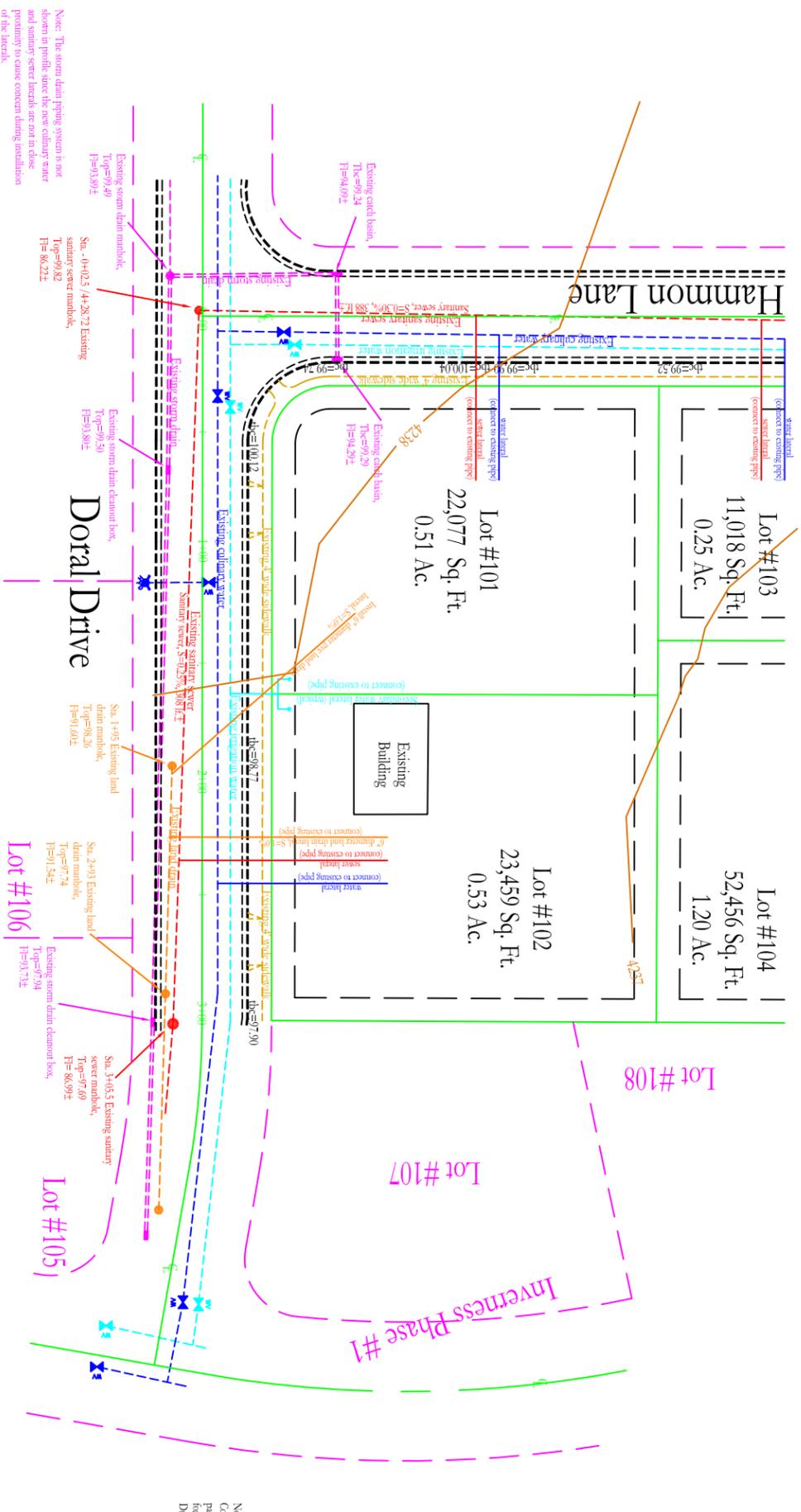
drawing date: 5 November 2012

Prepared by: N. Scott Nelson, PE.  
801-547-7723.  
drawing date: November 2012

Hammon Acres Subdivision  
Improvement Drawings - Hammon Lane

sheet 1  
of 2

- General Notes:
1. All construction work shall meet or exceed Syracuse City Public Works Standards.
  2. All sanitary sewer laterals shall be 4" pvc materials constructed with a minimum slope of 2%.
  3. Lateral locations: Culinary water at the center of the lot. Sanitary sewer at 10' downstream of culinary water (pipe color green) Land drain location as shown (6" diameter, minimum slope=1.0%)
- Note for laterals: Or as shown on the drawings.
5. All irrigation piping facilities shall meet or exceed the standards of the Davis/Webber irrigation company.
  6. The existing utilities shown for this "Subdivision" were taken from "Blue staking" and prior improvement drawings and are for information purposes only. The contractor is required to verify all existing utilities (horizontal and vertical location) as it relates to the design. All existing utilities to be protected from damage.
  7. All sanitary sewer pipe to be pvc materials - "SDR 35".



Note: All improvements exist as shown. The Contractor must saw cut asphalt roadway and patch with 10" of roadbase and 5" of asphalt for the Culinary Water, Irrigation Water, Land Drain and Sanitary Sewer service laterals.



|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |      |      |      |      |      |      |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|------|------|------|------|------|
| 0+00                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | 1+00 | 2+00 | 3+00 | 4+00 | 5+00 | 6+00 |
| 4200                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | 4197 | 4194 | 4188 | 4185 | 4182 |      |
| <p>Finish grade at centerline</p> <p>Centerline grade = 0.33%/± (existing roadway)</p> <p>Finish grade at centerline</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |      |      |      |      |      |      |
| 4194                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | 4191 | 4188 | 4185 | 4182 |      |      |
| <p>Note: The storm drain piping system is not shown in profile since the new culinary water and sanitary sewer laterals are not in close proximity to cause concern during installation of the laterals.</p> <p>Note: All improvements exist as shown. The Contractor must saw cut asphalt roadway and patch with 10" of roadbase and 5" of asphalt for the Culinary Water, Irrigation Water, Land Drain and Sanitary Sewer service laterals.</p> <p>Existing land drain manhole, Top=98.26 P=91.00±</p> <p>Existing land drain manhole, Top=97.74 P=91.54±</p> <p>Sanitary sewer, S=0.25%, 308 I.D.</p> <p>Sanitary sewer manhole, Top=97.69 P=86.99±</p> |      |      |      |      |      |      |

drawing date: 5 November 2012

Prepared by: N. Scott Nelson, P.E.  
801-547-7723.  
drawing date: November 2012

**Hammon Acres Subdivision**  
**Improvement Drawings - Doral Drive**



## **Engineer Preliminary Plan Review –Hammon Acres Subdivision Hammon Lane & Doral Drive**

*Completed by Robert Whiteley on November 14, 2012*

Most of the drawing corrections from our previous review letter have been completed according to a plan re-submittal made to us on Nov 13<sup>th</sup>. This plan is ready for final approval consideration. Prior to the mylar being signed, we will await the following:

1. Water rights submitted to the city.
2. Cost estimate for the construction bond for any infrastructure.
3. Storm Water Pollution Prevention Plan.

Prior to the pre-construction meeting, be prepared to discuss the following items:

4. General Note 5 regarding irrigation standards per Syracuse City.
5. Grading of the lots to provide positive drainage into storm facilities.
6. Land drain laterals were added to Lot 101 and Lot 102, which will allow basements for only those two lots in this subdivision. It is common practice to install laterals perpendicular to the building lot in order to properly locate and maintain. The lateral serving Lot 101 requires a short main extension with a manhole in order to make a perpendicular connection.

If you have any further comments or questions please feel free to contact me or Brian at 801-614-9630.



## Subdivision Final Plan Review – Hammon Acres

*Completed by Sherrie Christensen, Planner on 11/14/2012*

**Recommendation:** City staff recommends that the Planning Commission examine the Hammon Acres Subdivision Final plan review as outlined below. Please pay specific attention to the items highlighted in yellow. City Staff hereafter recommends that the Planning Commission forward the Hammon Acres Subdivision Final plat to the City Council with a recommendation for approval, subject to all requirements of the City’s municipal code and staff reviews.

| <b>8-6-1/8-6-2: Final Plat/Final Plan and Profile:</b>                                                                              | <b>Planning Staff Review:</b> |
|-------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|
| 1. Proposed name of subdivision (to be approved by Planning Commission and County Recorder).                                        | 1. Hammon Acres               |
| 2. Accurate angular and linear dimensions to describe boundaries, streets, easements, areas reserved for public use, etc.           | 2. Yes                        |
| 3. Identification system for lots, blocks, and names of streets. Lot lines show dimensions in feet and hundredths.                  | 3. Yes                        |
| 4. Street address shown for each lot.                                                                                               | 4. Yes                        |
| 5. True angles and distances to nearest street lines or official monuments as accurately described and shown by appropriate symbol. | 5. Yes                        |
| 6. Radii, internal angles, points and curvatures, tangent bearings and the length of all arcs.                                      | 6. Yes                        |
| 7. Accurate location of all monuments to be installed shown by appropriate symbol.                                                  | 7. Yes                        |
| 8. Dedication to City of all streets and other                                                                                      | 8. Yes                        |

|                                                                                                                              |                                                                                                                            |
|------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------|
| public uses and easements.                                                                                                   |                                                                                                                            |
| 9. Street monuments shown on Final Plat.                                                                                     | 9. Yes                                                                                                                     |
| 10. Pipes or other iron markers shown on the plat.                                                                           | 10. Yes                                                                                                                    |
| 11. Outlines and dimensions of public use areas or areas reserved for common use of all property owners showing on plat.     | 11. N/A                                                                                                                    |
| 12. Boundary, lot and other geometrics on Final Plat accurate to not less than one part in five thousand.                    | 12. Yes, refer to Engineer for further.                                                                                    |
| 13. Location, function, ownership and manner of maintenance of remaining common open space showing on plat or in submission. | 13. N/A                                                                                                                    |
| 14. Legal boundary description of the subdivision and acreage included.                                                      | 14. Yes, 2.50 acres                                                                                                        |
| 15. Current inset City map showing location of subdivision.                                                                  | 15. Yes                                                                                                                    |
| 16. Standard signatures forms/boxes reflected on the Final Plat.                                                             | 16. Yes                                                                                                                    |
| <b>Final Plan and Profile</b>                                                                                                |                                                                                                                            |
| 17. Plan for culinary water improvements.                                                                                    | 17. Submitted, see Engineer review.                                                                                        |
| 18. Plan for secondary water improvements.                                                                                   | 18. Submitted, see Engineer review.                                                                                        |
| 19. Plan for sanitary sewer.                                                                                                 | 19. Submitted, see Engineer review.                                                                                        |
| 20. Land drain.                                                                                                              | 20. See Engineer review. Lots 101 & 102 will connect to land drain, 103 & 104 will have to be slab on grade, no basements. |
| 21. Storm water.                                                                                                             | 21. Submitted, see Engineer review.                                                                                        |
| 22. Streets.                                                                                                                 | 22. Submitted, see Engineer review.                                                                                        |
| 23. Stationing.                                                                                                              | 23. Submitted, see Engineer review.                                                                                        |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>24. Agreements.</p> <p><b>Conditional Items for Final Plan Approval</b></p> <p>25. Park-purchase impact fee accord in the zoning and gross acreage in development as outlined in the City's fee schedule</p> <p>26. Irrigation water rights per Subdivision Ordinance Section 8-2-9</p> <p>27. An executed Escrow Agreement, provided by City staff, for improvement costs and bonding</p> <p>28. An executed Improvement Agreement with Syracuse City, as provided by staff</p> <p>29. An executed Streetlight Agreement, regarding installation of required lamps, as provided by City staff</p> <p>30. Payment of final off-site inspection fees as outlined in City's fee schedule</p> <p>31. Payment of County recording fees of \$37/page +\$1/lot and any common space as well as \$1/land-owner signatures over two</p> <p><b>Conditions from Preliminary Plat Approval</b><br/> <b>8-3-1 Public Improvements:</b></p> <p>10-12-040 Minimum Lot Standards</p> <p>(F) Building Height. As allowed by current building code.</p> | <p>24. N/A</p> <p>25. Required before mylar recording estimate not received</p> <p>26. Required before mylar recording 7.5 Acre feet required</p> <p>27. Required before mylar recording estimate not received</p> <p>28. Required before mylar recording</p> <p>29. See engineer review if required</p> <p>30. Required before mylar recording</p> <p>31. Required before mylar recordings</p> <p><b>Planning Staff Review:</b></p> <p>(F) Yes-Per Building Code</p> |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>Chapter 6 – General Land Use Regulations</b></p> <p>10-6-060 Miscellaneous Requirements and Provisions<br/>(B) Visibility at Intersections.</p> <p>10-6-080 Buffer Yards</p> <p>(C) <u>Determination and Approval of Buffer Yards Required</u>. To determine the type of buffer yard required between two (2) adjacent parcels or between a parcel and a street, the following procedure shall apply:</p> <ol style="list-style-type: none"> <li>1. Identify the land use category of the proposed use.</li> <li>2. Identify the use category of the existing land use adjacent of the proposed use by an on-site survey to determine the intensity classification from Table 1. Agricultural determination need not directly relate to whether or not someone is farming the adjacent property.</li> <li>3. Determine the buffer yard required for the proposed development by using Table 2.</li> <li>4. Using Buffer Tables A – E, identify the buffer yard options using the buffer yard requirement determine in Table 2.</li> </ol> <p><b>Other Issues:</b></p> <ol style="list-style-type: none"> <li>1. Developer Name and Address to be shown on plat.</li> <li>2. Title Report-Required</li> <li>3. Appraisal Report</li> </ol> | <p><b>Planning Staff Review:</b></p> <p>10-6-060 Miscellaneous Requirements and Provisions<br/>(B) Developer must ensure that plants comply with the required clear-visibility triangle on lot 101-Marked Clear view triangle on lot 101, 40 feet from the intersection.</p> <p>10-6-080 Buffer Yards</p> <p>As lot 104 is zoned agriculture and the remaining lots are zoned R-2.</p> <ol style="list-style-type: none"> <li>1. Lot 104: A-1</li> <li>2. Lot 101-103: R-2</li> <li>3. Buffer Table A required between lot104 and remaining lots.</li> <li>4. Required 5 foot fence, 2 Canopy Trees, 3 Understory Trees (max)</li> </ol> <ol style="list-style-type: none"> <li>1. Developer Name/Address/Phone to be added to plat.</li> <li>2. Submit title report prepared within the previous 30 days</li> <li>3. Submit appraisal for computation of park improvement fee.</li> </ol> |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

October 30, 2012

Syracuse City Planning Commission  
c/o Syracuse Community Development  
1979 W 1900 S  
Syracuse, UT 84075

Dear Members of the Planning Commission,

Regarding, the final plat for Hammon Acres, after review of the plans we have no concerns regarding fire protection or access.

Please contact me if you have any questions or need additional comment.

Respectfully,

Jo Hamblin, Deputy Chief  
Syracuse City Fire Department  
1869 South 3000 West, Syracuse, UT 84075  
Phone 801-614-9614





# COUNCIL AGENDA

December 11, 2012

Agenda Item #h                      Review agenda item #7 – Final Approval, Fox Haven Subdivision, located at approximately 2900 South 2400 West. (5 min.)

***Factual Summation***

- Please see the attached memo from the Community and Economic Development Department. Any questions regarding this item can be directed at Mike Eggett, Community and Development Director.



**Mayor**  
Jamie Nagle

**City Council**  
Brian Duncan  
Craig Johnson  
Karianne Lisonbee  
Douglas Peterson  
Larry D. Shingleton

**City Manager**  
Robert D. Rice

### ***Factual Summation***

- Any questions regarding this items may be directed at CED Director, Michael Eggett and representative Planning Commissioners
- See the attached Fox Haven Subdivision Packet

## **MEMORANDUM**

**To:** Mayor and City Council

**From:** Community & Economic Development Department

**Date:** December 11, 2012

**Subject:** City Council Approval of the Fox Haven Subdivision: Clint Sherman request for Final Subdivision approval located at approximately 2900 South 2400 W. 6 lots, 1.61 Acres, Residential 1 (R-1) Zone

---

### **Background**

The Planning Commission held a public meeting on November 20, 2012 for Final Plan approval of Fox Haven Subdivision. All items noted in staff report have been addressed by the Planning Commission. The only outstanding item is the land exchange necessary to properly dedicate the full width of the road right-of-way (previous agenda item disposing of City owned property adjacent to 2400 West). Pursuant to City Council approval of said exchange in correcting the surveying error gap, all requirements of sketch, preliminary and final have been met.

### **Consideration of Recommendation for City Council Approval of the Fox Haven Subdivision, (Final Plans Review)**

On December 20, 2012, the Syracuse City Planning Commission recommended that the Syracuse City Council approve the Fox Haven Subdivision, subject to the City staff reviews dated November 11 & 16, 2012.

The following documents have been included in your packets for your use and review:

- Final plat drawing for Fox Haven Subdivision Road and lot plan

- City Engineer's review
- Planning Department's review
- Fire Department's review

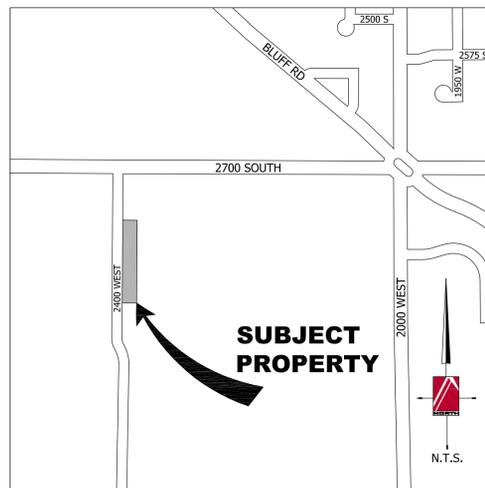
### **Recommendation**

The Syracuse City Planning Commission and CED Staff hereby recommend that the City Council approve the final plans for the Fox Haven Subdivision, located at approximately 2900 South 2400 West, subject to meeting all requirements of the City's Municipal Codes and City staff reviews dated November 11 & 16, 2012.

# FOX HAVEN

## 2800 SOUTH 2400 WEST SYRACUSE, UTAH CURRENT ZONE: R-2

### VICINITY MAP



### GENERAL NOTES

- 1) ALL WORK WITHIN THE CITY OF SYRACUSE RIGHT OF WAY SHALL CONFORM TO THE CITY OF SYRACUSE STANDARDS & SPECIFICATIONS.
- 2) ALL WORK PERFORMED ON CITY OF SYRACUSE OWNED UTILITIES & CONNECTIONS THERETO SHALL CONFORM TO THE CITY OF SYRACUSE STANDARDS & SPECIFICATIONS.
- 3) THESE PLANS CALL FOR BUT ARE NOT DESIGN DRAWINGS FOR THE RELOCATION, AND/OR REMOVAL OF EXISTING DRY UTILITIES INFRASTRUCTURE. DESIGN DRAWINGS FOR SAID RELOCATIONS AND REMOVALS SHALL BE BY OTHERS.
- 4) CALL BLUESTAKES 48 HOURS PRIOR TO DIGGING.
- 5) CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING MANHOLES AND OTHER UTILITIES BEFORE BUILDING OR STAKING ANY UTILITY LINES.
- 6) BENCHMARK IS: THE TOP OF THE QUARTER CORNER OF SECTION 21, T.4N., R.2W., S.L.B.&M. ELEVATION = 4237.55

### DEVELOPER

## CLINT SHERMAN

2831 WEST 2700 SOUTH  
SYRACUSE, UT 84075  
TEL: 801-721-0912  
FAX: 801-779-9383

ENGINEER / SURVEYOR

**Engineering & Land Surveying, Inc.**

2720 North 350 West, Suite #108  
LAYTON, UT 84041

Phone: (801) 773-1910  
Fax: (801) 773-1925

### GOVERNING AGENCIES

| CITY                                                                                                                  | TRANSPORTATION                                                                                                        | FIRE INSPECTION                                                                                                              | SEWER                                                                                                                 |
|-----------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------|
| CITY OF SYRACUSE<br>1979 WEST 1900 SOUTH<br>SYRACUSE, UT 84075<br>PHONE: 801-825-1477                                 | CITY OF SYRACUSE ENGINEER<br>3061 SOUTH 2400 WEST<br>SYRACUSE, UT 84075<br>BRIAN BLOEMEN<br>PHONE: 801-825-7235       | CITY OF SYRACUSE FIRE DEPT.<br>1869 SOUTH 3000 WEST<br>SYRACUSE, UT 84075<br>ERIC FROERER, FIRE CHIEF<br>PHONE: 801-674-9614 | CITY OF SYRACUSE PUBLIC WORKS<br>3061 SOUTH 2400 WEST<br>SYRACUSE, UT 84075<br>ROBERT WHITELEY<br>PHONE: 801-825-7235 |
| STORM DRAIN                                                                                                           | CULINARY WATER                                                                                                        | SECONDARY WATER                                                                                                              | POWER                                                                                                                 |
| CITY OF SYRACUSE PUBLIC WORKS<br>3061 SOUTH 2400 WEST<br>SYRACUSE, UT 84075<br>ROBERT WHITELEY<br>PHONE: 801-825-7235 | CITY OF SYRACUSE PUBLIC WORKS<br>3061 SOUTH 2400 WEST<br>SYRACUSE, UT 84075<br>ROBERT WHITELEY<br>PHONE: 801-825-7235 | CITY OF SYRACUSE PUBLIC WORKS<br>3061 SOUTH 2400 WEST<br>SYRACUSE, UT 84075<br>ROBERT WHITELEY<br>PHONE: 801-825-7235        | ROCKY MOUNTAIN POWER<br>SALT LAKE CITY, UT<br>ED ZIEBER 801-543-3017                                                  |
| NATURAL GAS                                                                                                           | TELEPHONE                                                                                                             |                                                                                                                              |                                                                                                                       |
| QUESTAR CORPORATION<br>180 EAST 100 SOUTH<br>SALT LAKE CITY, UT 84145<br>MIKE KUHN 801-395-6799                       | CENTURYLINK CORPORATION<br>1425 WEST 3100 SOUTH<br>SALT LAKE CITY, UT 84119<br>GARY WEAVER: 801-626-5380              |                                                                                                                              |                                                                                                                       |

### DRAWING INDEX

- 01 COVER
- 02 PLAT
- 03 NOTES & DETAILS
- 04 SITE PLAN
- 05 2400 WEST PLAN & PROFILE STA 17+50 TO 13+00
- 06 2400 WEST PLAN & PROFILE STA 13+00 TO 8+50
- 07 2400 WEST PLAN & PROFILE STA 8+50 TO 4+00
- 08 2400 WEST PLAN & PROFILE STA 4+00 TO 0+00

### UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

### NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS: OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

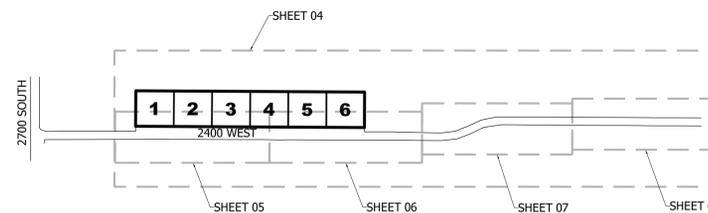
CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

### TRAFFIC CONTROL & SAFETY NOTES

TRAFFIC CONTROL PLAN FOR WORK WITHIN UDOT RIGHT OF WAY MUST MEET UDOT STANDARDS & SPECIFICATIONS

1. BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT STATE OF UTAH DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, AND THE CURRENT CITY OF SYRACUSE STANDARD DRAWING, AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO ANY WORK.
2. NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE CITY TRAFFIC ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
3. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
4. DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
5. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
6. TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

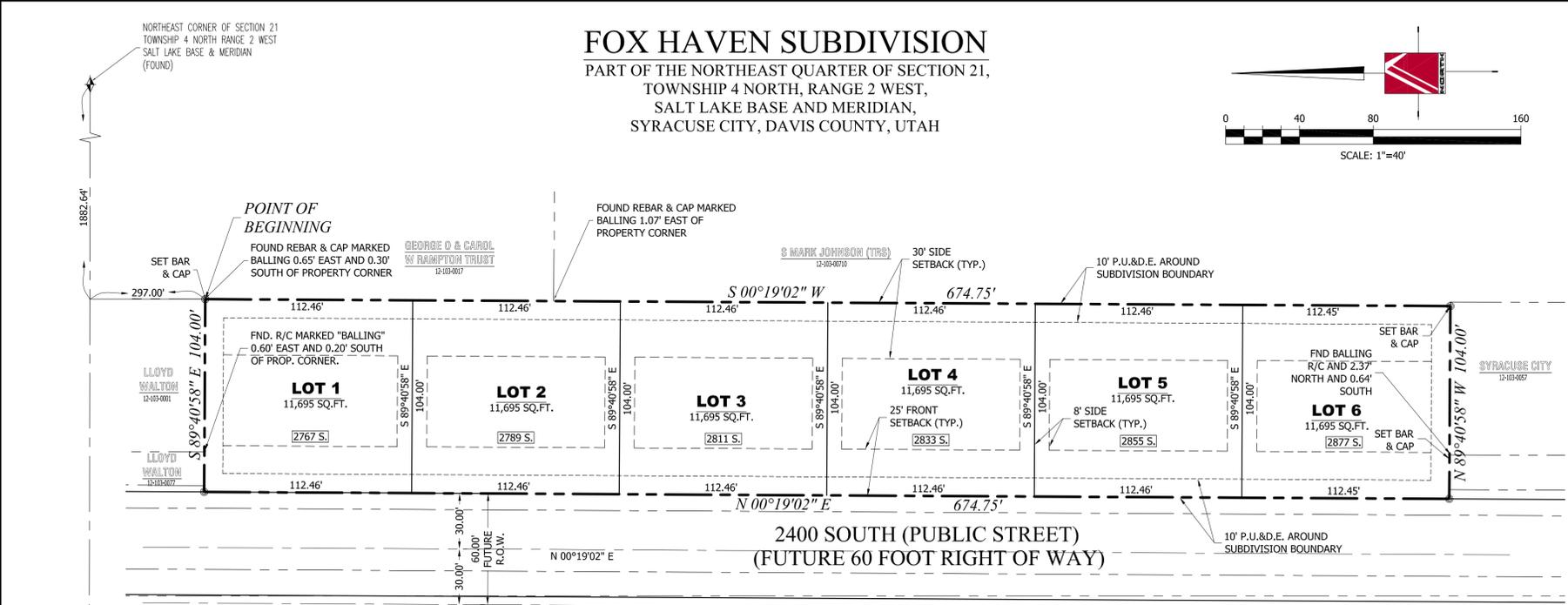
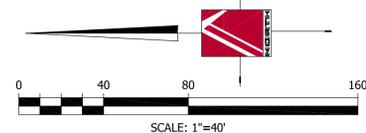
### SHEET LOCATION GUIDE



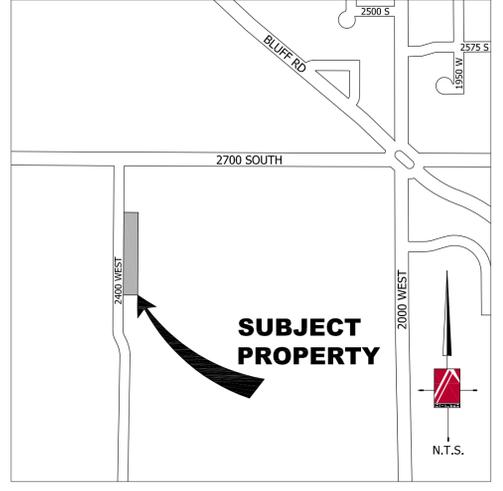
**CALL BLUESTAKES**  
@ 1-800-662-4111  
AT LEAST 48 HOURS  
PRIOR TO COMMENCING  
ANY CONSTRUCTION

# FOX HAVEN SUBDIVISION

PART OF THE NORTHEAST QUARTER OF SECTION 21,  
TOWNSHIP 4 NORTH, RANGE 2 WEST,  
SALT LAKE BASE AND MERIDIAN,  
SYRACUSE CITY, DAVIS COUNTY, UTAH



## VICINITY MAP



## SURVEYOR'S CERTIFICATE

I, STEPHEN J FACKRELL DO HEREBY CERTIFY THAT I AM A LICENSED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 191517 AS PRESCRIBED UNDER LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, HEREAFTER TO BE KNOWN AS  
**FOX HAVEN SUBDIVISION**  
AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT ALL LOTS MEET FRONTAGE WIDTH AND AREA REQUIREMENTS OF THE APPLICABLE ZONING ORDINANCES.

## BOUNDARY DESCRIPTION

BEGINNING AT A POINT WHICH IS LOCATED NORTH 89°40'58" WEST 1882.64 FEET ALONG THE SECTION LINE AND SOUTH 297.00 FEET FROM THE NORTHEAST CORNER OF SECTION 21, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN AND RUNNING THENCE SOUTH 00°19'02" WEST 674.75 FEET; THENCE NORTH 89°40'58" WEST 104.00 FEET; THENCE NORTH 00°19'02" EAST 674.75 FEET; THENCE SOUTH 89°40'58" EAST 104.00 FEET TO THE POINT OF BEGINNING.

CONTAINS 70,172 SQ. FT., 1.61 ACRES, 6 LOTS

DATE \_\_\_\_\_ STEPHEN J. FACKRELL  
LICENSE NO. 191517

## OWNER'S DEDICATION

We the undersigned owner(s) of the herein described tract of land, do hereby set apart and subdivide the same into lots as shown hereon and name said tract,

### FOX HAVEN SUBDIVISION

and do hereby grant and dedicate a perpetual right and easement over, upon and under the lands designated hereof as public utility and drainage easements, the same to be used for the installation maintenance and operation of public utility service line, storm drainage facilities, irrigation canals or for the perpetual preservation of water channels in their natural state whichever is applicable as may be authorized by the governing authority, with no buildings or structures being erected within such easements.

and also grant and dedicate unto all owners of lots upon which private utility easements as shown hereon, for the purpose of perpetual maintenance and operation.

In witness whereof \_\_\_\_\_ have hereunto set \_\_\_\_\_ this  
day of \_\_\_\_\_ A.D., 20\_\_\_\_.

## ACKNOWLEDGMENT

STATE OF UTAH )  
County of Davis )  
On the \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_, personally appeared before me, the undersigned Notary public, in and for said County of Davis in said State of Utah, the signer ( ) of the above Owner's dedication, \_\_\_\_\_ in number, who duly acknowledged to me that signed it freely and voluntarily and for the uses and purposes therein mentioned.

MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC  
RESIDING IN DAVIS COUNTY

## FOX HAVEN SUBDIVISION

PART OF THE NORTHEAST QUARTER OF SECTION 21,  
TOWNSHIP 4 NORTH, RANGE 2 WEST,  
SALT LAKE BASE AND MERIDIAN,  
SYRACUSE CITY, DAVIS COUNTY, UTAH

**CENTURYLINK**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY A REPRESENTATIVE OF QWEST COMMUNICATIONS.  
CENTURYLINK COMMUNICATIONS REPRESENTATIVE

**QUESTAR GAS COMPANY**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY A REPRESENTATIVE OF QUESTAR GAS COMPANY.  
QUESTAR GAS COMPANY REPRESENTATIVE

**DEVELOPER**  
CLINT SHERMAN  
2831 WEST 2700 SOUTH  
SYRACUSE, UT 84075  
TEL: 801-721-0912  
FAX: 801-779-9383

**ROCKY MOUNTAIN POWER**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY A REPRESENTATIVE OF ROCKY MOUNTAIN POWER.  
ROCKY MOUNTAIN POWER REPRESENTATIVE

**CITY ATTORNEY'S APPROVAL**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE SYRACUSE ATTORNEY.  
SYRACUSE CITY ATTORNEY

### LEGEND

|                           |                                                                                                   |
|---------------------------|---------------------------------------------------------------------------------------------------|
| --- PROPERTY LINE         | ⊕ PROPOSED STREET MONUMENT                                                                        |
| --- LOT LINE              | ⬮ SECTION CORNER                                                                                  |
| --- CENTER / SECTION LINE | ⊙ PUBLIC UTILITY & DRAINAGE EASEMENT                                                              |
| --- EASEMENT LINE         | ● SET 5/8" REBAR WITH AN ORANGE PLASTIC CAP, OR NAIL & WASHER STAMPED "PINNACLE ENG & LAND SURV." |
| --- BUILDING SETBACK LINE |                                                                                                   |
| --- ADJOINING LOT LINE    |                                                                                                   |

**PINNACLE**  
Engineering & Land Surveying, Inc.  
2720 North 350 West, Suite #108 Layton, UT 84041  
Phone: (801) 773-1910 Fax: (801) 773-1925

**PLANNING COMMISSION APPROVAL**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE SYRACUSE CITY PLANNING COMMISSION.  
CHAIRMAN, SYRACUSE CITY PLANNING COMMISSION

**CITY ENGINEER'S APPROVAL**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE SYRACUSE CITY ENGINEER.  
SYRACUSE CITY ENGINEER

**CITY COUNCIL APPROVAL**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE SYRACUSE CITY COUNCIL.  
ATTEST:  
SYRACUSE CITY RECORDER SYRACUSE CITY MAYOR

**DAVIS COUNTY RECORDER**  
ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_ FILED FOR RECORD AND  
RECORDED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ AT \_\_\_\_\_ IN  
BOOK \_\_\_\_\_ OF OFFICIAL RECORDS PAGE \_\_\_\_\_  
DAVIS COUNTY RECORDER  
BY: \_\_\_\_\_ DEPUTY RECORDER

**GENERAL NOTES**

- CONTRACTOR SHALL OBTAIN A COPY OF, AND STRICTLY ADHERE TO THE CURRENT STANDARDS AND SPECIFICATIONS OF ALL APPLICABLE AGENCIES.
- NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFOREHAND.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENTS STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- TRAFFIC CONTROL TO CONFORM TO THE CURRENT CITY OR COUNTY TRANSPORTATION ENGINEER'S MANUAL.

**GEOTECHNICAL NOTES**

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 100% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTOR REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUB GRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND PLANS, ETC.

**DEMOLITION NOTES**

- CONTRACTOR TO LEGALLY REMOVE & DISPOSE OF ALL EXTRANEIOUS UTILITIES, STRUCTURES, IMPROVEMENTS & DEBRIS ON THE SITE PRIOR TO CONSTRUCTING THE IMPROVEMENTS SHOWN ON THIS PLAN.
- SAID DEMOLITION MAY INCLUDE, BUT IS NOT LIMITED TO UTILITY SERVICES AS WELL AS ASPHALT, CONCRETE, FENCES, TREES, SHRUBS & OTHER DELETERIOUS MATERIALS ON THE SITE.
- SAID DEMOLITION EXCLUDES UTILITY MAINS UNLESS SPECIFICALLY SHOWN ON THIS PLAN.
- SAID DEMOLITION EXCLUDES PUBLICLY OWNED STREET IMPROVEMENTS UNLESS SPECIFICALLY SHOWN ON THIS PLAN.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- CONTRACTOR IS TO COORDINATE ALL PERMITS, FEES & INSPECTIONS AS REQUIRED BY ANY AGENCY HAVING JURISDICTION.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO SITE. THE APPROACH SHALL BE DESIGNATED BY THE GENERAL MANAGER.

**UNDERGROUND INFORMATION**

- THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS IS BASED ON INFORMATION GATHERED FROM UTILITIES AND/OR FROM ABOVE-GROUND STRUCTURES OR EVIDENCE FOUND AT THE TIME OF SURVEY. AS SUCH, THE UNDERGROUND INFORMATION IS A BEST ESTIMATE. PINNACLE DOES NOT REPRESENT OR GUARANTEE THAT THE UNDERGROUND INFORMATION PROVIDED IS CORRECT OR UP TO DATE.
- IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. CALL BLUESTAKES A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY DIGGING OR UTILITY WORK.
- NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.

**UTILITY NOTES**

CONTRACTOR SHALL OBTAIN A COPY OF, AND STRICTLY ADHERE TO THE CURRENT STANDARDS AND SPECIFICATIONS OF CITY OF SYRACUSE. CONTRACTOR IS TO OBTAIN ANY REQUIRED PERMITS AND NOTIFY THE UTILITY OWNER AND PINNACLE ENGINEERING PRIOR TO BEGINNING ANY WORK ON WET UTILITIES. CONTRACTOR IS TO COORDINATE DRY UTILITY WORK WITH THE UTILITY OWNERS.

**STORM DRAIN**  
SEE CITY OF SYRACUSE STANDARDS & SPECIFICATIONS FOR ALL DETAILS & SPECIFICATIONS GOVERNING THE CONSTRUCTION & INSPECTION OF THE STORM DRAIN & APPURTENANCES WITHIN THE PUBLIC RIGHT-OF-WAY SHOWN ON THIS PLAN. SEE THE DETAILS PROVIDED ON THIS SET OF DRAWINGS FOR ALL OTHER STORM DRAIN CONSTRUCTION.

**LAND DRAIN**  
SEE CITY OF SYRACUSE STANDARDS & SPECIFICATIONS FOR ALL DETAILS & SPECIFICATIONS GOVERNING THE CONSTRUCTION & INSPECTION OF THE LAND DRAIN & APPURTENANCES SHOWN ON THIS PLAN. SEE THE DETAILS PROVIDED ON THIS SET OF DRAWINGS FOR ALL OTHER STORM DRAIN CONSTRUCTION.

**SANITARY SEWER**  
SEE CITY OF SYRACUSE STANDARDS & SPECIFICATIONS FOR ALL DETAILS & SPECIFICATIONS GOVERNING THE CONSTRUCTION & INSPECTION OF THE SANITARY SEWER & APPURTENANCES SHOWN ON THIS PLAN.

**CULINARY WATER**  
SEE CITY OF SYRACUSE STANDARDS & SPECIFICATIONS FOR ALL DETAILS & SPECIFICATIONS GOVERNING THE CONSTRUCTION & INSPECTION OF THE CULINARY WATER & APPURTENANCES SHOWN ON THIS PLAN.

**SECONDARY WATER**  
SEE CITY OF SYRACUSE STANDARDS & SPECIFICATIONS FOR ALL DETAILS & SPECIFICATIONS GOVERNING THE CONSTRUCTION & INSPECTION OF THE SECONDARY WATER & APPURTENANCES SHOWN ON THIS PLAN.

**DRY UTILITIES**  
THESE PLANS SHOW THE LOCATION OF POWER, NATURAL GAS, AND COMMUNICATIONS UTILITIES, BUT ARE NOT DESIGN DRAWINGS FOR THE RELOCATION OR REMOVAL OF EXISTING DRY UTILITIES, NOR FOR ANY NEW DRY UTILITY STUBS. CONTRACTOR IS TO SUBMIT SITE PLAN TO DRY UTILITIES FOR DESIGN OF SERVICE CONNECTIONS TO BUILDING. ACTUAL CONSTRUCTION OF SAID SERVICES TO BE DONE BY RESPECTIVE UTILITY PROVIDERS.

- CONTRACTOR MUST START AT THE LOW END OF ALL GRAVITY FED LINES AND WORK UP HILL. FAILURE TO COMPLY WITH THIS NOTE WILL RELEASE THE CIVIL ENGINEER OF ALL LIABILITY.
- THE CONTRACTOR IS TO VERIFY DEPTHS OF UTILITIES IN THE FIELD BY POT HOLING A MINIMUM OF 300 FEET AHEAD OF PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNING PIPELINE GRADE AND ALIGNMENT. IF A CONFLICT ARISES RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO POT HOLE UTILITIES THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW PIPE DURING CONSTRUCTION.
- ALL THRUST BLOCKS SHALL BE POURED IN PLACE AGAINST UNDISTURBED SOIL AS PER SPECIFICATIONS, ALL VALVES, FITTINGS, AND APPURTENANCES TO BE BLOCKED.
- IF LOOP OF WATERLINE IS REQUIRED, RESTRAINED JOINT FITTINGS AND CONCRETE THRUST BLOCKS WILL BE REQUIRED.
- CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- CONCRETE COLLARS WILL BE REQUIRED ON THE EXTERIOR CONNECTION TO ALL CATCH BASINS AND MANHOLES WHICH DO NOT HAVE A RUBBER BOOT.
- SIDEWALK THROUGH DRIVEWAYS SHALL BE A MINIMUM OF 6" THICK.

**ABOVE-GROUND IMPROVEMENTS**

CONTRACTOR SHALL OBTAIN A COPY OF, AND STRICTLY ADHERE TO THE CURRENT CITY OF SYRACUSE STANDARDS AND SPECIFICATIONS. CONTRACTOR IS TO OBTAIN ANY REQUIRED PERMITS AND NOTIFY THE STREET OWNER AND PINNACLE ENGINEERING PRIOR TO BEGINNING ANY WORK WITHIN SAID STREET.

ANY SITE WORK OUTSIDE OF THE PUBLICLY OWNED RIGHT OF WAY SHALL CONFORM WITH THE NOTES AND DETAILS SHOWN ON THIS SET OF PLANS. CONTRACTOR IS TO NOTIFY THE OWNER AND PINNACLE ENGINEERING PRIOR TO BEGINNING SAID WORK.

1. ALL DIMENSIONS, AND GRADES SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

2. ALL EXISTING MANHOLES, WATER VALVES, CLEAN OUTS, ETC., ARE TO BE RAISED OR LOWERED TO GRADE.

3. ALL NEW VALVES, MANHOLES, ETC. SHALL BE INSTALLED A MINIMUM OF 6" BELOW FINISH GRADE & RAISED TO GRADE AS REQUIRED WITH A MINIMUM 6" CONCRETE RING.

4. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION, AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET. SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/2 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING.

5. CONCRETE WATERWAYS, CURB WALLS, MOW STRIPS, CURB AND GUTTER, ETC., WILL TYPICALLY BE SCORED (1/2 THE DEPTH) AT INTERVALS NOT TO EXCEED 10 FEET, AND HAVE FULL DEPTH EXPANSION JOINTS THAT EQUAL SPACING NOT TO EXCEED 40 FEET.

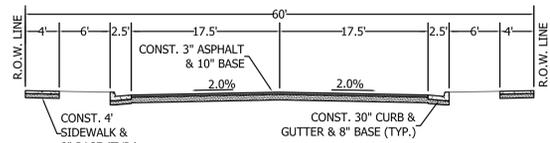
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.

7. ALL EXISTING ASPHALT WILL BE SAW CUT IN NEAT STRAIGHT LINES BY THE CONTRACTOR PRIOR TO EXCAVATION.

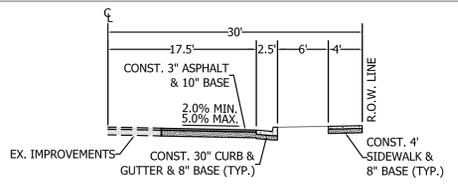
8. HANDICAP ACCESSIBILITY: ALL CONSTRUCTION SHALL MEET THE ADA HANDICAP ACCESSIBILITY REQUIREMENTS. FOR ANY DISCREPANCIES BETWEEN THE PLANS AND ADA REQUIREMENTS, ADA REQUIREMENTS WILL GOVERN.

9. STRIPING WILL BE PER THE PLANS AND/OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. STRIPING TO INCLUDE HANDICAP INSIGNIAS, SIGNS, CROSS-HATCHING, DIRECTION ARROWS, ETC. AS SHOWN OR AS DIRECTED.

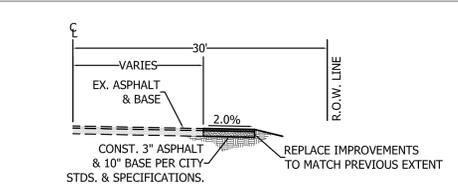
10. NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.



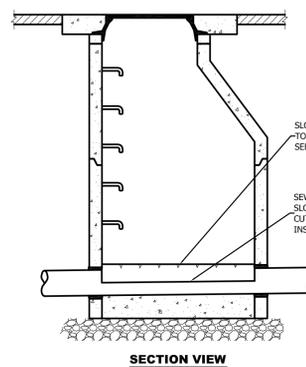
**TYPICAL ROADWAY X-SECTION**



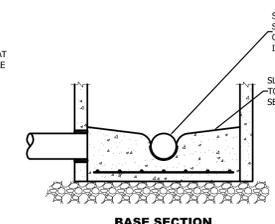
**TYPICAL ROADWAY HALF-SECTION**



**TYPICAL ROADWAY REPAIR X-SECTION**



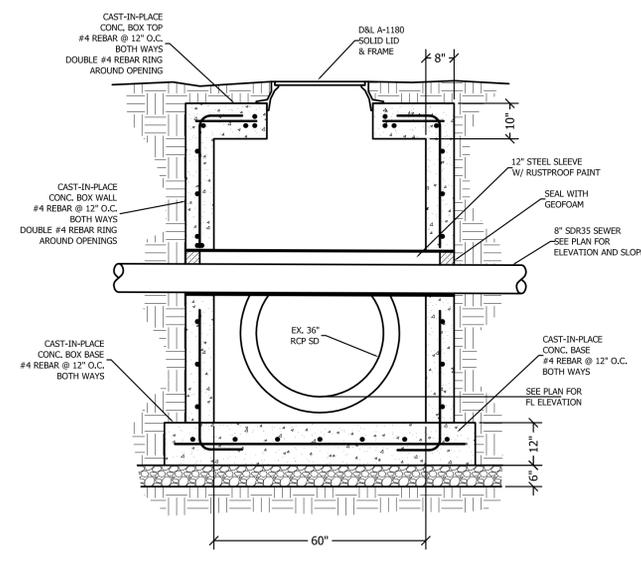
SECTION VIEW



BASE SECTION

**FLOW-THRU SANITARY SEWER MANHOLE**

CONSTRUCT MANHOLE PER SYRACUSE CITY SEWER STANDARD DRAWINGS SHEET 17 WITH THE SOLE EXCEPTIONS NOTED ON THIS DETAIL DRAWING



**CONFLICT BOX**

N.T.S.

**ABBREVIATIONS**

- Ø DIAMETER
- Δ DELTA
- ° DEGREES
- ' MINUTES, FEET
- " SECONDS, INCHES
- AD ALGEBRAIC DIFFERENCE
- ADA AMERICAN DISABILITIES ACT
- ADC CORRUGATED BLACK PLASTIC PIPE
- ARCH ARCHITECTURAL
- B&C BAR & CAP
- BL BOUNDARY LINE
- BLA BOUNDARY LINE AGREEMENT
- BM BENCHMARK
- BND BOUNDARY
- BOW BACK OF WALK
- BRG BEARING
- BV BUTTERFLY VALVE
- BVC BEGIN VERTICAL CURVE
- BVCE BEGIN VERTICAL CURVE ELEVATION
- BVH BEGIN VERTICAL CURVE STATION
- CSG CURB AND GUTTER
- CB CATCH BASIN
- CH CHORD
- CHB CHORD BEARING
- CI CAST IRON
- CL CENTERLINE
- CMP CORRUGATED METAL PIPE
- CO CLEANOUT
- COMBO COMBINATION
- CONC CONCRETE
- CONST CONSTRUCTION
- CP CONTROL POINT
- CUL CULINARY
- CW CULINARY WATER
- CUL CULINARY WATERLINE
- DEMO DEMOLITION
- DI DUCTILE IRON
- DIAM DIAMETER
- DIST DISTANCE
- DIV DIVERSION
- E EAST
- EASE EASEMENT
- EG EXISTING GRADE
- EL ELBOW
- ELC ELECTRICAL
- EVC END VERTICAL CURVE
- EVCE END VERTICAL CURVE ELEVATION
- EVCS END VERTICAL CURVE STATION
- EX EXISTING
- FG FINISH GRADE
- FH FIRE HYDRANT
- FL FLOWLINE
- FND FOUND
- FND FOUNDATION
- FTG FOOTING
- GB GRADE BREAK
- GR GRATE
- GV GATE VALVE
- HDPE HIGH-DENSITY POLYETHYLENE PIPE
- HP HIGH POINT
- HPE HIGH POINT ELEVATION
- HPS HIGH POINT STATION
- ID INSIDE DIAMETER
- INV INVERT
- IRR IRRIGATION
- IRRM IRRIGATION MANHOLE
- K RADIUS OF CURVATURE
- L LENGTH
- LAT LATERAL SERVICE
- LD LAND DRAIN
- LDHM LAND DRAIN MANHOLE
- LG LIP OF GUTTER
- LP LOW POINT
- LPE LOW POINT ELEVATION
- LPS LOW POINT STATION
- MECH MECHANICAL
- MH MANHOLE
- MON MONUMENT
- N NORTH
- NE NORTHEAST
- NR NON-RADIAL
- NW NORTHWEST
- OC ON CENTER
- OD OUTSIDE DIAMETER
- PL PROPERTY LINE
- PROP PROPERTY
- PUE PUBLIC UTILITY EASEMENT
- PUE&DE PUBLIC UTILITY & DRAINAGE EASEMENT
- PUE&DE PUBLIC UTILITY EASEMENT & DRAINAGE EASEMENT
- PVC POLY(VINYL)CHLORIDE
- R RADIUS
- RCL ROADWAY CENTERLINE
- RCP REINFORCED CONCRETE PIPE
- S SOUTH
- SD STORM DRAIN
- SDCB STORM DRAIN CATCH BASIN
- SDCO STORM DRAIN CLEANOUT
- SDMH STORM DRAIN MANHOLE
- SE SOUTHEAST
- SEC SECONDARY SECTION
- SLB&M SALT LAKE BASE & MERIDIAN SPECIFICATION
- SPP STEEL PIPE
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- STD STANDARD
- STDS STANDARDS
- SW SECONDARY WATER
- SW SOUTHWEST
- SWL SECONDARY WATERLINE
- TAN TANGENT
- TB THRUST BLOCK
- TBC TOP BACK OF CURB
- TBW TOP BACK OF WALK
- TEL TELEPHONE
- TCW TOP OF CURB WALL
- TOA TOP OF ASPHALT
- TOC TOP OF CONCRETE
- TOG TOP OF GRATE
- TOW TOP OF WALL
- UTIL UTILITY
- V VALVE
- VC VERTICAL CURVE
- W WATER
- W WEST
- WL WATERLINE
- WM WATER METER
- X CROSS
- X-SECT CROSS-SECTION

**PINNACLE**  
Engineering & Land Surveying, Inc.  
Layton • West Bountiful • Mount Pleasant • St. George  
1513 North Hillfield Rd., Suite #2  
Layton, UT 84041  
Phone: (801) 866-0676  
Fax: (801) 866-0678

**FOX HAVEN**  
NOTES AND DETAILS  
FOR: CLINT SHERMAN  
2800 SOUTH 2400 WEST  
SYRACUSE, UTAH  
PROJECT # 11-069

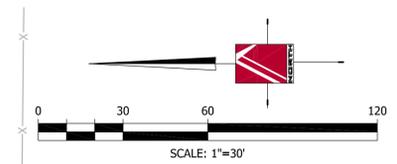
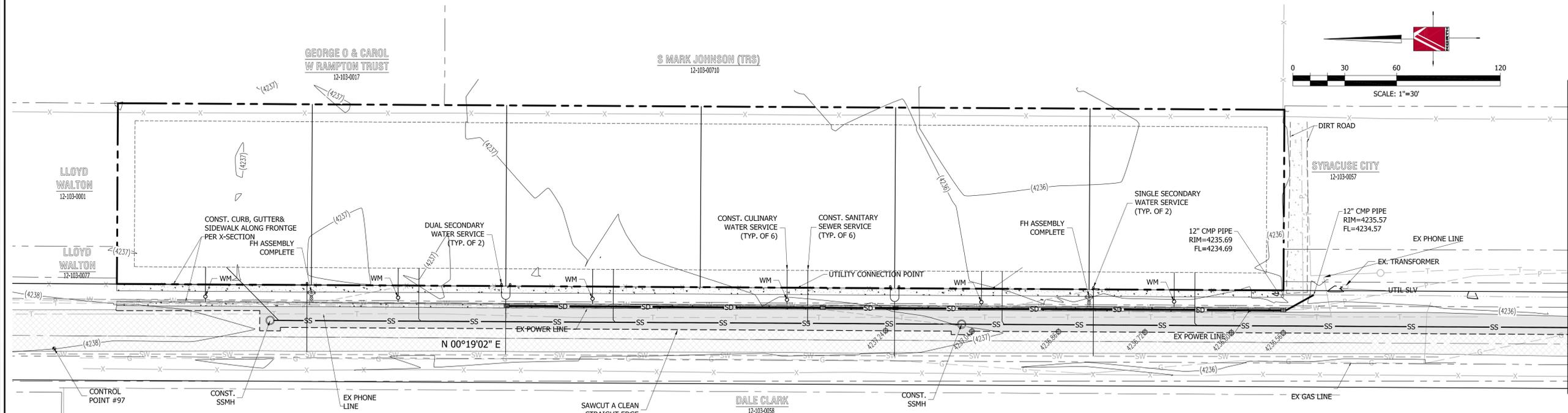
| REVISION | DATE    | BY  |
|----------|---------|-----|
| R1       | 11-2011 | SPB |
| R2       | 11-2011 | SPB |
| R3       | 6-2012  | LKM |
| R4       | 6-2012  | LKM |
| R5       | 6-2012  | LKM |
| R6       | 6-2012  | LKM |
| R7       | 6-2012  | SJF |
| R8       | 6-2012  | SJF |
| R9       | 6-2012  | SJF |

SURVEYED BY: SPB  
 DESIGNED BY: LKM  
 DRAWN BY: LKM  
 APPROVED BY: SJF

**CALL BLUESTAKES**  
1-800-662-4111

AT LEAST 48 HOURS BEFORE DIGGING

**SHEET 03 OF 08**



MATCHLINE - SEE BELOW

**FEASIBILITY REPORT**

WATER: WATER WILL BE CONNECTED TO THE EXISTING WATERLINE

SEWER: THE SEWER LINE WILL BE EXTENDED FROM THE CITY SHOPS DOWN TO THE PROPERTY

STORM DRAIN: THE STORM WATER WILL TIE IN TO THE EXISTING STORM DRAIN AT THE SOUTHWEST CORNER OF THE PROPERTY

SECONDARY WATER: NO SECONDARY WATER

LAND DRAIN: NO LAND DRAINS

IRRIGATION WATER THERE IS A WELL LOCATED ON THE PROPERTY - IRRIGATION WATER NOT NEEDED

DENSITY ALLOWABLE: 3.79 X 1.61 = 6.10 LOTS AS DESIGNED: 6 LOTS / 1.61 ACRES = 3.73 LOTS/ACRE

NO OPEN SPACE REQUIRED

NO EXISTING WETLANDS ON PROPERTY

NO PHASING

NO SECONDARY ACCESS REQUIRED

**GENERAL NOTES**

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ALL NEW VALVES, MANHOLES, ETC. SHALL BE INSTALLED A MINIMUM OF 6" BELOW FINISH GRADE & RAISED TO GRADE AS REQUIRED WITH A MINIMUM 6" CONCRETE RING.

**LEGEND**

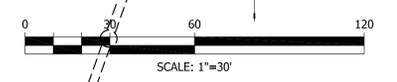
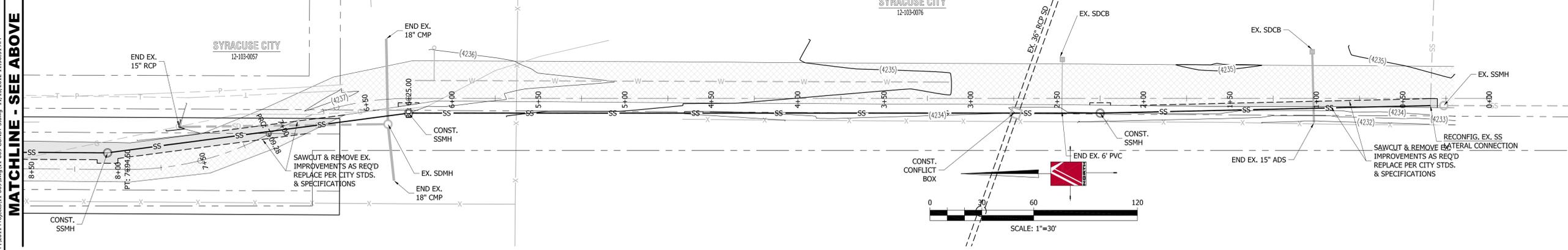
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- BOUNDARY LINE
  - CENTERLINE
  - EASEMENT LINE
  - SETBACK LINE
  - IRR NEW IRRIGATION LINE
  - LD NEW LAND DRAIN
  - SD NEW STORM DRAIN
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  - SECTION CORNER MONUMENT
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  - EX. SPOT ELEVATION
  - (4250) EG CONTOUR LINE
  - (4250) FG CONTOUR LINE
  - EXISTING ASPHALT
  - CONST. ASPHALT & BASE PER X-SECTION
  - CONST. CONC. C&G PER X-SECTION
  - CONST. CONC. SIDEWALK PER X-SECTION

**BENCHMARK**

BENCHMARK IS: THE TOP OF THE QUARTER CORNER OF SECTION 21, T.4N., R.2W., S.L.B.&M. ELEV. = 4237.55

**IMPROVEMENT NOTES**

THIS SET OF PLANS PROVIDES THE DESIGN OF ROAD IMPROVEMENTS, SEWER, LAND DRAIN, STORM DRAIN, CULINARY WATER, AND SECONDARY WATER. THIS SET OF PLANS DOES NOT PROVIDE DESIGN INFORMATION FOR DRY UTILITIES. DEVELOPER TO COORDINATE DESIGN & CONSTRUCTION OF DRY UTILITIES WITH THE PROVIDERS OF SAID DRY UTILITIES IN ACCORDANCE WITH THE CHANGES SPECIFICALLY SHOWN ON THESE PLANS.



MATCHLINE - SEE ABOVE

**PINNACLE**  
Engineering & Land Surveying, Inc.  
Layton • West Bountiful • Mount Pleasant • St. George  
1513 North Hillfield Rd., Suite #2  
Layton, UT 84041  
Phone: (801) 866-0676  
Fax: (801) 866-0678

**FOX HAVEN**  
SITE PLAN  
FOR: CLINT SHERMAN  
2800 SOUTH 2400 WEST  
SYRACUSE, UTAH  
PROJECT # 11-069

| REVISION | DATE    | BY  |
|----------|---------|-----|
| R1       | 11-2011 | SPB |
| R2       | 11-2011 | SPB |
| R3       | 6-2012  | LKM |
| R4       | 6-2012  | LKM |
| R5       | 6-2012  | LKM |
| R6       | 6-2012  | LKM |
| R7       | 6-2012  | SJF |
| R8       | 6-2012  | SJF |
| R9       | 6-2012  | SJF |

**CALL BLUESTAKES**  
1-800-662-4111



AT LEAST 48 HOURS BEFORE DIGGING

**SHEET 04 OF 08**

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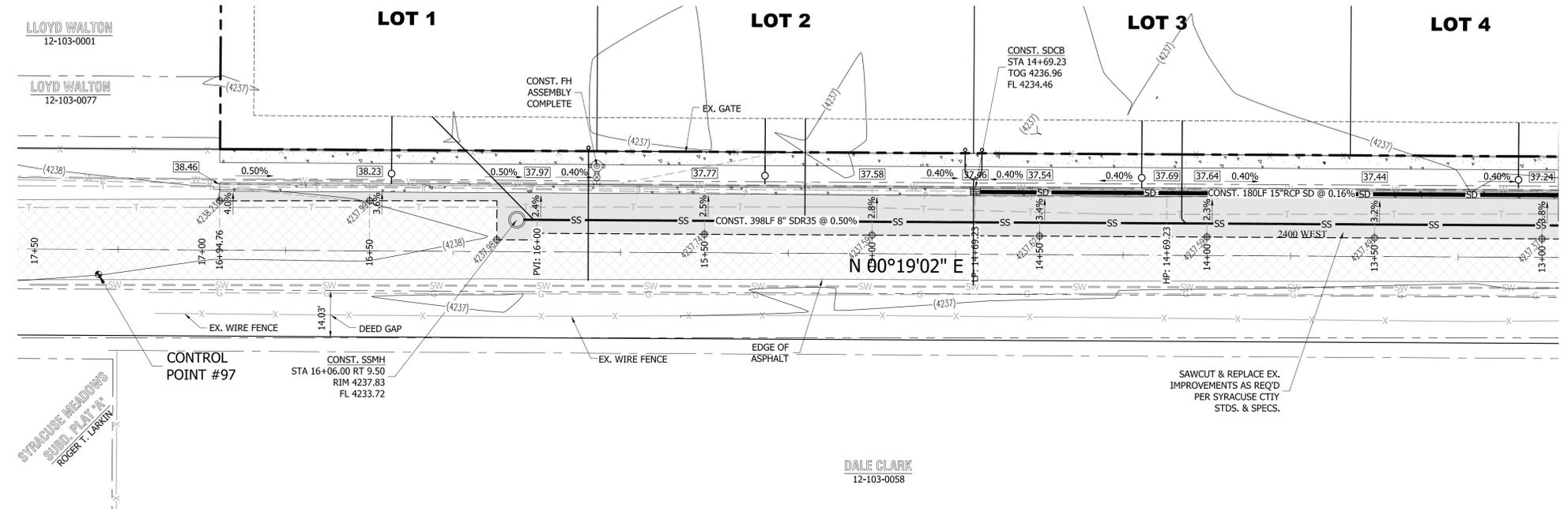
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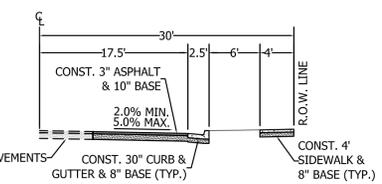
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FOR: CLINT SHERMAN  
2800 SOUTH 2400 WEST  
SYRACUSE, UTAH  
PROJECT # 11-069



SEE SHEET 06



**TYPICAL ROADWAY HALF-SECTION**

**EXISTING ASPHALT NOTES**

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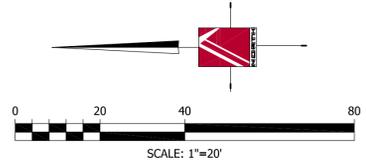
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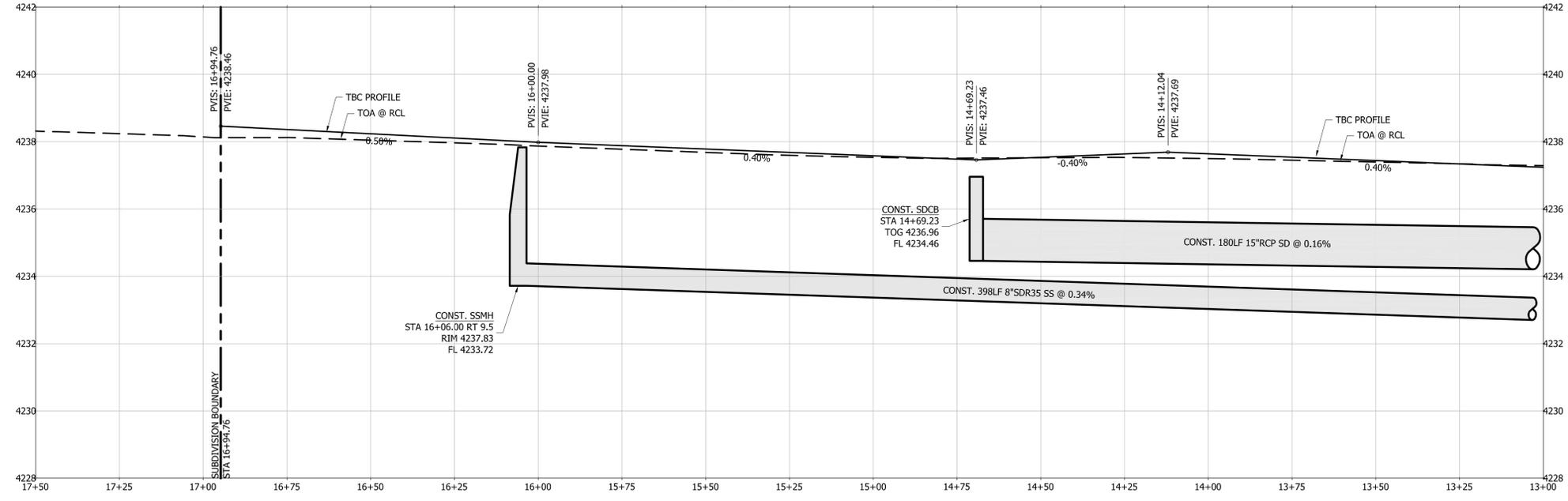
**UTILITY CROSSING NOTES**

**A** A UTILITY LINE IS DESIGNED TO CROSS AN EXISTING UTILITY AT THIS LOCATION. CONTRACTOR IS TO POTHOLE THE EXISTING UTILITY AT THIS LOCATION & NOTIFY PINNACLE ENGINEERING. FIELD VERIFICATION OF A VIABLE PIPE CROSSING IS REQUIRED PRIOR TO ANY CONSTRUCTION.

**B** UTILITY LINES ARE DESIGNED TO CROSS AT THIS LOCATION. CONTRACTOR IS TO PLAN AHEAD SO THAT PIPE ELEVATIONS DO NOT CONFLICT.



**2400 WEST STA 13+00 TO 17+50**



**LEGEND**

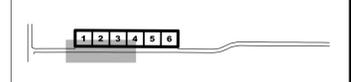
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|     |                                     |
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**SHEET LOCATION GUIDE**



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| SURVEYED BY | DESIGNED BY | DRAWN BY | APPROVED BY |
|-------------|-------------|----------|-------------|
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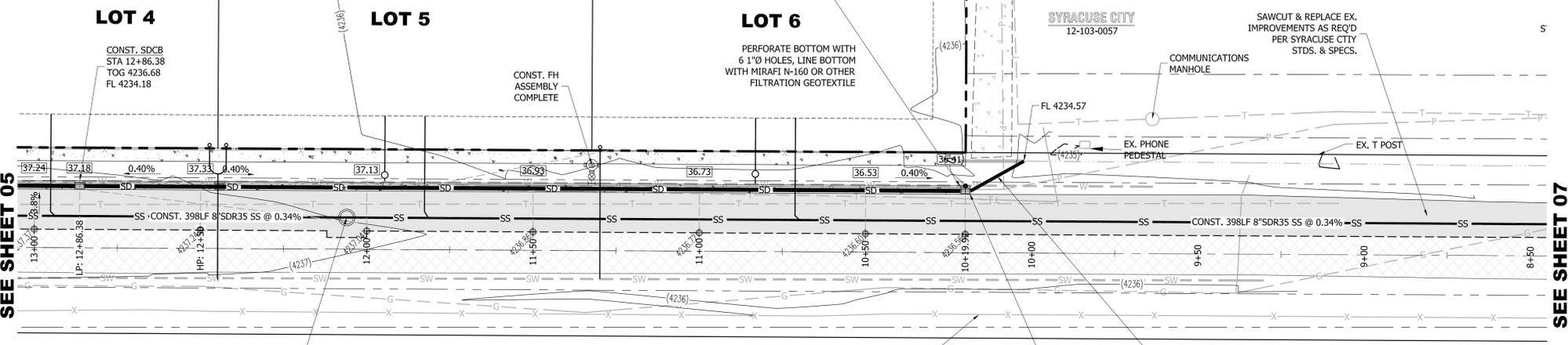
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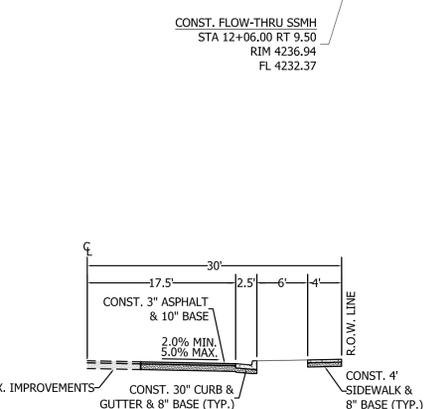
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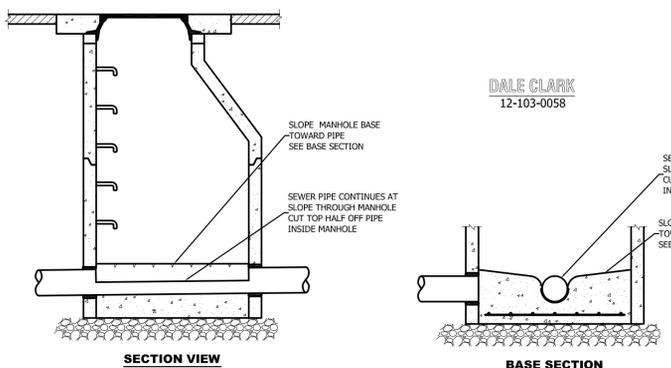


SEE SHEET 05

SEE SHEET 07



**TYPICAL ROADWAY HALF-SECTION**



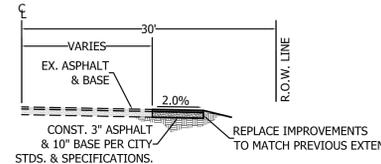
**FLOW-THRU SANITARY SEWER MANHOLE**  
CONSTRUCT MANHOLE PER SYRACUSE CITY SEWER STANDARD DRAWINGS SHEET 17 WITH THE SOLE EXCEPTIONS NOTED ON THIS DETAIL DRAWING

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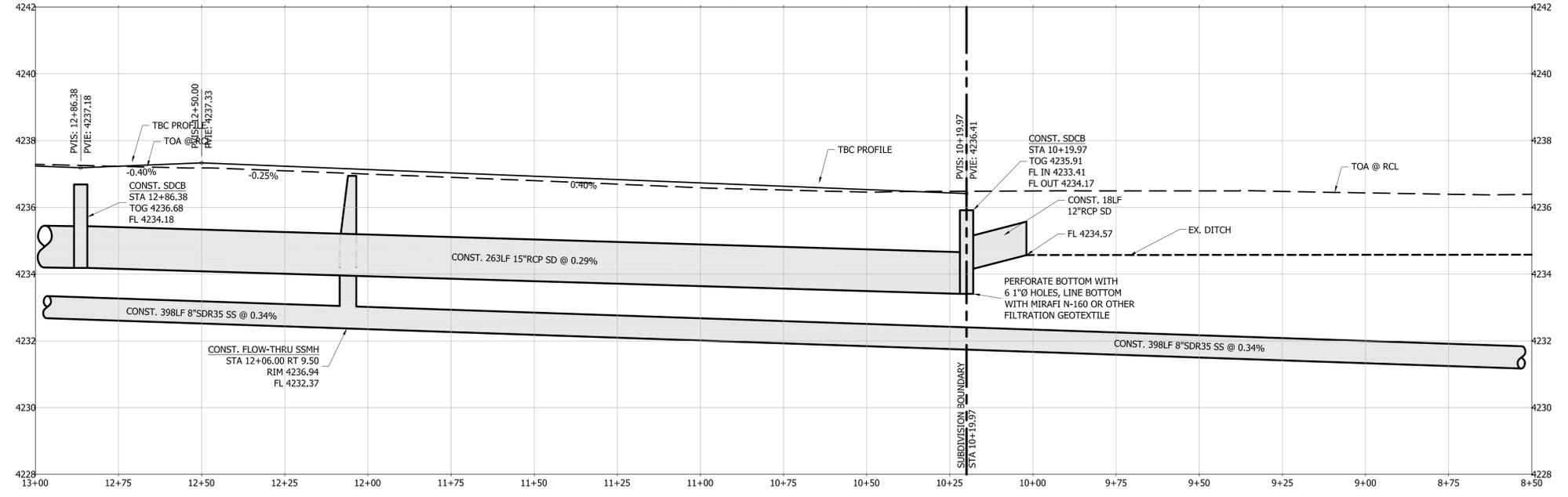
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**TYPICAL ROADWAY REPAIR X-SECTION**

**2400 WEST STA 8+50 TO 13+00**



**LEGEND**

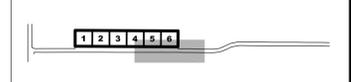
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| R9       |      |    |

SURVEYED BY: SPB 11-2011  
DESIGNED BY: LKM 6-2012  
DRAWN BY: LKM 6-2012  
APPROVED BY: SJF 6-2012

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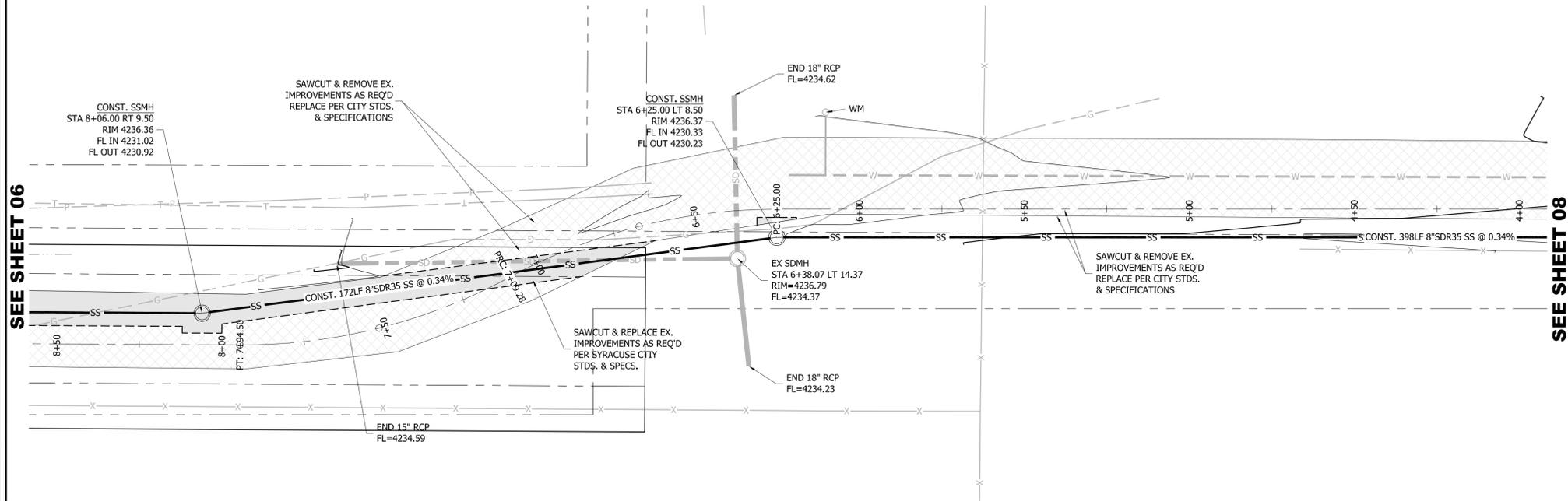
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THE CONTRACTOR SHALL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY POT HOLING A MINIMUM OF 300 FEET AHEAD OF PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. IF A CONFLICT ARISES RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO POTHOLE UTILITIES THE CONTRACTOR SHALL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.

ALL NEW VALVES, MANHOLES, ETC. SHALL BE INSTALLED A MINIMUM OF 6" BELOW FINISH GRADE & RAISED TO GRADE AS REQUIRED WITH A A MINIMUM 6" CONCRETE RING.

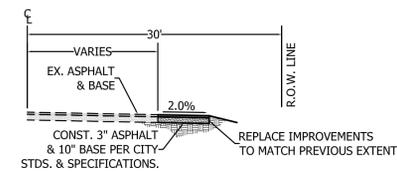
**PINNACLE**  
Engineering & Land Surveying, Inc.  
Layton • West Bountiful • Mount Pleasant • St. George  
1513 North Hillfield Rd., Suite #2  
Layton, UT 84041  
Phone: (801) 866-0676  
Fax: (801) 866-0678

**FOX HAVEN**  
2400 WEST PLAN & PROFILE STA 4+00 TO 8+50  
FOR: CLINT SHERMAN  
2800 SOUTH 2400 WEST  
SYRACUSE, UTAH  
PROJECT # 11-069



SEE SHEET 06

SEE SHEET 08



**TYPICAL ROADWAY REPAIR X-SECTION**

**EXISTING ASPHALT NOTES**

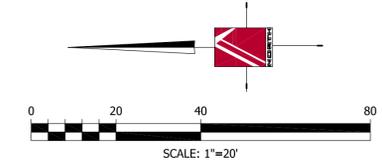
CONTRACTOR IS TO SAWCUT A NEAT, STRAIGHT EDGE ALONG THE EXISTING EDGE OF ASPHALT & TACK PRIOR TO PLACING NEW ASPHALT ADJACENT TO EXISTING ASPHALT.

SEE THE SYRACUSE CITY STANDARDS REGARDING ASPHALT PATCHING. A 24" T-PATCH IS REQUIRED FOR TRENCH DEPTHS 30"-48". A 36" T-PATCH IS REQUIRED FOR TRENCH DEPTHS GREATER THAN 48". IF THE TRENCH PATCH EXCEEDS 60% OF THE WIDTH OF THE EXISTING LANE OF TRAVEL, THE LANE IN ITS ENTIRETY SHALL BE REPLACED TO THE CROWN.

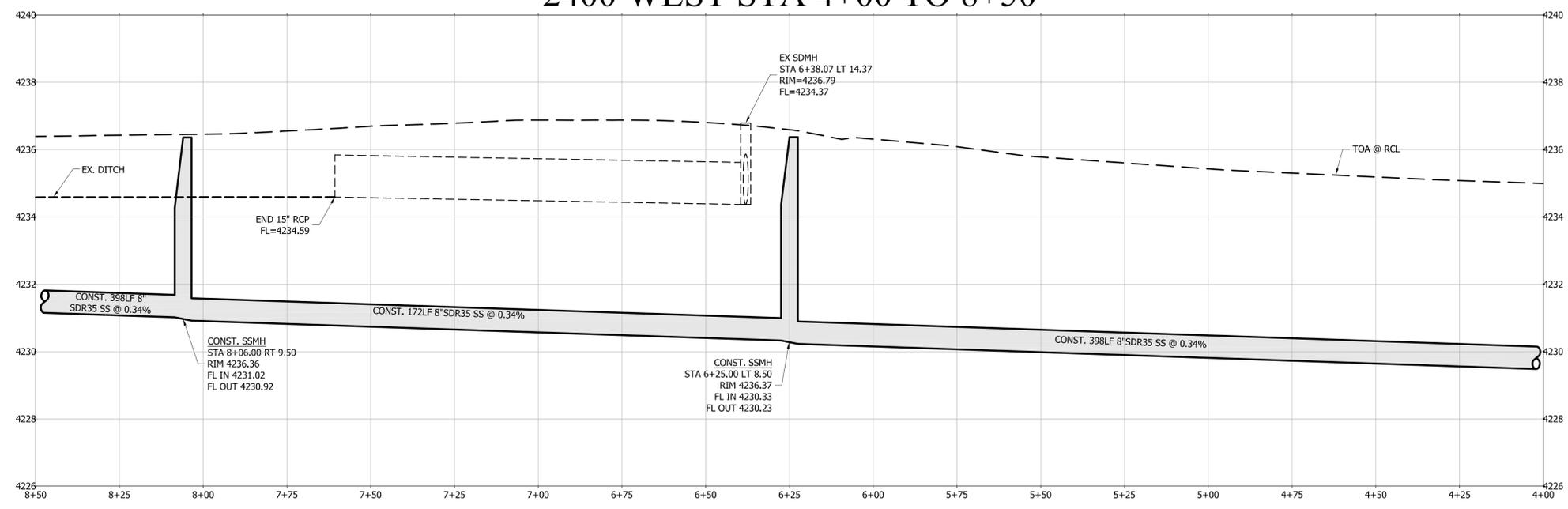
**UTILITY CROSSING NOTES**

**A** A UTILITY LINE IS DESIGNED TO CROSS AN EXISTING UTILITY AT THIS LOCATION. CONTRACTOR IS TO POTHOLE THE EXISTING UTILITY AT THIS LOCATION & NOTIFY PINNACLE ENGINEERING. FIELD VERIFICATION OF A VIABLE PIPE CROSSING IS REQUIRED PRIOR TO ANY CONSTRUCTION.

**B** UTILITY LINES ARE DESIGNED TO CROSS AT THIS LOCATION. CONTRACTOR IS TO PLAN AHEAD SO THAT PIPE ELEVATIONS DO NOT CONFLICT.



**2400 WEST STA 4+00 TO 8+50**



**LEGEND**

NOT ALL ITEMS IN THE LEGEND MAY BE APPLICABLE

|     |                                     |
|-----|-------------------------------------|
| --- | BOUNDARY LINE                       |
| --- | CENTERLINE                          |
| --- | EASEMENT LINE                       |
| --- | SETBACK LINE                        |
| --- | NEW IRRIGATION LINE                 |
| --- | NEW LAND DRAIN                      |
| --- | NEW STORM DRAIN                     |
| --- | NEW SANITARY SEWER                  |
| --- | NEW SECONDARY WATERLINE             |
| --- | NEW CULINARY WATERLINE              |
| --- | EX. IRRIGATION LINE                 |
| --- | EX. LAND DRAIN                      |
| --- | EX. OVERHEAD POWER LINE             |
| --- | EX. STORM DRAIN                     |
| --- | EX. SANITARY SEWER                  |
| --- | EX. SECONDARY WATERLINE             |
| --- | EX. TELEPHONE LINE                  |
| --- | EX. GAS LINE                        |
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| --- | SECTION CORNER MONUMENT             |
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| --- | EX. SPOT ELEVATION                  |
| --- | EG CONTOUR LINE                     |
| --- | FG CONTOUR LINE                     |
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| --- | CONST. ASPHALT & BASE PER X-SECTION |
| --- | CONST. CONC. C&G PER X-SECTION      |
| --- | CONST. CONC. SIDEWALK PER X-SECTION |

**BENCHMARK**

BENCHMARK IS: THE TOP OF THE QUARTER CORNER OF SECTION 21, T.4N., R.2W., S.L.B.&M. ELEV. = 4237.55

**SHEET LOCATION GUIDE**

| REVISION | DATE | BY |
|----------|------|----|
| R1       |      |    |
| R2       |      |    |
| R3       |      |    |
| R4       |      |    |
| R5       |      |    |
| R6       |      |    |
| R7       |      |    |
| R8       |      |    |
| R9       |      |    |

|             |         |
|-------------|---------|
| SURVEYED BY | 11-2011 |
| DESIGNED BY | 6-2012  |
| DRAWN BY    | 6-2012  |
| APPROVED BY | 6-2012  |

**CALL BLUESTAKES**  
1-800-662-4111

AT LEAST 48 HOURS BEFORE DIGGING

**SHEET 07 OF 08**

P:\2011 Projects\11-069\img\11-069 CONST 5.dwg 11/15/2012 11:46:37 AM

**GENERAL NOTES**

CONTRACTOR SHALL OBTAIN A COPY OF, AND STRICTLY ADHERE TO THE CURRENT STANDARDS AND SPECIFICATIONS OF ALL APPLICABLE AGENCIES.

THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.

PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.

ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

CONTRACTORS MUST START AT THE LOW END OF ALL GRAVITY FED LINES AND WORK UP HILL. FAILURE TO COMPLY WITH THIS NOTE SHALL RELEASE THE CIVIL ENGINEER OF ALL LIABILITY.

CONTRACTOR SHALL LAYOUT AND POTHOLE FOR ALL POTENTIAL CONFLICTS WITH UTILITY LINES ON OR OFF SITE AS REQUIRED PRIOR TO ANY CONSTRUCTION.

NO ALLOWANCE SHALL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFOREHAND.

NO CHANGE IN DESIGN LOCATION OR GRADE SHALL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.

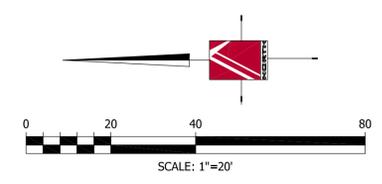
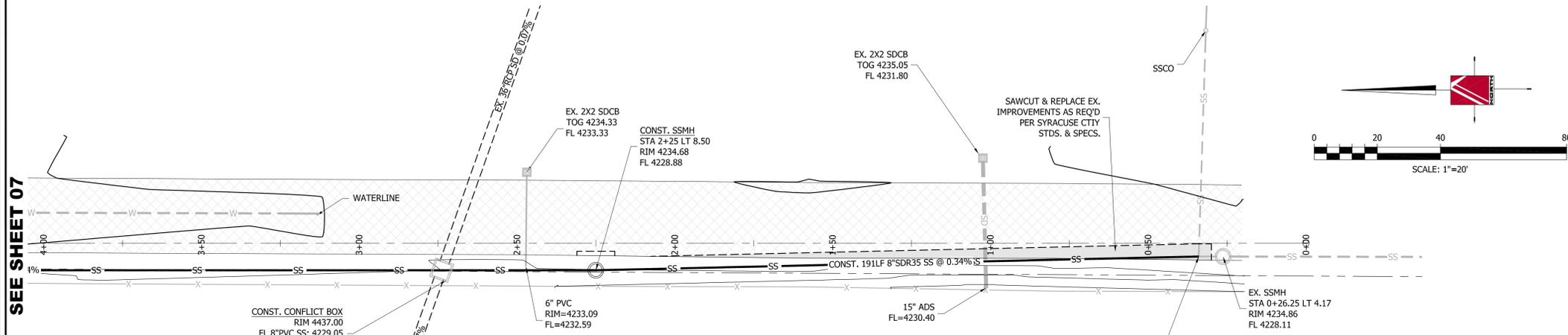
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2400 WEST PLAN & PROFILE STA 0+00 TO 4+00  
FOR: CLINT SHERMAN  
2800 SOUTH 2400 WEST  
SYRACUSE, UTAH  
PROJECT # 11-069

SEE SHEET 07

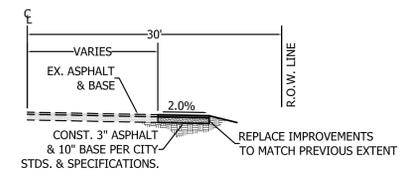


**EXISTING ASPHALT NOTES**

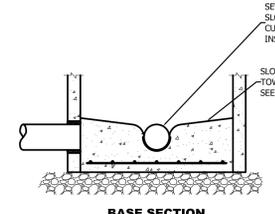
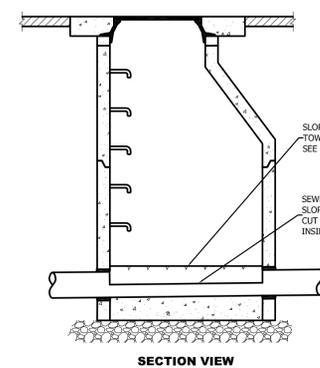
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CONNECT TO EX. SS MAIN RECONFIG. IF NO TEE EXISTS. DESIGN FL 4228.23  
CONTRACTOR TO EXPOSE AND FIELD VERIFY PRIOR TO CONSTRUCTION STAKING

SEE THE SYRACUSE CITY STANDARDS REGARDING ASPHALT PATCHING. A 24\"/>



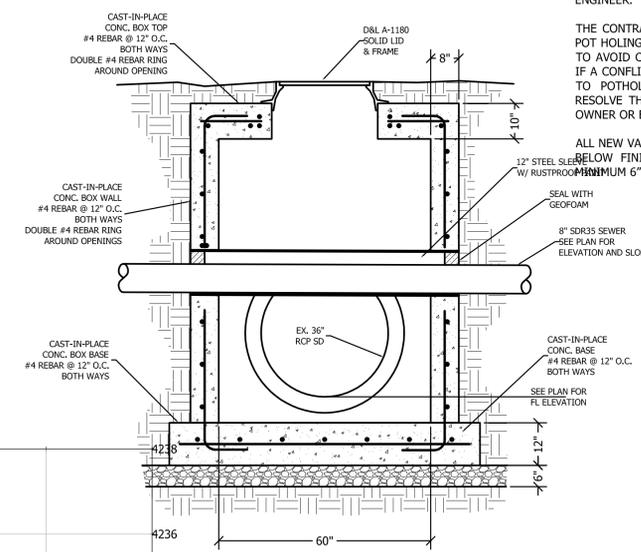
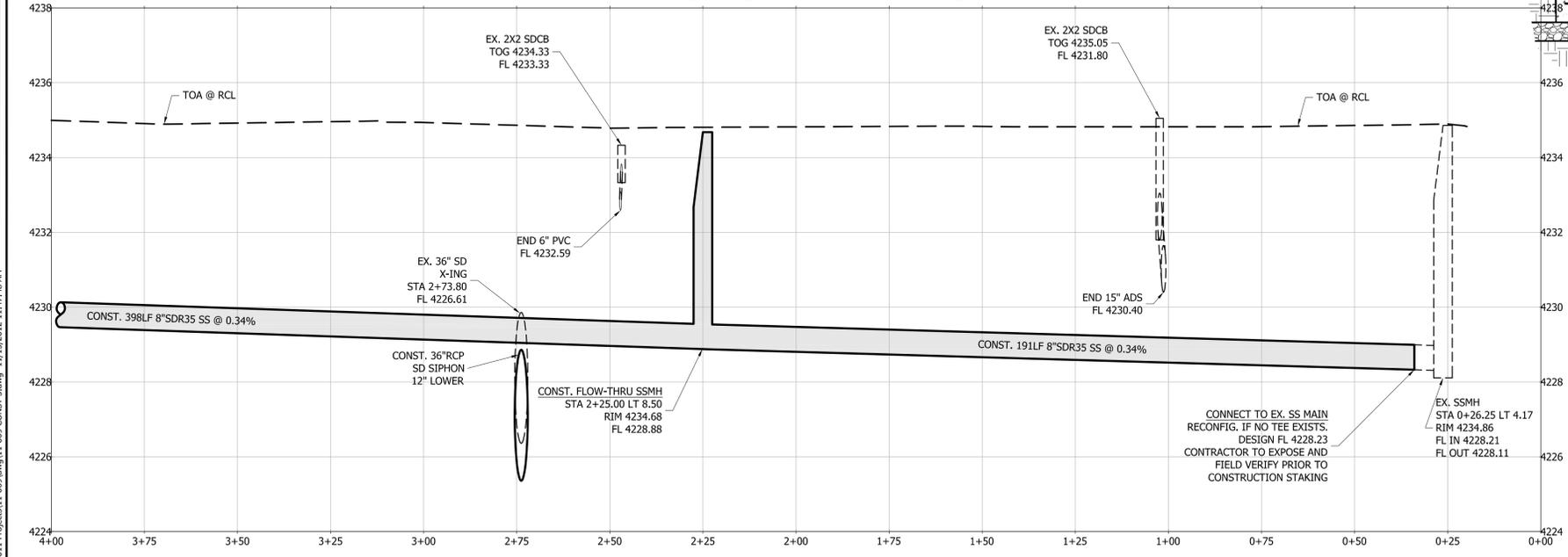
**TYPICAL ROADWAY REPAIR X-SECTION**



**FLOW-THRU SANITARY SEWER MANHOLE**

CONSTRUCT MANHOLE PER SYRACUSE CITY SEWER STANDARD DRAWINGS SHEET 17 WITH THE SOLE EXCEPTIONS NOTED ON THIS DETAIL DRAWING

**2400 WEST STA 0+00 TO 4+00**



**CONFLICT BOX**  
N.T.S.

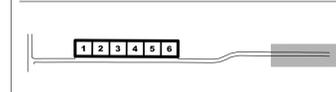
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**SHEET LOCATION GUIDE**



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| R6       |      |    |
| R7       |      |    |
| R8       |      |    |
| R9       |      |    |

SURVEYED BY: SPB 11-2011  
DESIGNED BY: LKM 6-2012  
DRAWN BY: LKM 6-2012  
APPROVED BY: S/JF 6-2012

**CALL BLUESTAKES**  
1-800-662-4111

AT LEAST 48 HOURS BEFORE DIGGING

**SHEET 08 OF 08**



**Engineer Preliminary Plan Review – Fox Haven Subdivision  
2800 South 2400 West**

*Completed by Brian Bloemen on November 16, 2012*

Please review the following comments for the Fox Haven Subdivision and make any necessary changes:

1. All infrastructure shall be installed per Syracuse City Engineering Standards and Construction Specifications.
2. Set the top of pipe for most northerly catch basin 18" below finish grade and run a 0.5% slope from there going south to the south line of lot 6.
3. Water shares will be required to be given to the City for the development.
4. City council will need to approve any land transaction involving City owned property.

If you have any further comments or questions please feel free to contact me at 801-614-9630.

Sincerely,

Brian Bloemen  
City Engineer



## Subdivision Final Plan Review – Fox Haven

*Completed by Sherrie Christensen, Planner on 11/08/2012*

**Recommendation:** City staff recommends that the Planning Commission examine the Fox Haven Subdivision Final plan review as outlined below. Please pay specific attention to the items highlighted in yellow. City Staff hereafter recommends that the Planning Commission forward the Fox Haven Subdivision Final plat to the City Council with a recommendation for approval, subject to all requirements of the City’s municipal code and staff reviews.

| <b>8-6-1/8-6-2: Final Plat/Final Plan and Profile:</b>                                                                              | <b>Planning Staff Review:</b> |
|-------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|
| 1. Proposed name of subdivision (to be approved by Planning Commission and County Recorder).                                        | 1. Fox Haven                  |
| 2. Accurate angular and linear dimensions to describe boundaries, streets, easements, areas reserved for public use, etc.           | 2. Yes                        |
| 3. Identification system for lots, blocks, and names of streets. Lot lines show dimensions in feet and hundredths.                  | 3. Yes                        |
| 4. Street address shown for each lot.                                                                                               | 4. Yes                        |
| 5. True angles and distances to nearest street lines or official monuments as accurately described and shown by appropriate symbol. | 5. Yes                        |
| 6. Radii, internal angles, points and curvatures, tangent bearings and the length of all arcs.                                      | 6. Yes                        |
| 7. Accurate location of all monuments to be installed shown by appropriate symbol.                                                  | 7. Yes                        |
| 8. Dedication to City of all streets and other                                                                                      | 8. Yes                        |

|                                                                                                                              |                                         |
|------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------|
| public uses and easements.                                                                                                   |                                         |
| 9. Street monuments shown on Final Plat.                                                                                     | 9. Yes                                  |
| 10. Pipes or other iron markers shown on the plat.                                                                           | 10. Yes                                 |
| 11. Outlines and dimensions of public use areas or areas reserved for common use of all property owners showing on plat.     | 11. N/A                                 |
| 12. Boundary, lot and other geometrics on Final Plat accurate to not less than one part in five thousand.                    | 12. Yes, refer to Engineer for further. |
| 13. Location, function, ownership and manner of maintenance of remaining common open space showing on plat or in submission. | 13. N/A                                 |
| 14. Legal boundary description of the subdivision and acreage included.                                                      | 14. Yes, 1.61 acres                     |
| 15. Current inset City map showing location of subdivision.                                                                  | 15. Yes                                 |
| 16. Standard signatures forms/boxes reflected on the Final Plat.                                                             | 16. Yes                                 |
| <b>Final Plan and Profile</b>                                                                                                |                                         |
| 17. Plan for culinary water improvements.                                                                                    | 17. Submitted, see Engineer review.     |
| 18. Plan for secondary water improvements.                                                                                   | 18. Submitted, see Engineer review.     |
| 19. Plan for sanitary sewer.                                                                                                 | 19. Submitted, see Engineer review.     |
| 20. Land drain.                                                                                                              | 20. See Engineer review                 |
| 21. Storm water.                                                                                                             | 21. Submitted, see Engineer review.     |
| 22. Streets.                                                                                                                 | 22. Submitted, see Engineer review.     |
| 23. Stationing.                                                                                                              | 23. Submitted, see Engineer review.     |
| 24. Agreements.                                                                                                              | 24. N/A                                 |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>Conditional Items for Final Plan Approval</b></p> <ul style="list-style-type: none"> <li>25. Park-purchase impact fee accord in the zoning and gross acreage in development as outlined in the City's fee schedule</li> <li>26. Irrigation water rights per Subdivision Ordinance Section 8-2-9</li> <li>27. An executed Escrow Agreement, provided by City staff, for improvement costs and bonding</li> <li>28. An executed Improvement Agreement with Syracuse City, as provided by staff</li> <li>29. An executed Streetlight Agreement, regarding installation of required lamps, as provided by City staff</li> <li>30. Payment of final off-site inspection fees as outlined in City's fee schedule</li> <li>31. Payment of County recording fees of \$37/page +\$1/lot and any common space as well as \$1/land-owner signatures over two</li> </ul> <p><b>Conditions from Preliminary Plat Approval 8-3-1 Public Improvements:</b></p> <p>10-12-040 Minimum Lot Standards</p> <p>(F) Building Height. As allowed by current building code.</p> | <ul style="list-style-type: none"> <li>25. Required before mylar recording estimate not received</li> <li>26. Required before mylar recording 5 Acre feet required</li> <li>27. Required before mylar recording estimate not received</li> <li>28. Required before mylar recording</li> <li>29. See engineer review if required</li> <li>30. Required before mylar recording</li> <li>31. Required before mylar recordings \$43</li> </ul> <p><b>Planning Staff Review:</b></p> <p>(F) Yes-Per Building Code</p> |
| <p><b>Chapter 6 – General Land Use Regulations</b></p> <p>10-6-060 Miscellaneous Requirements and Provisions</p> <p>(B) Visibility at Intersections.</p> <p>10-6-080 Buffer Yards</p> <p>(C) <u>Determination and Approval of Buffer Yards Required.</u> To determine the type of buffer yard required between two (2) adjacent parcels or between a parcel and a street, the following procedure shall apply:</p> <ul style="list-style-type: none"> <li>1. Identify the land use category of the proposed use.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | <p><b>Planning Staff Review:</b></p> <p>10-6-060 Miscellaneous Requirements and Provisions</p> <p>(B) N/A</p> <p>10-6-080 Buffer Yards</p> <ul style="list-style-type: none"> <li>1. R-2</li> </ul>                                                                                                                                                                                                                                                                                                              |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                  |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>2. Identify the use category of the existing land use adjacent of the proposed use by an on-site survey to determine the intensity classification from Table 1. Agricultural determination need not directly relate to whether or not someone is farming the adjacent property.</p> <p>3. Determine the buffer yard required for the proposed development by using Table 2.</p> <p>4. Using Buffer Tables A – E, identify the buffer yard options using the buffer yard requirement determine in Table 2.</p> <p><b>Other Issues:</b></p> <p>1. Title Report-Required</p> <p>2. Appraisal Report</p> | <p>2. R-1</p> <p>3. No Buffer required.</p> <p>4. N/A</p> <p>1. Submit title report prepared within the previous 30 days</p> <p>2. Submit appraisal for computation of park improvement fee.</p> |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                  |

October 30, 2012

Syracuse City Planning Commission  
c/o Syracuse Community Development  
1979 W 1900 S  
Syracuse, UT 84075

Dear Members of the Planning Commission,

Regarding, Fox Haven preliminary drawings 2800 South 2400 West Syracuse, after review of the plans we have no concerns regarding fire protection or access.

Please contact me if you have any questions or need additional comment.

Respectfully,

Jo Hamblin, Deputy Chief  
Syracuse City Fire Department  
1869 South 3000 West, Syracuse, UT 84075  
Phone 801-614-9614





**SYRACUSE CITY**  
**Syracuse City Council Agenda**  
**December 11, 2012 - 7:00 p.m.**  
City Council Chambers  
Municipal Building, 1979 W. 1900 S.

1. Meeting called to order  
Invocation or thought\*\*  
Pledge of Allegiance  
Adopt agenda
2. Presentation of the Syracuse City and Wendy's "Award for Excellence" to Elias Stuart and Taylor Rawlings.
3. Approval of Minutes:
  - a. Work Session Meeting of November 13, 2012
  - b. Regular Meeting of November 13, 2012
  - c. Special Meeting of November 20, 2012
4. Public Comment: This is an opportunity to address the Council regarding your concerns or ideas. Please limit your comments to three minutes.
5. Public Hearing: Authorize Administration to dispose of a parcel of real property adjacent to 2400 West
6. Final Approval, Hammon Acres Subdivision, located at approximately 1290 South 3700 West
7. Final Approval, Fox Haven Subdivision, located at approximately 2900 South 2400 West
8. Proposed Resolution R12-27 appointing Curt McCuiston to the Syracuse City Planning Commission with his term expiring on June 30, 2015
9. Consideration of removal of a Planning Commissioner
10. Councilmember Reports
11. Mayor Report
12. City Manager Report
13. Consideration of adjourning into Closed Executive Session pursuant to the provisions of Section 52-4-205 of the Open and Public Meetings Law for the purpose of discussing the character, professional competence, or physical or mental health of an individual; pending or reasonably imminent litigation; or the purchase, exchange, or lease of real property (roll call vote).
14. Adjourn

~~~~~

In compliance with the Americans Disabilities Act, persons needing auxiliary communicative aids and services for this meeting should contact the City Offices at 801-825-1477 at least 48 hours in advance of the meeting.

CERTIFICATE OF POSTING

The undersigned, duly appointed City Recorder, does hereby certify that the above notice and agenda was posted within the Syracuse City limits on this 6th day of December, 2012 at Syracuse City Hall on the City Hall Notice Board and at <http://www.syracuseut.com/>. A copy was also provided to the Standard-Examiner on December 6, 2012.

CASSIE Z. BROWN, CMC
SYRACUSE CITY RECORDER

**Members of the public who desire to offer a thought or invocation at Syracuse City Council Meetings shall contact the City Administrator at least two (2) weeks in advance of the meeting. Request will be honored on a first come, first serve basis. In the event there are no requests to offer a comment or prayer, the Mayor may seek opening comment or prayer from those members of the public attending the meeting or from City Staff or City Council.



COUNCIL AGENDA

December 11, 2012

Agenda Item #2

Presentation of the Syracuse City and Wendy's "Award for Excellence" to Elias Stuart and Taylor Rawlings.

Factual Summation

- Please see the attached memo from the Community and Economic Development Department. Any questions regarding this item can be directed at Mike Eggett, Community and Development Director.



Mayor
Jamie Nagle

City Council
Brian Duncan
Craig Johnson
Karianne Lisonbee
Douglas Peterson
Larry D. Shingleton

City Manager
Robert D. Rice

MEMORANDUM

To: Mayor and City Council

From: Community & Economic Development Department

Date: December 11, 2012

Subject: Presentation of the Syracuse City & Wendy's Award for Excellence Elias Stuart and Taylor Rawlings

Background

The City wishes to recognize citizens who strive for excellence in athletics, academics, arts and/or community service. To that end, in an effort to recognize students and individuals residing in the City, the Community and Economic Development, in conjunction with Jeff Gibson, present the recipients for the "Syracuse City & Wendy's Award for Excellence."

"Syracuse City & Wendy's Award for Excellence"

This monthly award recognizes the outstanding performance of a male and female who excel in athletics, academics, arts and/or community service. This month, both students were chosen from Buffalo Point Elementary School. The following are the individuals selected for the award and the reasoning for their selection:

Elias Stuart

"Elias is a natural leader. He has a unique ability for respecting others and being an advocate for those that need help. His teacher says that Elias is the kindest kid she has ever met. He defends others and sets a good example for all. Elias has also achieved great success at the Pinnacle Academy of Martial Arts where he studies Karate. Some skills that it would take others to master in years, Elias has mastered in a couple of months. Elias is a perfect example of our school motto: "Bringing Out the Best in Everyone!" He does this by giving his best effort, keeping a positive attitude and encouraging others. We nominate Elias Stuart for Syracuse City and Wendy's Award for Excellence Student of the Month."

Taylor Rawlings

“Reason for Selection: Taylor Rawlings wants to be a writer when she grows up. She works on her writing daily and tries to improve her vocabulary to make her stories interesting and descriptive. Her teacher says she is already an author and is working on her 25th book. She even illustrates her own stories. This year Taylor submitted a picture with a story for the PTA Reflections contest and won at our school. Her teacher describes Taylor as a marvelous student that is polite and possesses strong leadership skills. Taylor is a remarkable 3rd grade student at Buffalo Point Elementary and we proudly nominate her for the Syracuse City and Wendy’s Award for Excellence Student of the Month.”

Both students will:

- Receive a certificate and be recognized at a City Council meeting
- Have their picture put up in City Hall and the Community Center
- Have a write up in the City Newsletter, Facebook, Twitter, and website
- Be featured on the Wendy’s product TV
- Receive \$10 gift certificate to Wendy’s

Recommendation

The Community & Economic Development Department hereby recommends that the Mayor and City Council present the “Syracuse City & Wendy’s Award for Excellence” to Elias Stuart and Taylor Rawlings.



COUNCIL AGENDA

December 11, 2012

Agenda Item #3 Approval of Minutes.

Factual Summation

- Please see the attached draft minutes of the following meetings:
 - Work Session Meeting of November 13, 2012.
 - Regular Meeting of November 13, 2012.
 - Special Meeting of November 20, 2012.
- Any question regarding this agenda item may be directed at Cassie Brown, City Recorder.

Staff Recommendation

Approve the draft minutes of the November 13, 2012 work session meetings, the November 13, 2012 regular meeting, and the November 20, 2012 special meeting.

Minutes of the Syracuse City Council Regular Meeting, November 13, 2012.

Minutes of the Regular Meeting of the Syracuse City Council held on November 13, 2012, at 7:00 p.m., in the Council Chambers, 1979 West 1900 South, Syracuse City, Davis County, Utah.

Present: Councilmembers: Brian Duncan
Craig A. Johnson
Karianne Lisonbee
Douglas Peterson
Larry D. Shingleton

Mayor Jamie Nagle
City Manager Robert D. Rice
City Recorder Cassie Z. Brown

Department Heads Present:
Finance Director Steve Marshall
Police Chief Brian Wallace
Fire Chief Eric Froerer
Parks and Recreation Director Kresta Robinson
Community Development Director Mike Eggett
Public Works Director Robert Whiteley

Visitors Present:	Sophia Watters	Mazie Watters	Greg Frei
	Boy Scout Troop 439	Daniel Holman	Sean Dixon
	Jamie Dixon	Ryan Carter	Josh Steele
	Nicole Rowley	Ashton Durbin	Jared Neville
	Nick Pehrson	Elias Kinikini	JR Page
	Richard Paul Amos	Laurel Bailey	Aidan Bailey
	Aldan Bailey	Colleen Thurgood	Jean Reniker
	KaLonni Stone	Kim Robison	Julie Stone
	Sandra Kimber	James Kimber	Katie Stone
	Robert Stone	Terry Stone	Ann Stone
	Ashlie Albrecht	Chandler Kotter	Rhett Barton
	Terry Palmer	Ried Sweilem	Sheri Maddox
	Breanna Maddox	Joe Levi	Noah Hardy
	Ray Zaugg	Pat Zaugg	Troy Shingleton
	Gary Pratt	Nate Duncan	Jaycie Smith

1. Meeting Called to Order/Adopt Agenda

7:08:46 PM

Mayor Nagle called the meeting to order at 7:00 p.m. as a regularly scheduled meeting, with notice of time, place, and agenda provided 24 hours in advance to the newspaper and each Councilmember. She asked all visitors present if any wished to provide an invocation or thought; Councilmember Peterson provided an invocation. Boy Scout Mitchell Fry representing Troop 439 then led all present in the Pledge of Allegiance.

7:11:08 PM

COUNCILMEMBER SHINGLETON MADE A MOTION TO ADOPT THE AGENDA. COUNCILMEMBER PETERSON SECONDED THE MOTION; ALL VOTED IN FAVOR.

1 [7:11:11 PM](#)

2 2. Presentation of the Syracuse City and Wendy's "Award for Excellence"

3 to Clint Watts and Julie Stone.

4 [7:11:18 PM](#)

5 The City wishes to recognize citizens who strive for excellence in athletics, academics, arts and/or community
6 service. To that end, in an effort to recognize students and individuals residing in the City, the Community and Economic
7 Development, in conjunction with Jeff Gibson, present the recipients for the "Syracuse City & Wendy's Award for
8 Excellence". This monthly award recognizes the outstanding performance of a male and female who excel in athletics,
9 academics, arts, and/or community service. The monthly award recipients will each receive a certificate and be recognized at
10 a City Council meeting; have their photograph placed at City Hall and the Community Center; be written about in the City
11 Newsletter, City's Facebook and Twitter Feed, and City's website; be featured on the Wendy's product television; and
12 receive a \$10 gift certificate to Wendy's.

13 Mayor Nagle stated the nominees for this month's award are Julie Stone and Clint Watts and she asked them to both
14 stand and be recognized. She stated that Mr. Watts was recognized for showing excellent improvement during this school
15 year and for challenging himself by taking rigorous courses. She stated she applauds Mr. Watts on those efforts. She then
16 stated Ms. Stone was nominated for earning an excellent grade point average and she has shown great potential by setting
17 high goals for herself. Mayor Nagle then invited all those in attendance to give the two award recipients a round of applause.
18 She then presented the Mr. Watts and Ms. Stone with their awards. She then stated that there are amazing youth in this
19 community and she wants to commend them for their hard work; there are so many opportunities for youth to go astray and
20 these teens haven't done that. She stated it speaks to the community and its ability to take care of its kids.

21

22 [7:14:19 PM](#)

23 3. Approval of minutes.

24 [7:14:23 PM](#)

25 The minutes of the Work Session Meetings of January 10 and March 14, 2012, the Regular Meeting of October 9,
26 and the Special Meeting of October 23, 2012 were reviewed.

1 COUNCILMEMBER LISONBEE MADE A MOTION TO APPROVE THE MINUTES OF THE WORK
2 SESSION MEETINGS OF JANUARY 10 AND MARCH 14, 2012, THE REGULAR MEETING OF OCTOBER 9, 2012,
3 AND THE SPECIAL MEETING OF OCTOBER 23, 2012 AS AMENDED. COUNCILMEMBER SHINGLETON
4 SECONDED THE MOTION.

5 Councilmember Lisonbee stated that she wanted to amend the October 9 minutes, page three, line 20, by adding the
6 statement “of the Mayor” after “assumptions and accusations”.

7 Mayor Nagle stated there has been a motion and a second to adopt the minutes; she called for a vote. ALL VOTED
8 IN FAVOR.

9

10 [7:15:14 PM](#)

11 4. Public comment.

12 [7:15:29 PM](#)

13 Joe Levi stated that he wanted to note for the record that the City’s website says the next Council meeting is October
14 23, 2012 and it does not give proper notice of this meeting or any of the meetings held today. He then stated that he would
15 like to voice his thanks and appreciation to Police Chief Wallace; he has had several discussions with him and he has always
16 found him to be professional and polite and he is one of the best Police Officers he has had the opportunity to meet. He noted
17 his brother is a Police Officer and has been for over 10 years and he has a great respect for the men of service in blue. He
18 stated that leads him into what he really wants to talk about today; one question he has is who the Police Chief works for and
19 he answered that he works for the citizens as do all of the people that report to him. He asked who pays the paychecks for
20 everyone that works for the Police Department and stated the answer to that question is the citizens. He asked who the Police
21 Officers are supposed to protect and serve and he answered all of the citizens. He stated that they do not work for the City or
22 the City Council; rather they are supposed to serve the citizens and work for them. He stated working together with the
23 Police Department will enable a better and safer community as well as mutual respect for one another. He stated that
24 something that concerned him was that the Mayor recently asked when the Councilmembers had gone to the Police
25 Department and asked about what they wanted in a Police Chief. He stated that he would like to turn that question around;
26 when has the Mayor asked the citizens what they want in a Police Chief and when has the public been given a public hearing
27 to give them the opportunity to voice what they want in a new Police Chief. He stated there hasn’t been an opportunity for

1 public comment on the topic to his knowledge. He stated that his next question is who the City Council represents and the
2 answer is the citizens. He stated he has not had his chance to tell the Council what he would like to see in a new Police Chief
3 and he asked if the Council has gotten any input from any citizens about concerns they have about the potential replacement
4 for Police Chief; if the answer to that is no, how can the Council advise based on what their constituents have said about what
5 the new Police Chief would be.

6 [7:18:40 PM](#)

7 TJ Jensen stated that he wanted to comment about something that everyone takes for granted. He stated that over
8 the last several weeks there have been some tragic accidents in the City and both were very unfortunate; it is sad that the
9 events happened and sad that both situations got to the point they got to. He stated it is very easy for people to feel isolated
10 in this world and he wondered what the citizens, Council, and staff could do about that. He stated that sometimes just taking
11 the time to go and see how your neighbor is doing would show them there is someone else in the world that knows they are
12 there and is generally concerned about how they are doing. He stated that sometimes that outreach can make a world of
13 difference in situations where people are feeling trapped. He stated he would encourage everyone to check in on their
14 neighbors.

15 [7:20:12 PM](#)

16 Troy Shingleton stated that he would like to first address the Syracuse City utility bill. He stated he has talked to
17 some of the Councilmembers about this issue before; the City is trying to see through the construction of Chloe's Park and
18 one of the things he had mentioned is that the City place a spot on the utility bill to encourage citizens to participate in
19 helping to fund that park. He stated the same thing was done for the construction of the Museum; it was a community
20 oriented effort and he thought it went very well. He stated he thinks that would help move that project along. He then stated
21 he wanted to talk about the discussion of the Government Records Access and Management Act (GRAMA) and he is the
22 citizen that submitted a GRAMA request to the City. He stated that GRAMA request was initially denied, but later granted
23 though not granted according to how the GRAMA request was given. He stated that he was given three of the applications
24 and resumes he asked for and if this information is protected under GRAMA, then it would seem to him that those three
25 applications should not have been released to him. He stated that if some can be released then all should be released. He
26 stated that he does not think "we" should pick and choose which information or which applications can be released. He
27 stated that often the battle is that someone may not have a lot of interest in the Police Department or questions are asked

1 about the interested party's expertise and he wanted to offer an analogy to answer those questions. He stated the ultimate
2 officer in Davis County if the Sheriff and even the Police Chief has some responsibility to the Sheriff, but the citizens vote
3 for the Sheriff rather than him being selected by a committee and appointed. He stated that in the end that person is selected
4 via a vote. He stated the expertise of the Councilmembers really does not matter because their vote counts and so does the
5 vote of the citizen. He stated that he requested the applications so that he could view them and give advice; similar things
6 have been done in other cities and he explained that in Orem City there was a similar situation that went to the Fourth District
7 Court for a decision, but the case is different because the City Council did have access to the resumes but they did not allow
8 the public to have access. He stated that a judge carried out his decision. Mayor Nagle informed Mr. Shingleton that his
9 three minutes had expired.

10
11 [7:23:48 PM](#)

12 5. Proposed Resolution R12-26 appointing a Police Chief for Syracuse City.

13 [7:23:55 PM](#)

14 COUNCILMEMBER PETERSON MADE A MOTION TO ADOPT PROPOSED RESOLUTION R12-26
15 APPOINTING GARRET ATKIN AS POLICE CHIEF FOR SYRACUSE CITY. COUNCILMEMBER JOHNSON
16 SECONDED THE MOTION.

17 [7:24:11 PM](#)

18 Councilmember Peterson stated that he thinks it is very important that the Council separate two things when
19 considering this item. He stated that the issue of viewing resumes and the denied GRAMA request along with people not
20 trusting each other is a totally separate issue that the Council needs to work out and it should not be considered when
21 appointing a Police Chief today. He stated that he sat in on the interviews for the position as did Councilmember Johnson
22 and they saw all the resumes. He stated many of the members of the panel were very impressed by several candidates,
23 especially the last three that were interviewed, but in the end all members of the panel put their support behind Mayor Nagle
24 in her selection of Garret Atkin. She stated that discussion regarding the issue can take place, but he cautioned the Council to
25 be very careful and keep in mind that there are two different issues to consider. He stated he feels the Council needs to
26 appoint a Police Chief tonight.

27 [7:25:09 PM](#)

1 Councilmember Lisonbee stated that she agrees that there are two separate issues and she said during the work
2 session meeting that this is not about Mr. Atkin; it is about transparency and the Councilmembers that were not privy to the
3 interviews being able to fulfill their statutory duties. She stated that the Council was also not privy to the resumes – at least
4 all of them as she did have time to peruse some of them, but not all and Councilmember Duncan has not had the opportunity
5 to review any of them. She stated that while she agrees that there are two separate issues, the issue before the Council is
6 whether there are Councilmembers that are able and prepared to properly give advice and consent. She stated that
7 unfortunately because of the Mayor being unavailable for a meeting for three weeks and because of the fact that the Council
8 has been denied access to the resumes for that same amount of time after she repeatedly emailed the Mayor and warned her
9 that she would not be prepared to vote if she could not give her full consent. She stated that she did not want to do a
10 disservice to Mr. Atkin of voting no or yes to appoint him because that would be a disservice to him, the citizens, and the
11 Governing Body to vote having no idea what she is voting for, other than for him. She stated that she feels that Mr. Atkin’s
12 resume and application look great and that is a wonderful thing, but she does not have anything to compare it to and she
13 needs to be able to make superlative judgment to say that she believes Mr. Atkin is the best candidate. She stated that right
14 now she cannot do that because she has not been privy to all the information.

15 [7:27:02 PM](#)

16 Councilmember Duncan stated that he also has some concerns. He stated that he wants to first follow-up on
17 comments he made during the work session; there was a discussion about trust in the last meeting and his question is as
18 follows: the Council was denied access to the resumes because of distrust and he wondered if that is the same reason that the
19 resident was denied access to the same documents. He stated that he has a problem with that whole idea. He stated that he
20 wants to go back to comments that were made by Troy Shingleton during public comments regarding a court decision in
21 Orem where the City was ordered to release resumes to the citizens that had originally been denied access. He stated the
22 decision declared that the citizens have a right to know who is going to be working in their city as department heads and it is
23 the citizens’ responsibility and right to vet the candidates and the city must turn the documents over to them. He reviewed
24 other decisions that relate to the issue; first was a decision from the Utah Supreme Court where the Court stated that it is the
25 policy of the State that public records be kept open for inspection to prevent secrecy in public affairs. He noted the Supreme
26 Court also said the presumption has always been in favor of public access subject only to specific statutory restrictions,
27 personal privacy rights, and countervailing public policy; and agency that withholds information bears the burden to justify

1 its action. He stated the Supreme Court also said, in 2008, that courts reviewing GRAMA request should apply the
2 legislature's clear and preeminent intent to favor public disclosure when countervailing interests are of equal weight. He
3 stated that his point is that it is has been unrefuted tonight that according to Section 308 of the GRAMA law the resumes
4 should be released if private information is redacted from them and they can be given to, not just to the City Council, but to
5 the general public. He stated that he does not see why the information should not be given to the general public without a
6 GRAMA request being made. He stated that he agrees with the comments that this is not the Mayor's or Council's Police
7 Chief and instead it is the citizens Police Chief. He stated this is not about a man that has a political agenda; rather, this is
8 about a man that the community can come around; it is about a many that is a public servant and has no real role in the
9 politics of the City, but has a real role in being a man of the citizens. He stated this is the citizens Police Chief and he finds it
10 appalling that the reason the Council has not received the resumes is that there is mistrust in the City. He addressed the
11 Mayor and stated that if she does not trust the Council, that is fine and she can deny them access to the resumes, which will
12 result in a battle with the review board. He stated that he wanted to know why the Mayor did not trust the citizen that
13 requested the information. He asked if the Mayor distrust the citizens. He stated it is very clear to him according to the law,
14 and it has been unrefuted, that if the information has been redacted there is nothing in GRAMA prohibiting the disclosure of
15 the documents.

16 [7:30:39 PM](#)

17 City Attorney Carlson stated that using the term "unrefuted" is inaccurate. He stated that he means no disrespect,
18 but to say that it is unrefuted would not been an accurate statement. Councilmember Duncan asked where his opinion has
19 been refuted. Mr. Carlson stated that he sent an opinion to the Council two weeks ago where he referred to GRAMA Section
20 302, subsection 2, which says "the following records are private if properly classified by a government entity. . .records
21 concerning a current or former employee of, or applicant for employment with a governmental entity.". Councilmember
22 Duncan stated that Section 308 says that if the private information is redacted, the government entity shall release the public
23 information. He stated that he wondered what it is about Section 302 that prohibits the release of the information, especially
24 in light of the fact that several court decisions have said that redaction is the appropriate way to make sure that private
25 information is not disclosed. Mr. Carlson stated that if all the information concerning a current or former employee or an
26 applicant for employment with the government entity from the record then the sheet of paper would be blank.
27 Councilmember Duncan disagreed and stated that the Supreme Court said the preeminent role is for disclosure and the courts

1 have been very clear that everything should be done in order to interpret the law for full disclosure and to say that the whole
2 record would be redacted is inaccurate; if the private information is redacted from the record it would no longer be a resume
3 and therefore it is no longer a private record. Mr. Carlson stated that he believed he and Councilmember Duncan were
4 talking about two different subsections of the law. He stated that subsection 1F talks about specific identifiable information
5 and he agrees with Councilmember Duncan's interpretation of that section, but subsection 2 talks about the application itself
6 and there is an exemption for current and former employees, which is specifically why he advised the Mayor to release any
7 applications made by current or former employees with specific information redacted. City Recorder Brown stated that is the
8 same reason that she released the same information to the resident that filed the GRAMA request. She stated that the Mayor
9 did not have anything to do with denying the request. She noted she is the records officer for the City and she denied the
10 request on her own based on the reading of the law that says that application and resumes are private, noting the exception for
11 current and former employees. She stated the secondary classification for applications and resumes for current and former
12 employees is public after certain private information has been redacted. She stated that she is not the only City Recorder that
13 feels this way; there are several city recorders across the state that agreed with her interpretation of the GRAMA law. She
14 stated that this is not the first time that she ever dealt with a GRAMA issue. She added that she would have appreciated the
15 opportunity to talk to Troy Shingleton and she tried to contact him via phone and he said he would call her back and he never
16 did. She stated that she would have liked to talk to him about the denial and also the reasons why she released the three
17 records that she ultimately released. She stated that she would like for the Council to understand that there is a clear
18 distinction in the law between the two record types and she reiterated that this is not the only GRAMA issue that she has
19 every dealt with in her career as a City Recorder. Councilmember Duncan stated that he does not know that the appeal
20 process for the resident has gotten to the Mayor yet, but he does know that Councilmember Lisonbee appealed to the Mayor
21 and her appeal had been denied and he wanted that to be clear. Mayor Nagle stated she did not deny the appeal.
22 Councilmember Lisonbee stated that the law says that if the appeal is not responded to within five days the appeal is
23 essentially denied. Mayor Nagle stated today was the fifth day and she did not deny the appeal and she asked for the records
24 to be released. Councilmember Lisonbee stated that according to the GRAMA law, when an appeal is made to the Chief
25 Administrative Officer and it is not replied to after five business days it is considered a denial and she did not receive
26 anything from the Mayor. Mayor Nagle stated today is the fifth business day because yesterday was a holiday.
27 Councilmember Lisonbee agreed and stated that she did not receive anything from the Mayor. Mayor Nagle stated that she
28 received the resumes and she was reviewing them at 2:00 p.m. today. Councilmember Lisonbee stated the fifth business day

1 would have expired at 9:00 a.m. today. Mayor Nagle stated the business day is all day long and today is the fifth business
2 day. Councilmember Lisonbee stated she did not have time to review all of the resumes. Mayor Nagle stated told
3 Councilmember Lisonbee not to be inaccurate; she did not deny the request and instead it was granted and it was granted
4 within the time period for the appeal. Councilmember Lisonbee stated that she was informed that yesterday was the fifth
5 business day. Mayor Nagle stated yesterday was a holiday. Councilmember Lisonbee stated it was a federal holiday. Mayor
6 Nagle clarified that it was a state holiday as well.

7 [7:35:48 PM](#)

8 Councilmember Duncan stated the question he has is that if the City has determined that the denial of the records
9 were a violation of GRAMA because the Council is a separate entity from the Mayor, what authority under GRAMA does
10 the Mayor now have to release them today, especially since the private information was not redacted from the records. He
11 asked why the Council has been told for three weeks that they were denied access to the records according to GRAMA, but
12 the Mayor ultimately granted access to the records. Mayor Nagle stated that if the appeal would have been denied
13 Councilmember Duncan would have been satisfied by that, but now that the appeal has been granted he wants to know why
14 she granted it. She stated that the appeal process is in place for a reason; if issues were always rubber stamped there would
15 be no reason for an appeal process. Councilmember Duncan stated his point is that the Council has been told that they could
16 not have access to the records, but now they have been given access and his question is what has changed. He asked if the
17 City's legal opinion has changed or has the Mayor made a decision contrary to the legal opinion and released the records.
18 Mayor Nagle stated that Councilmember Duncan was told why she made the decision during the work session held prior to
19 this meeting. Mr. Carlson added that first of all he never prohibited the Mayor from releasing the records. He added that
20 when the appeal was filed on November 5 he sent an email to the Mayor and Councilmember Lisonbee explaining the appeal
21 process and he outlined the weighing that the Mayor needed to make when making her decision by comparing the relative
22 interests. He noted that he told the Mayor that, according to GRAMA, she needed to make her decision within five business
23 days. He stated today is the fifth business day and if the Mayor had remained silent that would have constituted a denial, but
24 that is not what happened and the Mayor elected to release the records. He stated the appellate balancing test is something
25 she considered in making that decision and there were other interests she also considered when making her original decision
26 to not release the documents.

27 [7:38:22 PM](#)

1 Councilmember Lisonbee stated that she wanted to point out that she asked Human Resources Specialist Monica
2 Whitaker to email the records to her because it was inconvenient for her to come in and spend hours in her office. She noted
3 that Ms. Whitaker claimed that it would not take her hours to go through the documents, but it did take her a very long time.
4 She stated that in her original request she asked that the records be emailed to her and she still wants them emailed to her.
5 Mr. Carlson stated that is something that can be addressed. He stated that once the decision was made to grant her access. .
6 .Councilmember Lisonbee interjected that the GRAMA law says that if she can view them, she can have them. Mr. Carlson
7 stated that Councilmember Lisonbee just cut him off to say what he was about to say. Councilmember Lisonbee apologized
8 for interrupting and reiterated that she would like the documents emailed to her. She stated that she also went to the trouble
9 of contacting the County Attorney and asking him about this issue and it was his legal opinion of him and the attorneys under
10 him that the City Council constitutes the same Governing Body as the Mayor. Mr. Carlson stated that they are part of the
11 same government entity and he noted that in the legal opinion that he sent to the Council two weeks ago. Councilmember
12 Lisonbee agreed.

13 [7:40:01 PM](#)

14 Councilmember Peterson stated he wanted to try to appeal to the common sense of the Council one last time. He
15 stated that the Council can argue the law, but they are never going to get anywhere. He stated there is a resolution before
16 them tonight to appoint a Police Chief and that is a yes or no decision and the rest of the issues can be ironed out later. He
17 stated that right now the Council is embarrassing itself by having this discussion when the actual agenda item is to appoint a
18 Police Chief. Councilmember Duncan stated that there is a citizen with a pending GRAMA request; that citizen has been
19 denied access to the records he is seeking and he asked Councilmember Peterson if the Council is embarrassing itself by not
20 moving forward and appointing a Police Chief or if it is embarrassing itself by saying there is something more important to
21 do in appointing a Police Chief while ignoring what the citizens want. He stated that at some point in time the Council needs
22 to recognize the citizens appeal rights. He added the citizen may have had an opportunity to give input if his request had not
23 been denied and he asked who should be embarrassed and who did the wrong thing at this point in time. Councilmember
24 Peterson stated it is still two different issues and, the following comments he has to make will not be popular, but the citizens
25 had input when they elected the Council to make decisions. He stated the Council has the job to make a decision about this
26 issue. Councilmember Duncan stated part of the problem is that he has not had a chance to review the resumes and if this is
27 just an issue about the City Council making the decision, he has a problem with voting tonight because he has not had a

1 chance to review enough information. Councilmember Peterson stated the Council has the opportunity to bridge the trust
2 gap. He stated there were five very intelligent people on the hiring panel that interviewed the applicants.

3 [7:41:45 PM](#)

4 COUNCILMEMBER LISONBEE MADE A MOTION TO TABLE PROPOSED RESOLUTION R12-26
5 APPOINTING A POLICE CHIEF FOR SYRACUSE CITY IN THE INTEREST OF BEING TRANSPARENT BEFORE
6 THE CITIZENS AND DOING THE COUNCIL'S STATUTORY DUTY, WHICH SHE BELIEVES IS ONLY POSSIBLE
7 WITH A FULLY INFORMED COUNCIL WHO ARE REPRESENTATIVES OF THE PEOPLE. COUNCILMEMBER
8 DUNCAN SECONDED THE MOTION.

9 [7:42:07 PM](#)

10 Councilmember Peterson encouraged Councilmember Lisonbee to address the questions they would like answered
11 to himself and Councilmember Johnson. He stated they sat in on 10 interviews. Councilmember Lisonbee stated that the
12 point is that she cannot ask questions until she has all the information in front of her.

13 [7:42:23 PM](#)

14 Councilmember Johnson stated that his take on this issue is that he thinks the City has selected a good candidate that
15 will either be appointed today or another time and he thinks the process was a good process. He added, however, that out of
16 respect and fairness to his colleagues he feels that the rest of the Council and the citizens need to have ample time to perform
17 their review of the information. He stated he had ample time to review the information and Councilmember Peterson likely
18 feels the same, but he does not know if the other three Councilmembers feel that they had ample time to review the resumes.
19 He stated they were only released today and that is not a lot of time for the Council to review and digest the information. He
20 stated that in his opinion, the candidate is good and the Council can move forward with appointing them, but he reiterated
21 that it would be fair to allow the Council and the citizens time to vet the candidate properly; they need to feel that they have
22 done their job and if that means tabling the issue that is what should be done. He stated if the rest of the Council does not
23 have the information on which to base their decision, that is not fair. He stated it is also not fair to the citizens for the
24 Council to make a decision without allowing them access to the full information. He stated that he feels that the resumes
25 should have been released a long time ago and the issue would not have come to this point. He stated he believes that the
26 same candidate would have been chosen even if the resumes had been released because he feels the process vetted out the
27 right person. He stated there will be no problems created for the City if a Police Chief is not appointed tonight; the City will

1 be fine no matter what decision is made. Councilmember Peterson agreed that tonight's decision will not impact the safety
2 of the City, but the Council is going to look as ridiculous as it did last year when they tried to appoint a Fire Chief. He stated
3 that Mr. Atkin is here tonight with his wife and he wants to work for the City. He stated he would not blame Mr. Atkin if he
4 leaves tonight after hearing this discussion and decides he no longer wants to work for the City.

5 [7:46:14 PM](#)

6 Fire Chief Froerer stated that he is saddened and disappointed by what he is seeing and hearing tonight. He stated
7 that he wanted to remind the Council of an evening in January and the Council is going down the same road as they did back
8 then. He stated he is sorry there is so much animosity and distrust and contention over the GRAMA issue, but that is a
9 separate issue. He stated that he is sorry that Councilmembers Duncan, Lisonbee, and Shingleton have so little faith in
10 Councilmembers Johnson and Peterson who sat on the interview panel along with several others that chose a very good
11 candidates; he is sorry that they cannot support the decision the panel made. He stated Councilmembers Johnson and
12 Peterson are a part of the same body as the other three. He stated that he is the Fire Chief; a common man with common
13 sense and he believes that all five Councilmembers could have participated on the hiring panel if they wanted to, but,
14 nevertheless, the two Councilmembers were there and he feels that the rest of the Council should support their decision that
15 was made with collaboration from two other Police Chiefs, the Mayor, and the City Manager. He stated that it would be nice
16 to have a good news story in the newspaper about Syracuse City for once rather than constant negativity. He stated that if the
17 Council does not like the way he is serving as the Fire Chief, they have the power to recommend to the City Manager that he
18 be dismissed. He encouraged the Council to give Mr. Atkin a chance as he is the person that was chosen by the panel as the
19 top candidate for the Police Chief position. He stated that the Council has said that it does not matter if he is appointed
20 tonight, but Chief Wallace is retiring at the end of the year and it would be good for him to have a chance to provide
21 information to Mr. Atkin. He stated it would have been good for him to have the luxury of having time to work with the
22 previous Fire Chief, but he did not get that chance as the previous Chief had resigned before he was appointed. He reminded
23 the Council that the Assistant Fire Chief got so upset about the process that he resigned the night that Chief Froerer was
24 supposed to be appointed. He stated that in an effort to provide some continuity in the office of Police Chief he thinks it
25 would be great if Chief Wallace and Chief Atkin could work together for a month instead of waiting for the Council to look
26 at the rest of the resumes. He encouraged the Council to move forward tonight and if they do not like what he is doing in a
27 month, six months, or a year the Council has the power to recommend to the City Manager that he be removed. He

1 recommended that they give the process a chance and move forward. He stated that putting this decision off is the wrong
2 thing to do.

3 [7:49:55 PM](#)

4 Councilmember Lisonbee stated this is a totally different situation than the situation that happened in February. She
5 stated that in February she was misinformed by other officials in Davis County and because of that she asked some questions
6 during the Council meeting and she asked to table Chief Froerer's appointment. She stated that the next day she tried to
7 schedule a special meeting that was blocked by the Mayor; she wanted to appoint him the very next day. She stated that
8 today this is about the sunshine laws that have been passed in the State of Utah. She stated that two years ago when House
9 Bill (HB) 477 came about and the GRAMA law was under question and the whole state was up in arms, she watched the
10 Mayor post on Facebook to Hollie Richardson, the sponsor of the bill, and to other people about the important of having
11 transparency and having government records available not only to government officials, but also to the citizens. She stated it
12 is important and it is not two different issues in the sense that those records should have been made available three weeks
13 ago. She stated this is not an emergency or a circus or a freak-show of the Council's making; this has been a labor of
14 statutory duty of the Council and it is their duty to advise and consent. She stated that if the Council is being asked to trust
15 two Councilmembers then the citizens should have just elected two people to the City Council, but the citizens elected five
16 people with five independent and informed voices. Chief Froerer stated the perception is that the Council is a body of five
17 and they cannot all participate in every function of the City. He stated the perception is that this about two separate issues to
18 the common folks. He stated that the records issue is separate from the process that took place to appoint a new Police Chief.
19 He stated that perception is often reality. He stated Councilmember Lisonbee can say that she wants to table tonight's
20 appointment for a different reason, but the perception is that the same thing is going on that happened back in January when
21 he went through this process. He stated that he does not understand it, but the right thing is to move forward.

22 Councilmember Lisonbee stated that she appreciates Chief Froerer's thoughts, but she has heard from a lot of residents that
23 want the Council to be informed on this matter and they want this to be an open and transparent process. She stated that she
24 is not informed and she does not feel ready to vote yes or no. She stated she could not refuse the appointment of Mr. Atkin
25 because she is not informed enough; she would like to do him the service of giving him her full approbation as her statutory
26 duty as a Councilmember.

27 [7:53:28 PM](#)

1 Councilmember Peterson reiterated that he is asking the Council to become informed by asking him and
2 Councilmember Johnson the questions they want answers to. He stated that he cannot participate in all of the other
3 Councilmembers appointments and they cannot participate in his, so that is why everyone gives reports about the other
4 assignments they participate in. Councilmember Lisonbee stated this is entirely different. She stated that City Code says that
5 she has a statutory duty to provide advice and consent. She stated she can provide consent tonight, but she cannot provide
6 advice unless she is fully informed and that is why the resumes should have been released three weeks ago when she
7 requested them on October 24. She stated that as a City Councilmember she should have been given the respect of being
8 given the information to do her duty before the citizens and she was not given that respect. Councilmember Peterson stated
9 that Councilmember Lisonbee is defining being fully informed as having seen all the resumes, but he is telling her that he and
10 Councilmember Johnson are prepared to fully inform her. Councilmember Lisonbee stated that they should have been the
11 only two Councilmembers.

12 [7:54:31 PM](#)

13 Mayor Nagle stated that she wanted to point out that a resume gets someone the interview, but the interview gets
14 someone the job. She stated that anyone that has sat on an interview panel knows that they can look at the very finest
15 resume, but that person can be the worst candidate ever. She stated that the Council can look at resumes all day long, but that
16 is not going to tell them who is the right person for the job. She stated that is why she used a process whereby there was
17 adequate representation from professionals in the field of study, representation from the Council, as well as representation
18 from the City. She reiterated the resume gets someone an interview, and an interview gets them the job. She stated she also
19 wants to respond to Councilmember Lisonbee's comments about HB 477; she was absolutely against the HB and she visited
20 the Capitol for the first time in her life and participated in a demonstration against it. She stated Hollie Richardson was not
21 the sponsor of the bill; rather it was sponsored by John Dougal. Councilmember Lisonbee disagreed. Mayor Nagle stated
22 that she said to Ms. Richardson that GRAMA laws are in place and they are sufficient and they should not be changed. She
23 stated she is fully supportive of GRAMA and she thinks there are protections in place to protect what needs to be protected
24 and there are safeguards in place to allow the release of things that should be released in the interest of transparency. She
25 stated that since she has been in office the City has come from the very lowest in transparency to the highest ranked City in
26 transparency; she has committed to and has been dedicated to being transparent in every process to her peril. She stated that
27 she will not have the conversations behind the scenes like many choose to have; instead she has them right out in the open

1 and she has been criticized for it. She stated that this process is transparent and robust and it has integrity and “we” are
2 making a joke out of the process and system.

3 [7:56:44 PM](#)

4 Mayor Nagle stated that Police Chief Wallace has requested an opportunity to speak. Councilmember Duncan
5 stated that he wanted to make a few comments in response to Chief Froerer before Chief Wallace addresses the Council. He
6 stated that he respects and liked Chief Froerer and he respects that they have a difference of opinion regarding this issue. He
7 then stated that if this is a crisis tonight and if this is a problem, why was the Mayor unavailable for three weeks to schedule a
8 special meeting. He then asked why did this process not begin earlier if this is such a crisis. He stated that he was available
9 to meet. Mayor Nagle stated that no one is calling this is a crisis. Councilmember Duncan stated that apparently the Council
10 needs to act tonight or they will be the laughing stock or there will be no ability to provide a smooth transition. Mayor Nagle
11 stated that is not a crisis and Councilmember Duncan is blowing it out of proportion. She stated that Chief Froerer was
12 simply giving advice and asking the Council to listen to it; he is not saying this is a crisis but he is trying to invoke reason.
13 Councilmember Duncan stated that means if the Council tables the issue tonight there will be no crisis. Mayor Nagle stated
14 that Councilmember Duncan is trying to twist Chief Froerer’s words. Councilmember Duncan then stated that he disagrees
15 with the idea of hiring Mr. Atkin tonight with the thought that if the Council does not like him in six months he can be
16 dismissed. He stated that is a totally unfair thing to say to a man that already has a prominent position in the Police
17 Department he works for now. He stated that when the Council says yes to hiring him they must be able to make a
18 commitment based on vetting the process. He stated that saying that he could be dismissed in six months is not a very
19 comforting proposition to make; rather he would like to be confident in the decision made and that decision will not need to
20 be reviewed in six months.

21 [7:58:59 PM](#)

22 Chief Wallace stated that Chief Froerer’s comments were for hypothetical purposes and the situation of dismissing
23 someone after six months is not very realistic. He stated that he has been around for a long time and he has seen many City
24 Councilmembers take office and may Department Heads appointed throughout the years. He stated the thing that is
25 interesting is that in all that time the process has been the same in hiring a Finance Director, Public Works Director, and a
26 Fire Chief. He asked why this situation is any different from the Department Heads that have been appointed in the past. He
27 stated this has become a battle between the Mayor and the people sitting to her left (Councilmembers Duncan, Lisonbee, and

1 Shingleton); it really has nothing to do with the process of hiring a Police Chief. He stated that some of the most respected
2 Police Chiefs in the State of Utah, Chief Keefe from Layton and Chief Ross from Bountiful, were asked to participate in the
3 hiring process. He noted they reviewed the resumes and narrowed down the list of candidates for various reasons. He stated
4 two of the candidates were from out of state and chose to decline to participate in the interview process. He stated the
5 applications that the panel did not see were simply people that did not meet the minimum qualifications of the position
6 posting. He stated that if the Council cannot trust their fellow Councilmembers or the Police Chiefs that are experts in their
7 field and actually know some of the applicants. . . looking at the resumes are not going to tell the Council any problems that
8 some of the applicants may have had in their past that the experts may actually be aware of. He stated that the panel chose
9 the best people to interview; those decisions were not made by the Mayor or by Mr. Rice or any one person; rather the
10 recommendation came from three Police Chiefs with assistance from Ms. Whitaker. He stated those that made it through that
11 screening process were made available to the City Councilmembers participating in the interview portion of the process; the
12 best person was chose through that process, but now because of the conflict between the Mayor and three Councilmembers
13 this issue will be drug out and he believes that the Council will ultimately arrive at the same decision though that may not be
14 until a month into the future. He stated it is true that this is not a crisis, but this problem is something that could be avoided if
15 the Council would simply trust those that participated in the screening and interview process. He reiterated it is the same
16 process that got the City a Public Works Director and a Finance Director, but those processes were never questioned.
17 Councilmember Lisonbee stated that the current Council was not seated when those appointments were made. Mayor Nagle
18 stated Councilmember Lisonbee attending the meetings as a resident where those appointments took place and she never
19 asked for the applicant's resumes. Chief Wallace stated that Councilmember Shingleton was in office when other
20 Department Heads were appointed and the same process was used; Councilmember Lisonbee may be new to the Council, but
21 for 20 years the same appointment process has been used.

22 [8:04:48 PM](#)

23 Councilmember Duncan offered a hypothetical example: what if a citizen gets a copy of the resume of one of the
24 candidates that did not receive an interview so they call the City and ask why that candidate did not receive an interview even
25 though he may have 25-years of experience. He stated the City may answer that the person did not receive an interview
26 because he was fired as Police Chief before and they did not want that questionable issue in the process. He stated that his
27 response (as the citizen) would be 'thanks, that helps me understand the process'. He asked what is so difficult about that.

1 He asked why the Council or a citizen does not deserve those types of explanations. Chief Wallace asked if someone called
2 Councilmember Duncan and asked why they did not get an interview. Councilmember Duncan said no, he was simply using
3 that as a hypothetical situation. He stated that he is not saying that he cannot trust the people that were part of the panel, but
4 Ronald Reagan always said “trust but verify”. He stated that “we” can talk about trust, but in government there is a real
5 concept. . .one of the things that frustrates the citizens more than anything else on the federal level is that the appointment
6 process is nothing more than a rubber stamp. He stated that the candidate could be the worst in the world. Chief Wallace
7 stated that is the federal government and this is local government and people right on the ground looked at every one of the
8 applications and made certain verifications and if the Council cannot trust those that they work with, who can you trust. He
9 stated the citizens ought to be able to trust three Police Chiefs, two Councilmembers, the Mayor, and the HR Director.

10 [8:06:53 PM](#)

11 Councilmember Lisonbee stated that she was not elected to trust Councilmembers Johnson and Peterson; the citizens
12 did not go to the voting box to vote for her because she trusts them. She stated that the citizens voted for her because they
13 wanted her to be an independent voice along with the other Councilmembers. She stated there were six people elected to the
14 Governing Body; six people should have the information to make an informed decision. She stated she agrees that one
15 cannot get everything from looking at a resume, but there is a reason people submit resumes and that is because it gives the
16 entity an idea of their qualifications. She stated the idea that she should trust the other two Councilmembers and move
17 forward goes against all she has said before about all of the citizens that have come to her and asked her. . .

18 [8:07:43 PM](#)

19 Chief Wallace asked Councilmember Lisonbee if she trusts Councilmember Peterson when he talks about what is
20 happening at the North Davis Sewer District (NDSD) or Councilmember Shingleton when he talks about his assignments.
21 Councilmember Lisonbee stated that is different because Title Two of the City Code does not regulate the appointment to the
22 NDSD, but it does say that every member of the City Council should have available to them all records of the City in any
23 Department, unless otherwise prescribed by law. She added that it also says that the Mayor makes appointments with the
24 advice and consent of the Council. She stated that the word advice means something and she cannot give advice. Chief
25 Wallace asked why Councilmembers Duncan, Lisonbee, and Shingleton did not take any time to come to the Police
26 Department and ask questions. He asked why they did not talk to him. Councilmember Lisonbee asked what they should
27 have talked to him about. Chief Wallace answered about hiring a new Police Chief and concerns about the resumes.

1 Councilmember Lisonbee asked if Chief Wallace would have given her the resumes. Chief Wallace stated he would have
2 answered any questions they had about the resumes. Councilmember Peterson stated that he and Councilmember Johnson
3 are willing to do the same.

4 [8:08:58 PM](#)

5 Councilmember Johnson asked if it would help if the Council took a recess to allow the other three Councilmembers
6 time to continue to review the resumes. He stated he is prepared to stay all night if necessary. Councilmember Lisonbee
7 stated she thinks that is a great idea. Mayor Nagle stated she is fine with doing that, but she wants to point something out;
8 there was a situation not too long ago where a City employee was dismissed and two members of the Council were vocal in
9 admonishing City staff for the poor treatment of this employee. She stated she asked for those Councilmembers to talk with
10 City staff to become educated on the situation because citizens were expressing their concerns. She stated even after a
11 comment was made to one of the Councilmembers about what happened in another city relative to the granting of
12 unemployment compared to the denial of employment for the dismissed Syracuse employee, there has still never even been a
13 question as to what happened or why the dismissal occurred. She stated if there are citizens asking the Council those types of
14 questions and the Council is upset with the staff, why did they not follow up on that issue. Councilmember Lisonbee stated
15 that she did follow up on that issue. Mayor Nagle asked Councilmember Lisonbee if she talked to Mr. Rice about it.
16 Councilmember Lisonbee answered no. Mr. Rice stated that Councilmember Lisonbee never asked him about why the
17 employee resigned. Councilmember Lisonbee reiterated that she did not talk to Mr. Rice, but she did follow up on the issue.
18 Mayor Nagle stated that she did not talk to the Department Director that the employee reported to. Councilmember Lisonbee
19 reiterated that she did follow up on it. Mayor Nagle asked Councilmember Lisonbee how she followed up if she did not talk
20 to any of the managers involved. Councilmember Lisonbee stated that she did. Councilmember Duncan asked if
21 Councilmember Lisonbee not following up on the other issue means that she is not entitled to the Police Chief resumes. He
22 stated he does not understand the connection between the two issues. Mayor Nagle stated that her point is that the Council
23 picks and chooses. Councilmember Duncan stated that if Councilmember Lisonbee does not do everything the way the
24 Mayor thinks she should do it, then she ought not be able to be involved in anything. He stated that if Councilmember
25 Lisonbee thinks the process of hiring a Police Chief is important enough to get involved in, “we” should not say that she did
26 not get involved in another process so she should not be allowed to get involved in this one. He stated it is a fallacy to
27 suggest that Councilmember Lisonbee not following up on the other issue negates her interest in the hiring of a Police Chief.

1 Mayor Nagle stated she is trying to draw a parallel; Councilmember Lisonbee has said the citizens are concerned and she has
2 an obligation to respond to them accordingly. She stated Councilmember Lisonbee has a history of not doing that and she
3 reiterated that citizens came to her with a complaint, which they should do when they have a concern, and Councilmembers
4 should find out what actually happened and report back to them. Councilmember Lisonbee agreed and stated that she tried
5 for three weeks to get information. Chief Wallace stated that she never called him. Councilmember Lisonbee stated that
6 Chief Wallace is not the line of command for her to get information according to Title Two. She stated she appreciates that
7 he is willing to answer questions, but she asked for three weeks for the documents that she felt would make her an informed
8 participant in the process. She stated that after being denied access several times she asked to meet with the Mayor and the
9 Council; she called a meeting and she received a response from the Mayor telling her that her first availability to meet was
10 November 13. She stated that on the day that she asked if the Mayor could meet earlier the Mayor was in town and attending
11 another meeting, but she could not make herself available for a meeting with the Council for two and a half weeks. She
12 stated that now the Council is here tonight and is being told that they should just trust all the people that were on the panel
13 and that they should have just asked questions of them. Chief Wallace asked what is wrong with that. Councilmember
14 Lisonbee stated that is not the way to gather primary information. Chief Wallace stated that Councilmember Lisonbee is
15 getting government so bogged down that nothing can be done in the City without getting all five Councilmembers to read
16 everything. Councilmember Lisonbee reiterated that she asked for the information for three weeks.

17 [8:13:16 PM](#)

18 Councilmember Peterson stated that he wanted the Council to either vote or take Councilmember Johnson's
19 suggestion to take a recess.

20 [8:13:19 PM](#)

21 Councilmember Lisonbee called to question.

22 [8:13:23 PM](#)

23 COUNCILMEMBER JOHNSON MADE A MOTION TO RECESS TO ALLOW THE COUNCIL TIME TO
24 REVIEW RESUMES FOR THE POSITION OF POLICE CHIEF, IF THEY WOULD LIKE TO DO THAT.

25 Councilmember Lisonbee stated that still leaves the citizens out. Mr. Carlson stated that he wants to be clear about
26 the issue regarding the GRAMA request made by the citizen; the Council may elect to wait until the appellate process for the
27 citizens denied GRAMA request is exhausted, but the Orem case that Councilmember Duncan referenced took well over a

1 year before the trial court issued a decision. He stated that if the Council wants to follow that same route it is feasible that
2 same time line could apply. Councilmember Lisonbee stated the process to appeal a GRAMA issue is different than the
3 appellate process Mr. Carlson is referencing. Councilmember Peterson stated the Council can see the resumes and report to
4 their constituents on what they have seen. Councilmember Lisonbee stated that is correct, but she got about half way through
5 the resumes this afternoon and it took her an hour and twenty minutes. Councilmember Johnson stated that is fine and he has
6 time to wait.

7 [8:14:19 PM](#)

8 Councilmember Shingleton stated that “we” are forgetting the principle that is being discussed and people keep
9 saying there are two different issues, but that is really not true. He stated that information was requested and access was
10 denied and it boils down to the right of the Council to look at what they want to look at, and the citizens to look at records.
11 He stated that is the principle; it has nothing to do with bogging down government because the information could have been
12 provided three weeks ago and the Council would be moving forward tonight. He stated that he takes offense that Chief
13 Wallace pointed out three members of the Council because he does not know what Councilmember Shingleton’s thoughts
14 were and he was making assumptions. He stated there have been a lot of assumptions made by people that are false. He
15 stated he took the opportunity to come to City Hall and look at the resumes and he does not have a problem with Mr. Atkin,
16 but he does have a problem with access to the records being granted at the last minute when it should have been granted three
17 weeks ago. He stated the Council is all about information and all he asked for was to look at the documents. Mayor Nagle
18 stated that he looked at them today. Councilmember Shingleton agreed and stated that he does not have a problem with Mr.
19 Atkin, but he does have a problem with the fact that two members of the Council did not get an opportunity so see what they
20 wanted to see. He stated those are inalienable rights that those Councilmembers have and Police Officers ought to
21 understand that and Chief Froerer should understand that as well. He stated this is a totally different situation than the one
22 occurred when considering the appointment of Chief Froerer. He stated comparing apples to oranges in incorrect. He stated
23 there are certain rights the Governing Body, who was elected by the people of Syracuse, has and if they want information
24 they ought to get it. He stated he is prepared to vote tonight, but there are two members of the Council that are not prepared
25 to vote because they did not get the resumes. He stated that in the past if a member of the Council had a problem and they
26 needed extra time, that time was granted. He stated this is not about personalities in spite of what is being said tonight. He

1 stated that he is tired of the bickering and “we” need to move forward. He stated he would be comfortable taking a break to
2 give Councilmembers Duncan and Lisonbee time to review the resumes.

3 [8:18:16 PM](#)

4 A resident approached to address the Council. Mayor Nagle stated that the Council has allowed people to come
5 forward and speak when the issue was not open for public comment. Councilmember Lisonbee stated that if one person is
6 allowed to speak then the Council must recognize everyone that wants to speak. Mayor Nagle stated the Council can choose
7 to make a motion to allow public comment; the Council has already listened to two people earlier in the meeting.

8 Councilmember Peterson stated those two people were the Fire Chief and Police Chief and he would suggest that the Council
9 does not allow other people to make public comments at this time.

10 [8:18:54 PM](#)

11 Councilmember Duncan stated that he still has a huge concern; when he talks about “trust but verify” he is not just
12 talking about the Mayor, he is talking about the entire City Council and there is a citizen that he thinks has made an
13 absolutely reasonable GRAMA request and it has been denied. He stated maybe that citizen will go through the appeal
14 process and find out that the denial was appropriate, but he does not think the City Council should recess to review the
15 documents and say they are satisfied when there is a citizen that still wants to see the resumes. He stated that he understands
16 the decision in the Orem case was persuasive and there are some differences between the two situations, but in terms of the
17 factual pattern and the argument made by the judge, he finds what the judge said very compelling and he thinks that if the
18 citizens want the resumes it is a shame they are being told they cannot have it. He reiterated that his concern is that the
19 Council may have time to become comfortable with the resumes, but there is still a denied GRAMA request that could be
20 appealed by the citizen and if he is right he should have the same access to the resumes that the Council does though his
21 reason for wanting them may be different. Mr. Carlson stated that there are numerous factual distinctions between the Orem
22 case and this situation, but he wants to simply narrow it down to the time frame issue and the process to have a GRAMA
23 appeal heard by the Records Review Committee is a months-long process. He stated that discussion about tabling the issue
24 for a bit is one thing, but Chief Wallace’s last day with the City is December 24 and tabling the appointment of a new Chief
25 until the appellate process is complete is not realistic as the process will not be complete by Christmas Eve.

26 [8:21:16 PM](#)

1 Mayor Nagle stated there is a motion to recess and she wanted to recognize that motion; she called for a second.
2 Councilmember Johnson's motion to recess failed due to lack of a second. Councilmember Johnson asked if the rest of the
3 Council was open to recessing. Mayor Nagle stated that she would imagine that if they were open to it someone would have
4 seconded the motion. Councilmember Duncan stated there are still some issues that need to be discussed, but apparently
5 some people want to recess before those issues are discussed. He stated that he has a real problem with the idea that the City
6 does not want to get so bogged down in the appeals process and would rather move things forward and tell the resident that
7 his appeal process will take longer than the City is willing to take. He stated that as a member of the City Council he thinks
8 the citizen should be entitled to the records, but for the sake of expediency staff would prefer that the Council vote over the
9 top of the citizen's GRAMA request. He stated that he wondered why a resume that has been redacted cannot be released to
10 a resident; when looking at the decision made in the fourth district court, the one thing that is glaring is that the court ordered
11 that the resumes be released once private information was redacted. He stated that the resume for the potential Police Chief
12 was released without private information redacted and he wondered why. He asked if public interest is more important in
13 releasing Mr. Atkin's resume than releasing the other resumes, but somehow the City cannot balance public interest versus
14 GRAMA restrictions when considering releasing the other resumes with private information redacted. He stated that he does
15 not understand; if the City wants a fair and open process with transparency, he does not understand why the other resumes
16 cannot be released in the favor of public interest. He stated he can understand that there may be one candidate that may not
17 want their current employer to know that they applied for a job, but he cannot imagine that person saying that he hoped that
18 none of the citizens would look at his resume and question why he did not get picked for the job. He asked if the City is
19 trying to protect their privacy.

20 [8:24:14 PM](#)

21 Mayor Nagle interjected and stated that she appreciates Councilmember Duncan's point of view, but the Council is
22 clearly at an impasse. She stated that there are differing opinions and those opinions have been heard. She stated that
23 everyone has said their peace. Councilmember Duncan stated that he had more to say and controlling a meeting is not telling
24 a City Councilmember to quit speaking when he is not done. Mayor Nagle stated that Councilmember Duncan is repeating
25 the same information. Councilmember Duncan asked Mayor Nagle what it is about redacting the resumes and providing it to
26 the citizen that requested it that is so wrong. He asked what the Mayor's interest in protecting the resumes. He stated the law
27 requires her to have a compelling reason not to release the information and he asked what her reason is that is so compelling.

1 Mayor Nagle stated that GRAMA is clear that resumes are a private document. Councilmembers Lisonbee and Shingleton
2 disagreed and stated that is not correct if the resumes are redacted. Mayor Nagle stated that is their interpretation.
3 Councilmember Lisonbee stated it is the fourth district judge's interpretation. Mayor Nagle stated that the Council is not
4 going to agree and they will need to agree to disagree. She stated that she would like to let the process run its course.
5 Councilmember Duncan asked why the City Council got the information and the citizen was denied the information. Mayor
6 Nagle stated she is not going to continue this discussion.

7 [8:25:51 PM](#)

8 Councilmember Shingleton asked why the citizen cannot review the resumes if the private information is redacted.
9 Mayor Nagle stated that is not allowed under GRAMA. She then stated that today was the fifth day after Councilmember
10 Lisonbee's appeal and she was prepared to respond, but she had a conversation with Councilmember Shingleton and he said
11 all the Mayor needed to do is show the rest of the Council the resumes and if that happened this whole issue would disappear
12 because it is a trust issue. She stated that in response she decided to release the resumes in the interest of moving the process
13 forward and trying to show that she is not trying to hide anything. She stated she had a one-on-one conversation with
14 Councilmember Shingleton, but she has never been invited to have that same kind of conversation with any of the other
15 concerned Councilmembers. She stated that is her reasoning and she stands by it and she is not going to hide from the fact
16 that she does not think resumes should be released to the public because she thinks it is a bad practice. She reiterated that the
17 Council can agree to disagree on this issue and that is fine; she is respectful of the other Councilmember's opinions and she
18 asks them to be respectful of hers. Councilmember Duncan asked for a compromise; he suggested releasing the names of
19 those that had applied for the position as that informant is not protected by GRAMA. He stated that if citizens are concerned
20 they can research those people themselves. Mayor Nagle stated that is clearly not allowed under GRAMA because names are
21 part of the information to be redacted. Councilmember Lisonbee stated that names are not controlled or private information
22 according to GRAMA. Mayor Nagle stated that names on a resume are private information. Councilmember Lisonbee
23 disagreed. Councilmember Duncan stated that he is not talking about releasing the resumes; he reiterated he would
24 recommend releasing a list of the names of those that applied for the position. He stated that he is not making this request for
25 himself, but for the citizens.

26 [8:28:08 PM](#)

1 Councilmember Johnson asked Councilmembers Duncan and Lisonbee if they are willing to take a recess to look at
2 the resumes tonight. Councilmember Peterson stated that they could review the resumes and then report back to their
3 constituents about what they found in the resumes. Councilmember Lisonbee stated that she appealed the original denial last
4 Monday and she provided information about County Attorney Troy Rawlings opinion on the matter as well as the opinion
5 from the Utah League of Cities and Towns attorney. She stated she also provided from the Utah GRAMA Ombudsman. She
6 added the provided information that was legal reasoning to support her request and the Mayor chose noon today to allow her
7 to take time out of her day to come and look at the resumes; she took an hour and twenty minutes, which she did not have
8 time to do, to come to the City and look at the resumes. She stated that she told Ms. Whitaker that it was a lot of information
9 and she needed time to process it. She stated that for her to agree to recess and then come back into the meeting to make a
10 decision would be disingenuous to the process. She stated that the Council should be allowed to take their time to review the
11 information. She reiterated that she asked for the information three weeks ago. Mayor Nagle interjected that the City
12 received information from the State GRAMA Ombudsman that encouraged support of Mr. Carlson's opinion.
13 Councilmember Lisonbee stated she would like to see that correspondence and she reiterated she had a legal opinion from
14 Mr. Rawlings that said the Council should be privy to the information. She stated her point is that this process was not held
15 up by the Council; it was held up because of the inability of the Mayor to come forward with the information that the Council
16 is clearly allowed by law to review.

17 [8:30:17 PM](#)

18 Mr. Rice suggested allowing Mr. Atkin to address the Council. Councilmember Lisonbee stated that in her opinion
19 this is not about him and she does not want to make it about him. Mayor Nagle stated this is totally about Mr. Atkin.
20 Councilmember Lisonbee disagreed and stated that if this were about Mr. Atkin the Council would be having a totally
21 different dialogue. She noted that this is about transparency and statutory duties and following the law that all records should
22 be opened to the Council. She then called to question, which, according to Roberts Rules of Order, is a motion to cease
23 discussion and it is not debatable and it must be voted upon. Mr. Carlson stated that is correct if someone seconds the
24 motion.

25 [8:31:17 PM](#)

26 COUNCILMEMBER LISONBEE CALLED TO QUESTION.

27 [8:31:20 PM](#)

1 Mayor Nagle stated she would first like to hear from Mr. Atkin. Mr. Atkin received a round of applause as he
2 approached the Council. He stated that he is thankful for this opportunity and he is not only a proud Syracuse resident, but he
3 is also proud to be the nominee for Police Chief of the City's Police Department. He stated he does not take this as a
4 personal attack against him; clearly there are differences in opinions that will not be settled tonight and he believes that those
5 differences would exist no matter who stood before them for appointment tonight. He then stated that he is extremely
6 interested in leading the Police Department for years to come, but it seems this issue will not be solved tonight. He stated
7 that the Council is elected officials and they have to act on their conscience; if they cannot vote on the appointment tonight
8 that is understandable and he accepts it. He stated he is proud there are so many citizens in attendance, regardless of which
9 side of the issue they support, that are interested in their City government. He stated the bottom line is that if the Council
10 cannot vote to sustain his appointment he does not want them to move forward. He stated he believes the process was fair
11 and he had a very good interview after investing a lot of time in the process and he is very thankful to be able to stand here
12 tonight as the nominee. He stated he also wanted to thank the Police Department for the incredible showing tonight; that
13 reaffirms how proud he will be to be a part of their Department.

14 [8:33:42 PM](#)

15 Mayor Nagle stated there has been a motion and a second to table consideration of Proposed Resolution R12-26
16 appointing a Police Chief for Syracuse City; she called for a vote. VOTING "AYE" – COUNCILMEMBERS DUNCAN,
17 LISONBEE, AND SHINGLETON. VOTING "NO" – COUNCILMEMBERS JOHNSON AND PETERSON. Mayor Nagle
18 declared the Resolution tabled.

19
20 6. Councilmember Reports.

21 Councilmember reports began at [8:34:03 PM](#). Councilmember Johnson provided his report followed by
22 Councilmembers Peterson, Duncan, Shingleton, and Lisonbee.

23
24 7. Mayor Report.

25 Mayor Nagle's report began at [8:43:00 PM](#).

26
27 8. City Manager Report.

1 Mr. Rice's report began at [8:49:09 PM](#).

2

3

4 At [8:50:33 PM](#) p.m. COUNCILMEMBER PETERSON MADE A MOTION TO ADJOURN.

5 COUNCILMEMBER JOHNSON SECONDED THE MOTION; ALL VOTED IN FAVOR.

6

7

8 _____
9 Jamie Nagle
10 Mayor

Cassie Z. Brown, CMC
City Recorder

10

11 Date approved:

Minutes of the Syracuse City Council Special Meeting, November 20, 2012.

Minutes of the Special meeting of the Syracuse City Council held on November 20, 2012, at 6:00 p.m., in the Council Work Session Room, 1979 West 1900 South, Syracuse City, Davis County, Utah.

Present: Councilmembers: Brian Duncan
Craig A. Johnson
Karianne Lisonbee
Douglas Peterson
Larry D. Shingleton

Mayor Jamie Nagle
City Manager Robert Rice
City Recorder Cassie Z. Brown

City Employees Present:
City Attorney Will Carlson
Finance Director Steve Marshall
Community Development Director Michael Eggett
Public Works Director Robert Whiteley
Fire Chief Eric Froerer
Police Chief Brian Wallace
Police Lieutenant Tracy Jensen
HR Specialist Monica Whitaker

Visitors Present: Jill Ramboz Joe Levi Michael Levi
Brad Miller Kyle Nance

1. Meeting Called to Order

6:02:12 PM

Mayor Nagle called the meeting to order at 6:00 p.m. as a special meeting, with notice of time, place, and agenda provided 24 hours in advance to the newspaper and each Councilmember.

6:02:27 PM

Councilmember Lisonbee stated she is not sure why there is not an agenda item to allow public comment.

COUNCILMEMBER LISONBEE MADE A MOTION TO AMEND THE AGENDA BY ADDING AN ITEM TO ALLOW FOR PUBLIC COMMENT. COUNCILMEMBER DUNCAN SECONDED THE MOTION; ALL VOTED IN FAVOR.

6:02:47 PM

Mayor Nagle asked if anyone present wished to make public comments. Seeing no persons interested in making comments, the comment period ended.

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[6:03:01 PM](#)

2. Proposed Resolution R12-26 appointing a Police Chief for Syracuse City.

[6:03:04 PM](#)

COUNCILMEMBER PETERSON MADE A MOTION TO ADOPT PROPOSED RESOLUTION R12-26 APPOINTING A POLICE CHIEF FOR SYRACUSE CITY. COUNCILMEMBER LISONBEE SECONDED THE MOTION.

[6:03:14 PM](#)

Councilmember Duncan stated that the Council discussed this issue last week so he did not want to get too detailed in his comments, but he appreciated the opportunity to review the resumes for applicants for the position and he also appreciated the opportunity to talk to HR Specialist Monica Whitaker, who was very open with him. He stated he felt it has been very helpful with the process. He noted he was planning to call Councilmember Peterson, but he did not have time, though he did have time to talk to Councilmember Johnson about the hiring process. He added he had citizens call him to talk to him about other candidates for the position as well as the candidate that has been selected by the Mayor. He stated that he good heard things about other candidates, but he also heard very good things about Mr. Atkins' qualifications from people whose opinions he trusts. He stated that there is "a mile of difference" between the position the Council was in a week ago compared to tonight and he would hope that in the future that "we" get to that point initially. He stated that he still is disappointed that the citizens were not allowed to be more involved in the process. He stated he wants the record to show his comments as well as the fact that he is pleased after having reviewed the resumes and he feels comfortable moving forward with the appointment tonight.

[6:04:45 PM](#)

Councilmember Lisonbee stated she has some of the same concerns and apprehension. She stated she has heard a lot of citizen contact, especially after the last meeting. She stated many citizens approached her and said they were very impressed with the way Mr. Atkin stood and was willing to put his own interests aside in the interest of transparency and the interest of the citizens. She stated she has also heard from citizens about other candidates and she read through the resumes that she received. She noted that, although she does not have a problem with the outcome of the process, she has a problem

1 with the process and what happened and she would like to see that not happen again. She stated she thinks there were a lot of
2 really qualified candidates and some that could have been interviewed did not get an interview. She stated she would like to
3 see the process reviewed for the future.

4 [6:05:41 PM](#)

5 Mayor Nagle called for a vote on the motion to adopt Proposed Resolution R12-26. ALL VOTED IN FAVOR.

6 [6:06:02 PM](#)

7 Councilmember Shingleton suggested that Chief Atkin be given the opportunity to make some comments. Chief
8 Atkin stated that he appreciates the showing by the Officers of the Police Department this evening and that he looks forward
9 to working with them. He thanked Chief Wallace for everything that he has been willing to help him with over the last
10 couple of weeks. He addressed the Mayor, Council, and City Manager Rice and thanked them for their vote of confidence
11 and he reported that he looks forward to many years of faithful service to Syracuse City. Chief Atkin then received a round
12 of applause from all present.

13 [6:06:46 PM](#)

14 Mayor Nagle welcomed Chief Atkin to the City and stated she is sorry his first day on the job will be Christmas Eve.
15

16 [6:05:46 PM](#)

17 3. Consideration of adjourning into Closed Executive Session pursuant to the
18 provisions of Section 52-4-205 of the Open and Public Meetings Act for the
19 purpose of discussing the character, professional competence, or physical
20 or mental health of an individual; pending or reasonably imminent litigation;
21 or the purchase, exchange, or lease of real property.

22 [6:05:48 PM](#)

23 COUNCILMEMBER LISONBEE MADE A MOTION TO ADJOURN INTO CLOSED EXECUTIVE SESSION
24 PURSUANT TO THE PROVISIONS OF SECTION 52-4-205 OF THE OPEN AND PUBLIC MEETINGS ACT FOR THE
25 PURPOSE OF DISCUSSING THE PURCHASE, EXCHANGE, OR LEASE OF REAL PROPERTY. COUNCILMEMBER

1 PETERSON SECONDED THE MOTION. THE FOLLOWING ROLL CALL VOTE WAS TAKEN: VOTING "AYE" –
2 COUNCILMEMBERS DUNCAN, JOHNSON, LISONBEE, PETERSON, AND SHINGLETON. VOTING "NO" – NONE.

3 The meeting adjourned at [6:07:11 PM](#).

4 The meeting reconvened at [6:30:55 PM](#)

5

6 At [6:30:55 PM](#) p.m. COUNCILMEMBER SHINGLETON MADE A MOTION TO ADJOURN.

7 COUNCILMEMBER PETERSON SECONDED THE MOTION; ALL VOTED IN FAVOR.

8

9

10

11 _____
12 Jamie Nagle
13 Mayor

Cassie Z. Brown, CMC
City Recorder

13

14 Date approved: _____



COUNCIL AGENDA

December 11, 2012

Agenda Item #5

Public Hearing: Authorize Administration to dispose of a parcel of real property adjacent to 2400 West.

Factual Summation

- Please see the attached memo from the Community and Economic Development Department. Any questions regarding this item can be directed at Mike Eggett, Community and Development Director.



Mayor
Jamie Nagle

City Council
Brian Duncan
Craig Johnson
Karianne Lisonbee
Douglas Peterson
Larry D. Shingleton

City Manager
Robert D. Rice

Factual Summation

- Any questions regarding this items may be directed at Public Works Director, Robert Whiteley, and City Engineer, Brian Bloeman
- See the attached Survey Map

MEMORANDUM

To: Mayor and City Council

From: City Engineer, Brian Bloeman

Date: December 11, 2012

Subject: City Council Approval of the disposal of real property owned by Syracuse City and adjacent to 2400 West.

Background

Syracuse Town acquired a “flag” lot in 1919 which the City shop and rodeo arena currently occupy today. A 16.5’ wide strip extends from 2700 South Street south to the rodeo arena. In 1948 Syracuse Town acquired a second wider parcel to the west of their previous parcel from 2700 South Street south to the rodeo arena. The current shop road lies within the parcel acquired in 1948. In doing so a gap of ±13 feet was left between the two parcels, which to this day still remains unclaimed by the County. Adjacent property owners have a right to claim the unclaimed property. In addition, a portion of the “flag” lot (0.13 acres) was quitclaimed by the City in 2006. Furthermore, the distance between the parcel previously quitclaimed in 2006 and Lot 1 of Syracuse Meadows Subdivision Plat A is 60 feet. Staff is recommending to project the westerly line of the parcel previously quitclaimed in 2006 south to the southerly line of the Fox Haven development. The City will retain everything to the west of this line and Clinton Sherman would be granted everything to the east. This will result in the following land being exchanged:

1. The City will grant ±0.26 acres of property it owns in fee to Clinton Sherman
2. The City will not contest Clinton Sherman claiming ±0.08 acres of unclaimed property
3. The City will claim ±0.14 acres of unclaimed property

In exchange for granting the land, Clinton Sherman has agreed to help the City improve 2400 West Street. The following is what has been agreed to:

1. Syracuse City will relinquish all rights to the property east of the projected easterly right-of-way line of 2400 West street through the Fox Haven Subdivision.
2. Clinton Sherman will not contest Syracuse City claiming the property west of the projected easterly right-of-way line of 2400 West street
3. Clinton Sherman will agree to pay up to \$1.20 per square foot to replace the asphalt on the west side of 2400 West in front of the development (As a result of utility installation and City Standards the east half of the road will be required to be replaced with the development).
4. Syracuse City will pay for the road base under the asphalt (Clinton Sherman will pay for road base under the portions of the road impacted by the Fox Haven Development).
5. Syracuse City will agree to install curb, gutter and repave from the north line of the Fox Haven to 2700 South street.

Recommendation

Staff does not see this strip of land being utilized at any point by the City and is recommending it be disposed of as excess property. This will bring the existing right-of-way along 2400 West to 45 feet. The additional right-of-way will be acquired when the property to the west develops.

Proposed Fox Haven Subdivision/Syracuse City Property Line Adjustments

2700 South Street

Syracuse Meadows Subdivision
Plat A

3 2 1

Existing Property
Lines Set Up For 60'
Wide Right-of-Way

Parcel Acquired In 1948
Currently Owned In Fee By
Syracuse City (2400 West
Street-City Shop Road)

Unclaimed Property

Future Right-of-Way Line

Strip Previously Quitclaimed
By Syracuse City To Lloyd
Walton - December 20, 2006
Book 4183, Page 1174

Proposed Property Adjustment Line
-Everything To West Will Be Granted To Syracuse City
-Everything To East Will Be Granted To Clinton Sherman
-Everything South Of The Development Will Remain City Owned

16.5' Wide Strip

SYRACUSE

Currently Owned By Clinton Sherman
(Proposed Fox Haven Subdivision
Development)

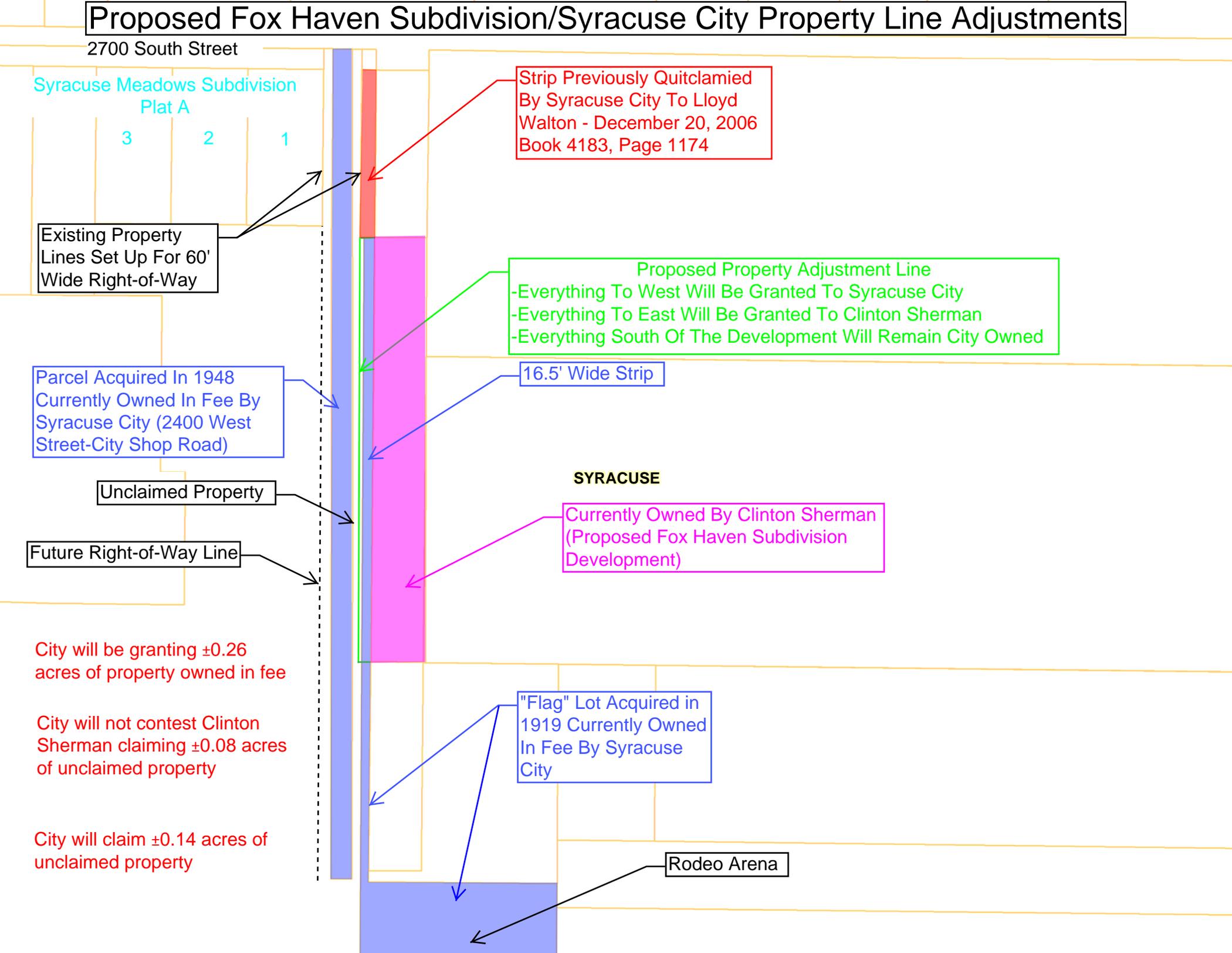
City will be granting ± 0.26
acres of property owned in fee

City will not contest Clinton
Sherman claiming ± 0.08 acres
of unclaimed property

City will claim ± 0.14 acres of
unclaimed property

"Flag" Lot Acquired in
1919 Currently Owned
In Fee By Syracuse
City

Rodeo Arena





COUNCIL AGENDA

December 11, 2012

Agenda Item #6

Final Approval, Hammon Acres Subdivision, located at approximately 1290 South 3700 West.

Factual Summation

- Please see the attached memo from the Community and Economic Development Department. Any questions regarding this item can be directed at Mike Eggett, Community and Development Director.



Mayor
Jamie Nagle

City Council
Brian Duncan
Craig Johnson
Karianne Lisonbee
Douglas Peterson
Larry D. Shingleton

City Manager
Robert D. Rice

Factual Summation

- Any questions regarding this items may be directed at CED Director, Michael Eggett and representative Planning Commissioners
- See the attached Hammon Acres Subdivision Packet

MEMORANDUM

To: Mayor and City Council

From: Community & Economic Development Department

Date: December 11, 2012

Subject: City Council Approval of the Hammon Acres Subdivision: Sheldon Peck request for Final Subdivision approval located at approximately 1290 South 3700 W. 4 lots, 2.5 Acres, Residential 2 (R-2) Zone & Agriculture (A-1) Zone

Background

The Planning Commission held a public meeting on November 20, 2012 for Final Plan approval of Hammon Acres Subdivision. All items noted in staff report have been addressed by the Planning Commission. Lots 101-103 are zoned R-2, while lot 104 is zoned A-1, which accounts for the varied lot sizes in the subdivision.

Consideration of Recommendation for City Council Approval of the Hammon Acres Subdivision, (Final Plans Review)

On December 20, 2012, the Syracuse City Planning Commission recommended that the Syracuse City Council approve the Hammon Acres Subdivision, subject to the City staff reviews dated November 14, 2012.

The following documents have been included in your packets for your use and review:

- Final plat drawing for Hammon Acres Subdivision Road and lot plan
- City Engineer's review
- Planning Department's review

- Fire Department's review

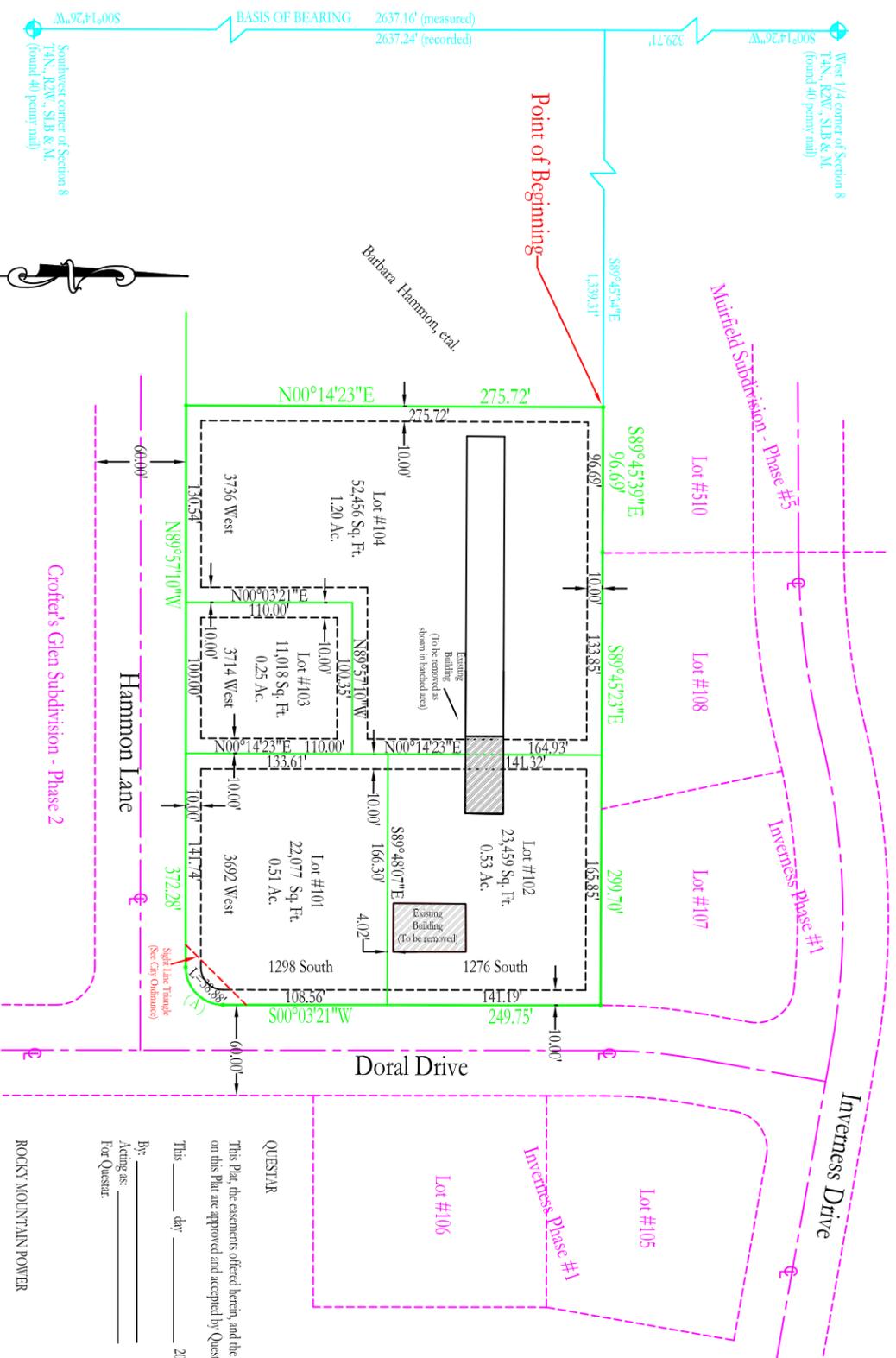
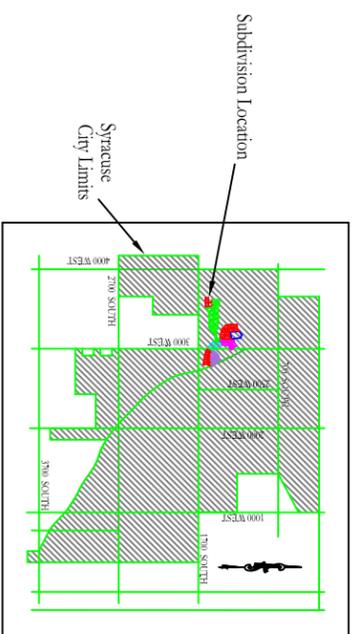
Recommendation

The Syracuse City Planning Commission and CED Staff hereby recommend that the City Council approve the final plans for the Hammon Acres Subdivision, located at approximately 1290 South 3700 West, subject to meeting all requirements of the City's Municipal Codes and City staff reviews dated November 14, 2012.

Hammon Acres Subdivision - Not to be Recorded

A Part of the South One-Half of Section 8, T4N, R2W, S1B&M, US. Survey, Syracuse City, Davis County, Utah

November 2012



Curve Data Table					
Curve	Radius	Length	Delta	Bearing	Chord Length
A	25.00'	38.88'	89°06'23"	S45°29'26"W	35.08'

SCALE 1" = 50'
50' 50'

drawn by:
N. Scott Nelson, P.E.
4621 Jefferson Avenue
South Ogden, Utah
(801) 547-7723

drawing date: 5 November 2012

Syracuse City Planning Commission

Approved by the Syracuse City Planning Commission on this _____ day of _____, 2012.

Signed this _____ day of _____, 2012.

Chairman

Syracuse City Engineer

I hereby certify that the requirements of all applicable statutes and ordinances prerequisite to City Engineer's approval of the foregoing plat and dedications have been complied with.

Signed this _____ day of _____, 2011.

Engineer

Syracuse City Council

This is to certify that this plat and the dedication of this plat, along with the dedication of all streets, easements and public improvement guarantee were duly approved and accepted by the City Council of Syracuse City, this _____ day of _____, 2012.

Mayor

Recorder

SURVEYORS CERTIFICATE

I, Dick N. Meckem, do hereby certify that I am a registered land surveyor, and that I hold license number 153649, as prescribed under the laws of the State of Utah. I further certify that by authority of the Owners, I have directed a survey of the tract of land as shown on this plat and described below and that the referenced markers shown on this plat are located as indicated and are sufficient to retracement or restore this survey, that the information shown herein is sufficient to accurately establish the lateral boundaries of the below described tract of real property and of each of the lots, located on said tract.

Signed this _____ day of _____, 2012.

Dick N. Meckem
License No. 153649



BOUNDARY DESCRIPTION

A Part of the South One-Half of Section 8, T4N, R2W, S1B & M US. Survey, Syracuse City, Davis County, Utah, described as follows:

Beginning at a Point which is S91°42'0"W 329.71' and S89°45'34"E 1,339.31' from the West 1/4 corner of Section 8, T4N, R2W, S1B & M, and running
Thence S89°45'39"E 96.69' along the southeasterly boundary of Married Subdivision - Phase #5 (Lot #510), thence S89°45'23"E 299.70' along the southeasterly boundary of the Inverness Subdivision - Phase #1 to the south easterly corner of Lot #107 of said Inverness Subdivision Phase #1, said corner being on the West right-of-way of Doral Drive, thence S00°03'21"W 249.75' along said West right-of-way; thence along the arc of a curve having a radius of 25.00' a distance of 38.88' (long chord bears S45°29'26"W 35.08'); thence along the North right-of-way of Hammon Lane N89°57'10"W 372.28'; thence N00°14'23"E 275.72'; to the Point of Beginning.

Contains: 109,010 square feet or 2.50 acres.

OWNERS DEDICATION

We the undersigned owners of the hereon described tract of land, hereby set apart and subdivide the same into lots, as shown on this plat and name said tract "Hammon Acres Subdivision" and hereby dedicate, grant and convey to Syracuse City, Davis County, Utah, all those parts or portions of said tract of land designated as easements and streets; the same to be used as public easements and public right-of-ways, dedicating all streets as perpetual right-of-ways for public access purposes and all easements for public utilities as shown hereon, the same to be used for the installation, maintenance, and operation of public utility service lines and as public access as may be authorized by Syracuse City.

Signed this _____ day of _____, 2012.

Andrew K. Nield

Jessica J. Nield

Bruce H. Jones, President
Blackburn Jones Keal Estate Inc.
Sheldon L. Peck

ACKNOWLEDGMENT

On this _____ day of _____, 2012, personally appeared before me Andrew K. Nield and Jessica J. Nield, the signers of the above Owner's Dedication Plat, who being by me duly sworn, did acknowledge to me that they signed the owner's dedication freely and voluntarily and for the purposes therein mentioned.

Notary Public

QUESTAR
This Plat, the easements offered herein, and the restrictions noted on this Plat are approved and accepted by Questar.
This _____ day of _____, 2012
By: _____
Acting as: _____
For Questar.

ROCKY MOUNTAIN POWER
This Plat, the easements offered herein, and the restrictions noted on this Plat are approved and accepted by Rocky Mountain Power.
This _____ day of _____, 2012
By: _____
Acting as: _____
For Rocky Mountain Power.

Notary Public
Seal

DAVIS COUNTY RECORDER

Entry No. _____ Fee Paid _____
Filed For Record and Recorded _____ at _____
in book _____ of official records, page _____. Recorded for _____
County Recorder
By: _____

Lot #104
52,456 Sq. Ft.
1.20 Ac.

Lot #102
23,459 Sq. Ft.
0.53 Ac.

Lot #101
22,077 Sq. Ft.
0.51 Ac.

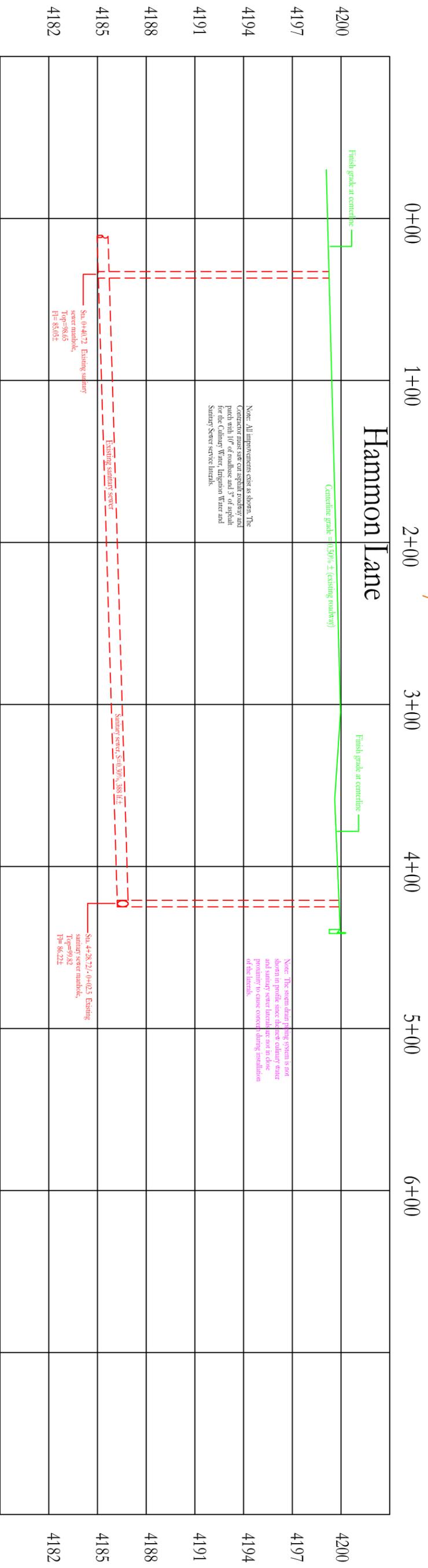
Lot #106

Doral Drive

Hammon Lane

Hammon Lane

Crofter's Glen Subdivision - Phase 2



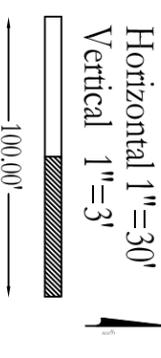
Note: All improvements exist as shown. The Contractor must saw cut asphalt roadway and patch with 10" of roadbase and 3" of asphalt for the Culinary Water, Irrigation Water, Land Drain and Sanitary Sewer service lines.

Note: All improvements exist as shown. The Contractor must saw cut asphalt roadway and patch with 10" of roadbase and 3" of asphalt for the Culinary Water, Irrigation Water and Sanitary Sewer service lines.

Note: The storm drain piping system is not shown in profile since the culinary water and sanitary sewer laterals are not in close proximity to cause concern during installation of the laterals.

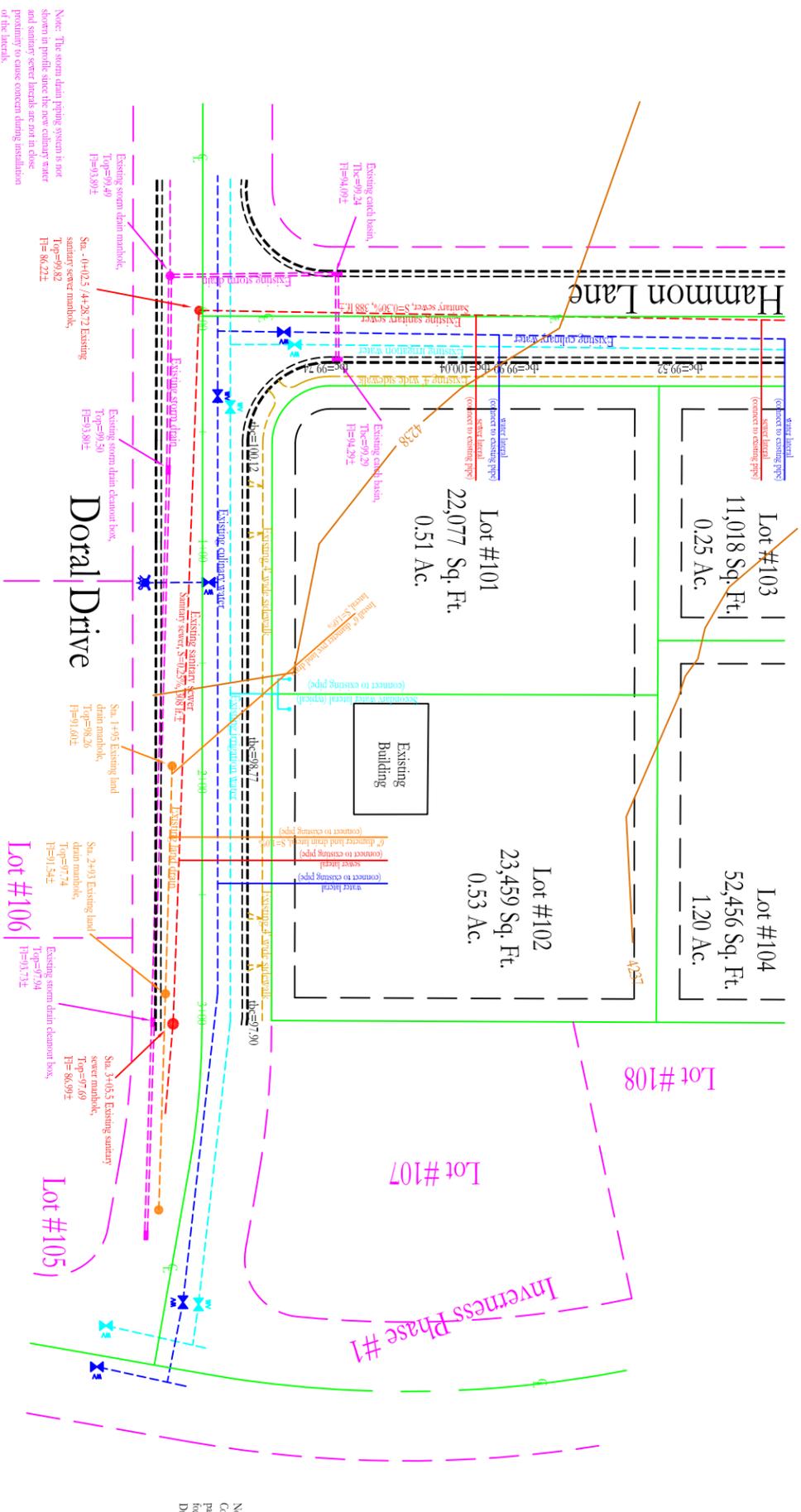
Note: The storm drain piping system is not shown in profile since the new culinary water and sanitary sewer laterals are not in close proximity to cause concern during installation of the laterals.

- General Notes:**
1. All construction work shall meet or exceed Syracuse City Public Works Standards.
 2. All sanitary sewer laterals shall be 4" pvc materials constructed with a minimum slope of 2%.
 3. Lateral locations: Culinary water at the center of the lot. Sanitary sewer at 10' downstream of culinary water (pipe color green) Secondary water location as shown (pipe color purple) Land drain location as shown (6" diameter, minimum slope=1.0%)
- Note for laterals: Or as shown on the drawings.
5. All irrigation piping facilities shall meet or exceed the standards of the Davis/Weber irrigation company.
 6. The existing utilities shown for this "Subdivision" were taken from "Blue Staking" and prior improvement drawings and are for information purposes only. The contractor is required to verify all existing utilities (horizontal and vertical location) as it relates to the design. All existing utilities to be protected from damage.
 7. All sanitary sewer pipe to be pvc materials - "SDR 35".



4200	Finish grade at centerline	Finish grade at centerline	Finish grade at centerline	Finish grade at centerline	Finish grade at centerline	Finish grade at centerline	Finish grade at centerline	Finish grade at centerline	Finish grade at centerline
4197		Centerline grade = 0.50% ± (existing roadway)							
4194									
4188									
4185									
4182									

- General Notes:
1. All construction work shall meet or exceed Syracuse City Public Works Standards.
 2. All sanitary sewer laterals shall be 4" pvc materials constructed with a minimum slope of 2%.
 3. Lateral locations: Culinary water at the center of the lot. Sanitary sewer at 10' downstream of culinary water (pipe color green) Land drain location as shown (6" diameter, minimum slope=1.0%)
- Note for laterals: Or as shown on the drawings.
5. All irrigation piping facilities shall meet or exceed the standards of the Davis/Webber irrigation company.
 6. The existing utilities shown for this "Subdivision" were taken from "Blue staking" and prior improvement drawings and are for information purposes only. The contractor is required to verify all existing utilities (horizontal and vertical location) as it relates to the design. All existing utilities to be protected from damage.
 7. All sanitary sewer pipe to be pvc materials - "SDR 35".



Note: All improvements exist as shown. The Contractor must saw cut asphalt roadway and patch with 10" of Roadbase and 5" of asphalt for the Culinary Water, Irrigation Water, Land Drain and Sanitary Sewer service laterals.



0+00	1+00	2+00	3+00	4+00	5+00	6+00
4200	4197	4194	4188	4185	4182	
Doral Drive						
4200	4197	4194	4188	4185	4182	

Note: The storm drain piping system is not shown in profile since the new culinary water and sanitary sewer laterals are not in close proximity to cause concern during installation of the laterals.

Note: All improvements exist as shown. The Contractor must saw cut asphalt roadway and patch with 10" of Roadbase and 5" of asphalt for the Culinary Water, Irrigation Water, Land Drain and Sanitary Sewer service laterals.

Sta. -0+02.5 / +4+28.72 Existing sanitary sewer manhole. Top=99.82 TI= 86.22±

Sta. 3+05.5 Existing sanitary sewer manhole. Top=97.69 TI= 86.99±

drawing date: 5 November 2012

Prepared by: N. Scott Nelson, P.E.
801-547-7723.
drawing date: November 2012

Hammon Acres Subdivision
Improvement Drawings - Doral Drive

sheet 2
of 2



Engineer Preliminary Plan Review –Hammon Acres Subdivision Hammon Lane & Doral Drive

Completed by Robert Whiteley on November 14, 2012

Most of the drawing corrections from our previous review letter have been completed according to a plan re-submittal made to us on Nov 13th. This plan is ready for final approval consideration. Prior to the mylar being signed, we will await the following:

1. Water rights submitted to the city.
2. Cost estimate for the construction bond for any infrastructure.
3. Storm Water Pollution Prevention Plan.

Prior to the pre-construction meeting, be prepared to discuss the following items:

4. General Note 5 regarding irrigation standards per Syracuse City.
5. Grading of the lots to provide positive drainage into storm facilities.
6. Land drain laterals were added to Lot 101 and Lot 102, which will allow basements for only those two lots in this subdivision. It is common practice to install laterals perpendicular to the building lot in order to properly locate and maintain. The lateral serving Lot 101 requires a short main extension with a manhole in order to make a perpendicular connection.

If you have any further comments or questions please feel free to contact me or Brian at 801-614-9630.



Subdivision Final Plan Review – Hammon Acres

Completed by Sherrie Christensen, Planner on 11/14/2012

Recommendation: City staff recommends that the Planning Commission examine the Hammon Acres Subdivision Final plan review as outlined below. Please pay specific attention to the items highlighted in yellow. City Staff hereafter recommends that the Planning Commission forward the Hammon Acres Subdivision Final plat to the City Council with a recommendation for approval, subject to all requirements of the City’s municipal code and staff reviews.

8-6-1/8-6-2: Final Plat/Final Plan and Profile:	Planning Staff Review:
1. Proposed name of subdivision (to be approved by Planning Commission and County Recorder).	1. Hammon Acres
2. Accurate angular and linear dimensions to describe boundaries, streets, easements, areas reserved for public use, etc.	2. Yes
3. Identification system for lots, blocks, and names of streets. Lot lines show dimensions in feet and hundredths.	3. Yes
4. Street address shown for each lot.	4. Yes
5. True angles and distances to nearest street lines or official monuments as accurately described and shown by appropriate symbol.	5. Yes
6. Radii, internal angles, points and curvatures, tangent bearings and the length of all arcs.	6. Yes
7. Accurate location of all monuments to be installed shown by appropriate symbol.	7. Yes
8. Dedication to City of all streets and other	8. Yes

public uses and easements.	
9. Street monuments shown on Final Plat.	9. Yes
10. Pipes or other iron markers shown on the plat.	10. Yes
11. Outlines and dimensions of public use areas or areas reserved for common use of all property owners showing on plat.	11. N/A
12. Boundary, lot and other geometrics on Final Plat accurate to not less than one part in five thousand.	12. Yes, refer to Engineer for further.
13. Location, function, ownership and manner of maintenance of remaining common open space showing on plat or in submission.	13. N/A
14. Legal boundary description of the subdivision and acreage included.	14. Yes, 2.50 acres
15. Current inset City map showing location of subdivision.	15. Yes
16. Standard signatures forms/boxes reflected on the Final Plat.	16. Yes
Final Plan and Profile	
17. Plan for culinary water improvements.	17. Submitted, see Engineer review.
18. Plan for secondary water improvements.	18. Submitted, see Engineer review.
19. Plan for sanitary sewer.	19. Submitted, see Engineer review.
20. Land drain.	20. See Engineer review. Lots 101 & 102 will connect to land drain, 103 & 104 will have to be slab on grade, no basements.
21. Storm water.	21. Submitted, see Engineer review.
22. Streets.	22. Submitted, see Engineer review.
23. Stationing.	23. Submitted, see Engineer review.

<p>24. Agreements.</p> <p>Conditional Items for Final Plan Approval</p> <p>25. Park-purchase impact fee accord in the zoning and gross acreage in development as outlined in the City's fee schedule</p> <p>26. Irrigation water rights per Subdivision Ordinance Section 8-2-9</p> <p>27. An executed Escrow Agreement, provided by City staff, for improvement costs and bonding</p> <p>28. An executed Improvement Agreement with Syracuse City, as provided by staff</p> <p>29. An executed Streetlight Agreement, regarding installation of required lamps, as provided by City staff</p> <p>30. Payment of final off-site inspection fees as outlined in City's fee schedule</p> <p>31. Payment of County recording fees of \$37/page +\$1/lot and any common space as well as \$1/land-owner signatures over two</p> <p>Conditions from Preliminary Plat Approval 8-3-1 Public Improvements:</p> <p>10-12-040 Minimum Lot Standards</p> <p>(F) Building Height. As allowed by current building code.</p>	<p>24. N/A</p> <p>25. Required before mylar recording estimate not received</p> <p>26. Required before mylar recording 7.5 Acre feet required</p> <p>27. Required before mylar recording estimate not received</p> <p>28. Required before mylar recording</p> <p>29. See engineer review if required</p> <p>30. Required before mylar recording</p> <p>31. Required before mylar recordings</p> <p>Planning Staff Review:</p> <p>(F) Yes-Per Building Code</p>
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<p>Chapter 6 – General Land Use Regulations</p> <p>10-6-060 Miscellaneous Requirements and Provisions (B) Visibility at Intersections.</p> <p>10-6-080 Buffer Yards</p> <p>(C) <u>Determination and Approval of Buffer Yards Required</u>. To determine the type of buffer yard required between two (2) adjacent parcels or between a parcel and a street, the following procedure shall apply:</p> <ol style="list-style-type: none"> 1. Identify the land use category of the proposed use. 2. Identify the use category of the existing land use adjacent of the proposed use by an on-site survey to determine the intensity classification from Table 1. Agricultural determination need not directly relate to whether or not someone is farming the adjacent property. 3. Determine the buffer yard required for the proposed development by using Table 2. 4. Using Buffer Tables A – E, identify the buffer yard options using the buffer yard requirement determine in Table 2. <p>Other Issues:</p> <ol style="list-style-type: none"> 1. Developer Name and Address to be shown on plat. 2. Title Report-Required 3. Appraisal Report 	<p>Planning Staff Review:</p> <p>10-6-060 Miscellaneous Requirements and Provisions (B) Developer must ensure that plants comply with the required clear-visibility triangle on lot 101-Marked Clear view triangle on lot 101, 40 feet from the intersection.</p> <p>10-6-080 Buffer Yards</p> <p>As lot 104 is zoned agriculture and the remaining lots are zoned R-2.</p> <ol style="list-style-type: none"> 1. Lot 104: A-1 2. Lot 101-103: R-2 3. Buffer Table A required between lot104 and remaining lots. 4. Required 5 foot fence, 2 Canopy Trees, 3 Understory Trees (max) <ol style="list-style-type: none"> 1. Developer Name/Address/Phone to be added to plat. 2. Submit title report prepared within the previous 30 days 3. Submit appraisal for computation of park improvement fee.
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October 30, 2012

Syracuse City Planning Commission
c/o Syracuse Community Development
1979 W 1900 S
Syracuse, UT 84075

Dear Members of the Planning Commission,

Regarding, the final plat for Hammon Acres, after review of the plans we have no concerns regarding fire protection or access.

Please contact me if you have any questions or need additional comment.

Respectfully,

Jo Hamblin, Deputy Chief
Syracuse City Fire Department
1869 South 3000 West, Syracuse, UT 84075
Phone 801-614-9614





COUNCIL AGENDA

December 11, 2012

Agenda Item #7

Final Approval, Fox Haven Subdivision, located at approximately 2900 South 2400 West.

Factual Summation

- Please see the attached memo from the Community and Economic Development Department. Any questions regarding this item can be directed at Mike Eggett, Community and Development Director.



Mayor
Jamie Nagle

City Council
Brian Duncan
Craig Johnson
Karianne Lisonbee
Douglas Peterson
Larry D. Shingleton

City Manager
Robert D. Rice

Factual Summation

- Any questions regarding this items may be directed at CED Director, Michael Eggett and representative Planning Commissioners
- See the attached Fox Haven Subdivision Packet

MEMORANDUM

To: Mayor and City Council

From: Community & Economic Development Department

Date: December 11, 2012

Subject: City Council Approval of the Fox Haven Subdivision: Clint Sherman request for Final Subdivision approval located at approximately 2900 South 2400 W. 6 lots, 1.61 Acres, Residential 1 (R-1) Zone

Background

The Planning Commission held a public meeting on November 20, 2012 for Final Plan approval of Fox Haven Subdivision. All items noted in staff report have been addressed by the Planning Commission. The only outstanding item is the land exchange necessary to properly dedicate the full width of the road right-of-way (previous agenda item disposing of City owned property adjacent to 2400 West). Pursuant to City Council approval of said exchange in correcting the surveying error gap, all requirements of sketch, preliminary and final have been met.

Consideration of Recommendation for City Council Approval of the Fox Haven Subdivision, (Final Plans Review)

On December 20, 2012, the Syracuse City Planning Commission recommended that the Syracuse City Council approve the Fox Haven Subdivision, subject to the City staff reviews dated November 11 & 16, 2012.

The following documents have been included in your packets for your use and review:

- Final plat drawing for Fox Haven Subdivision Road and lot plan

- City Engineer's review
- Planning Department's review
- Fire Department's review

Recommendation

The Syracuse City Planning Commission and CED Staff hereby recommend that the City Council approve the final plans for the Fox Haven Subdivision, located at approximately 2900 South 2400 West, subject to meeting all requirements of the City's Municipal Codes and City staff reviews dated November 11 & 16, 2012.

FOX HAVEN

2800 SOUTH 2400 WEST SYRACUSE, UTAH CURRENT ZONE: R-2



FOX HAVEN

VICINITY MAP



GENERAL NOTES

- 1) ALL WORK WITHIN THE CITY OF SYRACUSE RIGHT OF WAY SHALL CONFORM TO THE CITY OF SYRACUSE STANDARDS & SPECIFICATIONS.
- 2) ALL WORK PERFORMED ON CITY OF SYRACUSE OWNED UTILITIES & CONNECTIONS THERETO SHALL CONFORM TO THE CITY OF SYRACUSE STANDARDS & SPECIFICATIONS.
- 3) THESE PLANS CALL FOR BUT ARE NOT DESIGN DRAWINGS FOR THE RELOCATION, AND/OR REMOVAL OF EXISTING DRY UTILITIES INFRASTRUCTURE. DESIGN DRAWINGS FOR SAID RELOCATIONS AND REMOVALS SHALL BE BY OTHERS.
- 4) CALL BLUESTAKES 48 HOURS PRIOR TO DIGGING.
- 5) CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING MANHOLES AND OTHER UTILITIES BEFORE BUILDING OR STAKING ANY UTILITY LINES.
- 6) BENCHMARK IS: THE TOP OF THE QUARTER CORNER OF SECTION 21, T.4N., R.2W., S.L.B.&M. ELEVATION = 4237.55

DEVELOPER CLINT SHERMAN

2831 WEST 2700 SOUTH
SYRACUSE, UT 84075
TEL: 801-721-0912
FAX: 801-779-9383

ENGINEER / SURVEYOR

2720 North 350 West, Suite #108
LAYTON, UT 84041

Phone: (801) 773-1910
Fax: (801) 773-1925

GOVERNING AGENCIES

CITY	TRANSPORTATION	FIRE INSPECTION	SEWER
CITY OF SYRACUSE 1979 WEST 1900 SOUTH SYRACUSE, UT 84075 PHONE: 801-825-1477	CITY OF SYRACUSE ENGINEER 3061 SOUTH 2400 WEST SYRACUSE, UT 84075 BRIAN BLOEMEN PHONE: 801-825-7235	CITY OF SYRACUSE FIRE DEPT. 1869 SOUTH 3000 WEST SYRACUSE, UT 84075 ERIC FROERER, FIRE CHIEF PHONE: 801-674-9614	CITY OF SYRACUSE PUBLIC WORKS 3061 SOUTH 2400 WEST SYRACUSE, UT 84075 ROBERT WHITELEY PHONE: 801-825-7235
STORM DRAIN	CULINARY WATER	SECONDARY WATER	POWER
CITY OF SYRACUSE PUBLIC WORKS 3061 SOUTH 2400 WEST SYRACUSE, UT 84075 ROBERT WHITELEY PHONE: 801-825-7235	CITY OF SYRACUSE PUBLIC WORKS 3061 SOUTH 2400 WEST SYRACUSE, UT 84075 ROBERT WHITELEY PHONE: 801-825-7235	CITY OF SYRACUSE PUBLIC WORKS 3061 SOUTH 2400 WEST SYRACUSE, UT 84075 ROBERT WHITELEY PHONE: 801-825-7235	ROCKY MOUNTAIN POWER SALT LAKE CITY, UT ED ZIEBER 801-543-3017
NATURAL GAS	TELEPHONE		
QUESTAR CORPORATION 180 EAST 100 SOUTH SALT LAKE CITY, UT 84145 MIKE KUHN 801-395-6799	CENTURYLINK CORPORATION 1425 WEST 3100 SOUTH SALT LAKE CITY, UT 84119 GARY WEAVER: 801-626-5380		

DRAWING INDEX

- 01 COVER
- 02 PLAT
- 03 NOTES & DETAILS
- 04 SITE PLAN
- 05 2400 WEST PLAN & PROFILE STA 17+50 TO 13+00
- 06 2400 WEST PLAN & PROFILE STA 13+00 TO 8+50
- 07 2400 WEST PLAN & PROFILE STA 8+50 TO 4+00
- 08 2400 WEST PLAN & PROFILE STA 4+00 TO 0+00

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS: OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

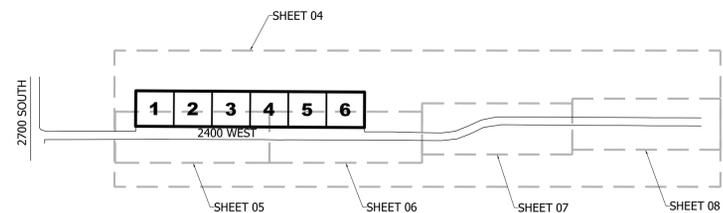
CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

TRAFFIC CONTROL & SAFETY NOTES

TRAFFIC CONTROL PLAN FOR WORK WITHIN UDOT RIGHT OF WAY MUST MEET UDOT STANDARDS & SPECIFICATIONS

1. BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT STATE OF UTAH DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, AND THE CURRENT CITY OF SYRACUSE STANDARD DRAWING, AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO ANY WORK.
2. NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE CITY TRAFFIC ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
3. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
4. DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
5. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
6. TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

SHEET LOCATION GUIDE

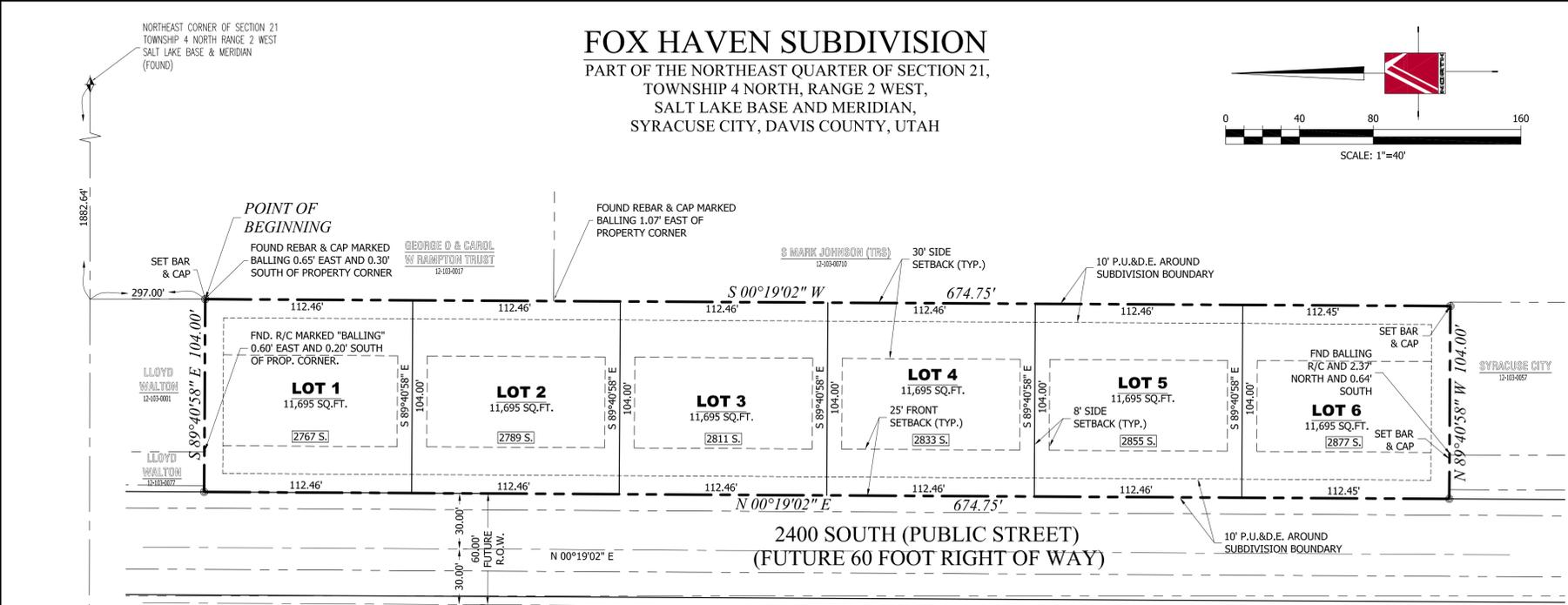
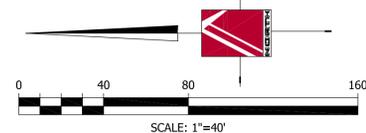


CALL BLUESTAKES
@ 1-800-662-4111
AT LEAST 48 HOURS
PRIOR TO COMMENCING
ANY CONSTRUCTION

SHEET
01
OF 08

FOX HAVEN SUBDIVISION

PART OF THE NORTHEAST QUARTER OF SECTION 21,
TOWNSHIP 4 NORTH, RANGE 2 WEST,
SALT LAKE BASE AND MERIDIAN,
SYRACUSE CITY, DAVIS COUNTY, UTAH



SURVEYOR'S CERTIFICATE

I, STEPHEN J. FACKRELL, DO HEREBY CERTIFY THAT I AM A LICENSED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 191517 AS PRESCRIBED UNDER LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, HEREAFTER TO BE KNOWN AS
FOX HAVEN SUBDIVISION
AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT ALL LOTS MEET FRONTAGE WIDTH AND AREA REQUIREMENTS OF THE APPLICABLE ZONING ORDINANCES.

BOUNDARY DESCRIPTION

BEGINNING AT A POINT WHICH IS LOCATED NORTH 89°40'58" WEST 1882.64 FEET ALONG THE SECTION LINE AND SOUTH 297.00 FEET FROM THE NORTHEAST CORNER OF SECTION 21, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN AND RUNNING THENCE SOUTH 00°19'02" WEST 674.75 FEET; THENCE NORTH 89°40'58" WEST 104.00 FEET; THENCE NORTH 00°19'02" EAST 674.75 FEET; THENCE SOUTH 89°40'58" EAST 104.00 FEET TO THE POINT OF BEGINNING.
CONTAINS 70,172 SQ. FT., 1.61 ACRES, 6 LOTS

DATE _____ STEPHEN J. FACKRELL
LICENSE NO. 191517

OWNER'S DEDICATION

We the undersigned owner(s) of the herein described tract of land, do hereby set apart and subdivide the same into lots as shown hereon and name said tract,

FOX HAVEN SUBDIVISION

and do hereby grant and dedicate a perpetual right and easement over, upon and under the lands designated hereof as public utility and drainage easements, the same to be used for the installation maintenance and operation of public utility service line, storm drainage facilities, irrigation canals or for the perpetual preservation of water channels in their natural state whichever is applicable as may be authorized by the governing authority, with no buildings or structures being erected within such easements.

and also grant and dedicate unto all owners of lots upon which private utility easements as shown hereon, for the purpose of perpetual maintenance and operation.

In witness whereof _____ have hereunto set _____ this
day of _____ A.D., 20____.

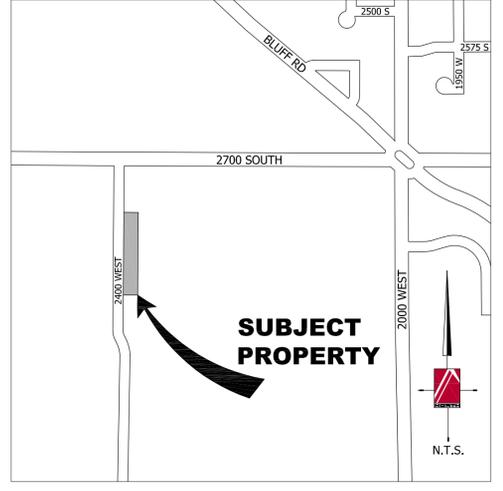
ACKNOWLEDGMENT

STATE OF UTAH)
County of Davis)
On the _____ day of _____ A.D., 20____, personally appeared before me, the undersigned Notary public, in and for said County of Davis in said State of Utah, the signer () of the above Owner's dedication, _____ in number, who duly acknowledged to me that signed it freely and voluntarily and for the uses and purposes therein mentioned.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC
RESIDING IN DAVIS COUNTY

FOX HAVEN SUBDIVISION
PART OF THE NORTHEAST QUARTER OF SECTION 21,
TOWNSHIP 4 NORTH, RANGE 2 WEST,
SALT LAKE BASE AND MERIDIAN,
SYRACUSE CITY, DAVIS COUNTY, UTAH

VICINITY MAP



CENTURYLINK
APPROVED THIS _____ DAY OF _____, 20____,
BY A REPRESENTATIVE OF QWEST COMMUNICATIONS.
CENTURYLINK COMMUNICATIONS REPRESENTATIVE

QUESTAR GAS COMPANY
APPROVED THIS _____ DAY OF _____, 20____,
BY A REPRESENTATIVE OF QUESTAR GAS COMPANY.
QUESTAR GAS COMPANY REPRESENTATIVE

DEVELOPER
CLINT SHERMAN
2831 WEST 2700 SOUTH
SYRACUSE, UT 84075
TEL: 801-721-0912
FAX: 801-779-9383

ROCKY MOUNTAIN POWER
APPROVED THIS _____ DAY OF _____, 20____,
BY A REPRESENTATIVE OF ROCKY MOUNTAIN POWER.
ROCKY MOUNTAIN POWER REPRESENTATIVE

CITY ATTORNEY'S APPROVAL
APPROVED THIS _____ DAY OF _____, 20____,
BY THE SYRACUSE ATTORNEY.
SYRACUSE CITY ATTORNEY

LEGEND

- PROPERTY LINE
- LOT LINE
- CENTER / SECTION LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- ADJOINING LOT LINE
- PROPOSED STREET MONUMENT
- SECTION CORNER
- PUBLIC UTILITY & DRAINAGE EASEMENT
- SET 5/8" REBAR WITH AN ORANGE PLASTIC CAP, OR NAIL & WASHER STAMPED "PINNACLE ENG & LAND SURV."

PINNACLE
Engineering & Land Surveying, Inc.
2720 North 350 West, Suite #108 Layton, UT 84041
Phone: (801) 773-1910 Fax: (801) 773-1925

PLANNING COMMISSION APPROVAL
APPROVED THIS _____ DAY OF _____, 20____,
BY THE SYRACUSE CITY PLANNING COMMISSION.
CHAIRMAN, SYRACUSE CITY PLANNING COMMISSION

CITY ENGINEER'S APPROVAL
APPROVED THIS _____ DAY OF _____, 20____,
BY THE SYRACUSE CITY ENGINEER.
SYRACUSE CITY ENGINEER

CITY COUNCIL APPROVAL
APPROVED THIS _____ DAY OF _____, 20____,
BY THE SYRACUSE CITY COUNCIL.
ATTEST:
SYRACUSE CITY RECORDER SYRACUSE CITY MAYOR

DAVIS COUNTY RECORDER
ENTRY NO. _____ FEE PAID _____ FILED FOR RECORD AND
RECORDED THIS _____ DAY OF _____, 20____ AT _____ IN
BOOK _____ OF OFFICIAL RECORDS PAGE _____
DAVIS COUNTY RECORDER
BY: _____ DEPUTY RECORDER

GENERAL NOTES

- CONTRACTOR SHALL OBTAIN A COPY OF, AND STRICTLY ADHERE TO THE CURRENT STANDARDS AND SPECIFICATIONS OF ALL APPLICABLE AGENCIES.
- NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFOREHAND.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENTS STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- TRAFFIC CONTROL TO CONFORM TO THE CURRENT CITY OR COUNTY TRANSPORTATION ENGINEER'S MANUAL.

GEOTECHNICAL NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 100% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTOR REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUB GRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND PLANS, ETC.

DEMOLITION NOTES

- CONTRACTOR TO LEGALLY REMOVE & DISPOSE OF ALL EXTRANEIOUS UTILITIES, STRUCTURES, IMPROVEMENTS & DEBRIS ON THE SITE PRIOR TO CONSTRUCTING THE IMPROVEMENTS SHOWN ON THIS PLAN.
- SAID DEMOLITION MAY INCLUDE, BUT IS NOT LIMITED TO UTILITY SERVICES AS WELL AS ASPHALT, CONCRETE, FENCES, TREES, SHRUBS & OTHER DELETERIOUS MATERIALS ON THE SITE.
- SAID DEMOLITION EXCLUDES UTILITY MAINS UNLESS SPECIFICALLY SHOWN ON THIS PLAN.
- SAID DEMOLITION EXCLUDES PUBLICLY OWNED STREET IMPROVEMENTS UNLESS SPECIFICALLY SHOWN ON THIS PLAN.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- CONTRACTOR IS TO COORDINATE ALL PERMITS, FEES & INSPECTIONS AS REQUIRED BY ANY AGENCY HAVING JURISDICTION.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO SITE. THE APPROACH SHALL BE DESIGNATED BY THE GENERAL MANAGER.

UNDERGROUND INFORMATION

- THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS IS BASED ON INFORMATION GATHERED FROM UTILITIES AND/OR FROM ABOVE-GROUND STRUCTURES OR EVIDENCE FOUND AT THE TIME OF SURVEY. AS SUCH, THE UNDERGROUND INFORMATION IS A BEST ESTIMATE. PINNACLE DOES NOT REPRESENT OR GUARANTEE THAT THE UNDERGROUND INFORMATION PROVIDED IS CORRECT OR UP TO DATE.
- IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. CALL BLUESTAKES A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY DIGGING OR UTILITY WORK.
- NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.

UTILITY NOTES

CONTRACTOR SHALL OBTAIN A COPY OF, AND STRICTLY ADHERE TO THE CURRENT STANDARDS AND SPECIFICATIONS OF CITY OF SYRACUSE. CONTRACTOR IS TO OBTAIN ANY REQUIRED PERMITS AND NOTIFY THE UTILITY OWNER AND PINNACLE ENGINEERING PRIOR TO BEGINNING ANY WORK ON WET UTILITIES. CONTRACTOR IS TO COORDINATE DRY UTILITY WORK WITH THE UTILITY OWNERS.

STORM DRAIN
SEE CITY OF SYRACUSE STANDARDS & SPECIFICATIONS FOR ALL DETAILS & SPECIFICATIONS GOVERNING THE CONSTRUCTION & INSPECTION OF THE STORM DRAIN & APPURTENANCES WITHIN THE PUBLIC RIGHT-OF-WAY SHOWN ON THIS PLAN. SEE THE DETAILS PROVIDED ON THIS SET OF DRAWINGS FOR ALL OTHER STORM DRAIN CONSTRUCTION.

LAND DRAIN
SEE CITY OF SYRACUSE STANDARDS & SPECIFICATIONS FOR ALL DETAILS & SPECIFICATIONS GOVERNING THE CONSTRUCTION & INSPECTION OF THE LAND DRAIN & APPURTENANCES SHOWN ON THIS PLAN. SEE THE DETAILS PROVIDED ON THIS SET OF DRAWINGS FOR ALL OTHER STORM DRAIN CONSTRUCTION.

SANITARY SEWER
SEE CITY OF SYRACUSE STANDARDS & SPECIFICATIONS FOR ALL DETAILS & SPECIFICATIONS GOVERNING THE CONSTRUCTION & INSPECTION OF THE SANITARY SEWER & APPURTENANCES SHOWN ON THIS PLAN.

CULINARY WATER
SEE CITY OF SYRACUSE STANDARDS & SPECIFICATIONS FOR ALL DETAILS & SPECIFICATIONS GOVERNING THE CONSTRUCTION & INSPECTION OF THE CULINARY WATER & APPURTENANCES SHOWN ON THIS PLAN.

SECONDARY WATER
SEE CITY OF SYRACUSE STANDARDS & SPECIFICATIONS FOR ALL DETAILS & SPECIFICATIONS GOVERNING THE CONSTRUCTION & INSPECTION OF THE SECONDARY WATER & APPURTENANCES SHOWN ON THIS PLAN.

DRY UTILITIES
THESE PLANS SHOW THE LOCATION OF POWER, NATURAL GAS, AND COMMUNICATIONS UTILITIES, BUT ARE NOT DESIGN DRAWINGS FOR THE RELOCATION OR REMOVAL OF EXISTING DRY UTILITIES, NOR FOR ANY NEW DRY UTILITY STUBS. CONTRACTOR IS TO SUBMIT SITE PLAN TO DRY UTILITIES FOR DESIGN OF SERVICE CONNECTIONS TO BUILDING. ACTUAL CONSTRUCTION OF SAID SERVICES TO BE DONE BY RESPECTIVE UTILITY PROVIDERS.

- CONTRACTOR MUST START AT THE LOW END OF ALL GRAVITY FED LINES AND WORK UP HILL. FAILURE TO COMPLY WITH THIS NOTE WILL RELEASE THE CIVIL ENGINEER OF ALL LIABILITY.
- THE CONTRACTOR IS TO VERIFY DEPTHS OF UTILITIES IN THE FIELD BY POT HOLING A MINIMUM OF 300 FEET AHEAD OF PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNING PIPELINE GRADE AND ALIGNMENT. IF A CONFLICT ARISES RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO POT HOLE UTILITIES THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW PIPE DURING CONSTRUCTION.
- ALL THRUST BLOCKS SHALL BE POURED IN PLACE AGAINST UNDISTURBED SOIL AS PER SPECIFICATIONS, ALL VALVES, FITTINGS, AND APPURTENANCES TO BE BLOCKED.
- IF LOOP OF WATERLINE IS REQUIRED, RESTRAINED JOINT FITTINGS AND CONCRETE THRUST BLOCKS WILL BE REQUIRED.
- CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- CONCRETE COLLARS WILL BE REQUIRED ON THE EXTERIOR CONNECTION TO ALL CATCH BASINS AND MANHOLES WHICH DO NOT HAVE A RUBBER BOOT.
- SIDEWALK THROUGH DRIVEWAYS SHALL BE A MINIMUM OF 6" THICK.

ABOVE-GROUND IMPROVEMENTS

CONTRACTOR SHALL OBTAIN A COPY OF, AND STRICTLY ADHERE TO THE CURRENT CITY OF SYRACUSE STANDARDS AND SPECIFICATIONS. CONTRACTOR IS TO OBTAIN ANY REQUIRED PERMITS AND NOTIFY THE STREET OWNER AND PINNACLE ENGINEERING PRIOR TO BEGINNING ANY WORK WITHIN SAID STREET.

ANY SITE WORK OUTSIDE OF THE PUBLICLY OWNED RIGHT OF WAY SHALL CONFORM WITH THE NOTES AND DETAILS SHOWN ON THIS SET OF PLANS. CONTRACTOR IS TO NOTIFY THE OWNER AND PINNACLE ENGINEERING PRIOR TO BEGINNING SAID WORK.

1. ALL DIMENSIONS, AND GRADES SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

2. ALL EXISTING MANHOLES, WATER VALVES, CLEAN OUTS, ETC., ARE TO BE RAISED OR LOWERED TO GRADE.

3. ALL NEW VALVES, MANHOLES, ETC. SHALL BE INSTALLED A MINIMUM OF 6" BELOW FINISH GRADE & RAISED TO GRADE AS REQUIRED WITH A MINIMUM 6" CONCRETE RING.

4. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION, AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET. SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/2 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING.

5. CONCRETE WATERWAYS, CURB WALLS, MOW STRIPS, CURB AND GUTTER, ETC., WILL TYPICALLY BE SCORED (1/2 THE DEPTH) AT INTERVALS NOT TO EXCEED 10 FEET, AND HAVE FULL DEPTH EXPANSION JOINTS THAT EQUAL SPACING NOT TO EXCEED 40 FEET.

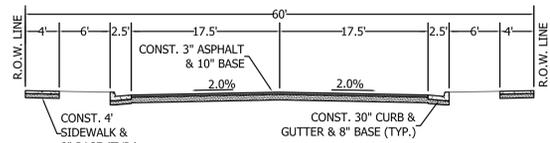
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.

7. ALL EXISTING ASPHALT WILL BE SAW CUT IN NEAT STRAIGHT LINES BY THE CONTRACTOR PRIOR TO EXCAVATION.

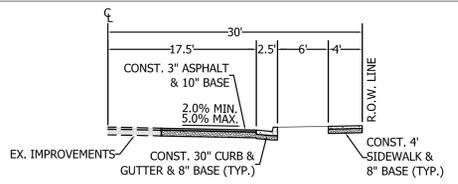
8. HANDICAP ACCESSIBILITY: ALL CONSTRUCTION SHALL MEET THE ADA HANDICAP ACCESSIBILITY REQUIREMENTS. FOR ANY DISCREPANCIES BETWEEN THE PLANS AND ADA REQUIREMENTS, ADA REQUIREMENTS WILL GOVERN.

9. STRIPING WILL BE PER THE PLANS AND/OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. STRIPING TO INCLUDE HANDICAP INSIGNIAS, SIGNS, CROSS-HATCHING, DIRECTION ARROWS, ETC. AS SHOWN OR AS DIRECTED.

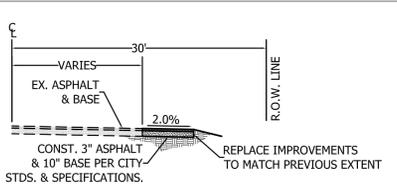
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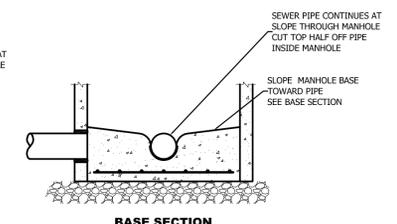
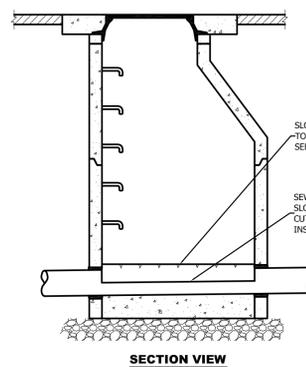
TYPICAL ROADWAY X-SECTION



TYPICAL ROADWAY HALF-SECTION

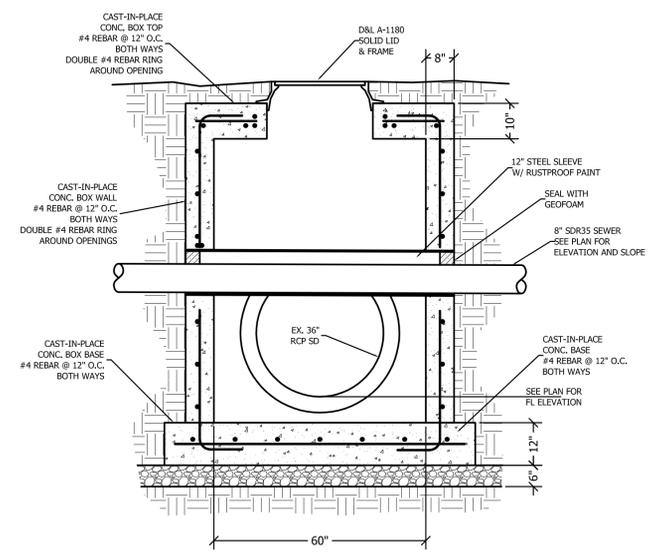


TYPICAL ROADWAY REPAIR X-SECTION



FLOW-THRU SANITARY SEWER MANHOLE

CONSTRUCT MANHOLE PER SYRACUSE CITY SEWER STANDARD DRAWINGS SHEET 17 WITH THE SOLE EXCEPTIONS NOTED ON THIS DETAIL DRAWING



CONFLICT BOX

ABBREVIATIONS

- Ø DIAMETER
- Δ DELTA
- ° DEGREES
- ' MINUTES, FEET
- " SECONDS, INCHES
- AD ALGEBRAIC DIFFERENCE
- ADA AMERICAN DISABILITIES ACT
- ADC CORRUGATED BLACK PLASTIC PIPE
- ARCH ARCHITECTURAL
- BAR & CAP
- BL BOUNDARY LINE
- BLA BOUNDARY LINE AGREEMENT
- BM BENCHMARK
- BND BOUNDARY
- BOW BACK OF WALK
- BRG BEARING
- BV BUTTERFLY VALVE
- BVC BEGIN VERTICAL CURVE
- BVCE BEGIN VERTICAL CURVE ELEVATION
- BVBH BEGIN VERTICAL CURVE STATION
- CSG CURB AND GUTTER
- CB CATCH BASIN
- CH CHORD
- CHB CHORD BEARING
- CI CAST IRON
- CL CENTERLINE
- CMP CORRUGATED METAL PIPE
- CO CLEANOUT
- COMBO COMBINATION
- CONC CONCRETE
- CONST CONSTRUCTION
- CP CONTROL POINT
- CUL CULINARY
- CW CULINARY WATER
- CUL CULINARY WATERLINE
- DEMO DEMOLITION
- DI DUCTILE IRON
- DIAM DIAMETER
- DIST DISTANCE
- DIV DIVERSION
- E EAST
- EASE EASEMENT
- EG EXISTING GRADE
- EL ELBOW
- ELC ELECTRICAL
- EVC END VERTICAL CURVE
- EVCE END VERTICAL CURVE ELEVATION
- EVCS END VERTICAL CURVE STATION
- EX EXISTING
- FG FINISH GRADE
- FH FIRE HYDRANT
- FL FLOWLINE
- FND FOUND
- FND FOUNDATION
- FTG FOOTING
- GB GRADE BREAK
- GR GRATE
- GV GATE VALVE
- HDPE HIGH-DENSITY POLYETHYLENE PIPE
- HP HIGH POINT
- HPE HIGH POINT ELEVATION
- HPS HIGH POINT STATION
- ID INSIDE DIAMETER
- INV INVERT
- IRR IRRIGATION
- IRRM IRRIGATION MANHOLE
- K RADIUS OF CURVATURE
- L LENGTH
- LAT LATERAL SERVICE
- LD LAND DRAIN
- LDHM LAND DRAIN MANHOLE
- LG LIP OF GUTTER
- LP LOW POINT
- LPE LOW POINT ELEVATION
- LPS LOW POINT STATION
- MECH MECHANICAL
- MH MANHOLE
- MON MONUMENT
- N NORTH
- NE NORTHEAST
- NR NON-RADIAL
- NW NORTHWEST
- OC ON CENTER
- OD OUTSIDE DIAMETER
- PL PROPERTY LINE
- PROP PROPERTY
- PUE PUBLIC UTILITY EASEMENT
- PUE&DE PUBLIC UTILITY & DRAINAGE EASEMENT
- PUE&DE PUBLIC UTILITY EASEMENT & DRAINAGE EASEMENT
- PVC POLY(VINYL)CHLORIDE
- R RADIUS
- RCL ROADWAY CENTERLINE
- RCP REINFORCED CONCRETE PIPE
- S SOUTH
- SD STORM DRAIN
- SDCB STORM DRAIN CATCH BASIN
- SDCO STORM DRAIN CLEANOUT
- SDMH STORM DRAIN MANHOLE
- SE SOUTHEAST
- SEC SECONDARY SECTION
- SLB&M SALT LAKE BASE & MERIDIAN SPECIFICATION
- SPP STEEL PIPE
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- STD STANDARD
- STDS STANDARDS
- SW SECONDARY WATER
- SW SOUTHWEST
- SWL SECONDARY WATERLINE
- TAN TANGENT
- TB THRUST BLOCK
- TBC TOP BACK OF CURB
- TBW TOP BACK OF WALK
- TEL TELEPHONE
- TCW TOP OF CURB/WALL
- TOA TOP OF ASPHALT
- TOC TOP OF CONCRETE
- TOG TOP OF GRATE
- TOW TOP OF WALL
- UTIL UTILITY
- V VALVE
- VC VERTICAL CURVE
- W WATER
- W WEST
- WL WATERLINE
- WM WATER METER
- X CROSS
- X-SECT CROSS-SECTION

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FOX HAVEN
NOTES AND DETAILS
FOR: CLINT SHERMAN
2800 SOUTH 2400 WEST
SYRACUSE, UTAH
PROJECT # 11-069

REVISION	DATE	BY
R1	11-2011	SPB
R2	11-2011	SPB
R3	6-2012	LKM
R4	6-2012	LKM
R5	6-2012	LKM
R6	6-2012	LKM
R7	6-2012	SJF
R8	6-2012	SJF
R9	6-2012	SJF

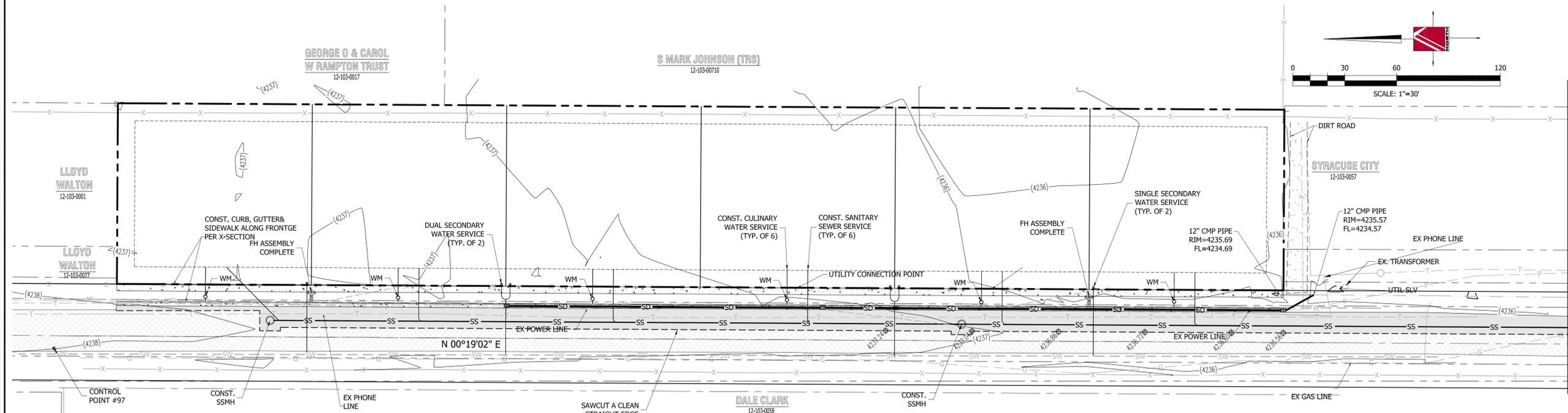
SURVEYED BY: SPB
 DESIGNED BY: LKM
 DRAWN BY: LKM
 APPROVED BY: SJF

CALL BLUESTAKES
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AT LEAST 48 HOURS BEFORE DIGGING

SHEET 03 OF 08

P:\2011 Projects\11-069\fig11-069 CONST.dwg 11/15/2012 11:51:03 AM



MATCHLINE - SEE BELOW

FEASIBILITY REPORT

WATER: WATER WILL BE CONNECTED TO THE EXISTING WATERLINE

SEWER: THE SEWER LINE WILL BE EXTENDED FROM THE CITY SHOPS DOWN TO THE PROPERTY

STORM DRAIN: THE STORM WATER WILL TIE IN TO THE EXISTING STORM DRAIN AT THE SOUTHWEST CORNER OF THE PROPERTY

SECONDARY WATER: NO SECONDARY WATER

LAND DRAIN: NO LAND DRAINS

IRRIGATION WATER: THERE IS A WELL LOCATED ON THE PROPERTY - IRRIGATION WATER NOT NEEDED

DENSITY ALLOWABLE: 3.79 X 1.61 = 6.10 LOTS AS DESIGNED: 6 LOTS / 1.61 ACRES = 3.73 LOTS/ACRE

NO OPEN SPACE REQUIRED

NO EXISTING WETLANDS ON PROPERTY

NO PHASING

NO SECONDARY ACCESS REQUIRED

GENERAL NOTES

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LEGEND

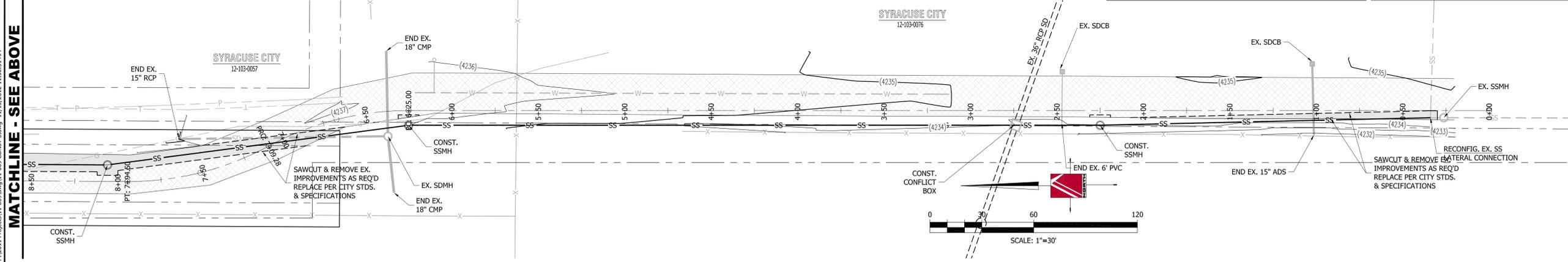
- NOT ALL ITEMS IN THE LEGEND MAY BE APPLICABLE
- BOUNDARY LINE
 - CENTERLINE
 - EASEMENT LINE
 - SETBACK LINE
 - IRR NEW IRRIGATION LINE
 - LD NEW LAND DRAIN
 - SD NEW STORM DRAIN
 - SS NEW SANITARY SEWER
 - SW NEW SECONDARY WATERLINE
 - W NEW CULINARY WATERLINE
 - IRR EX. IRRIGATION LINE
 - LD EX. LAND DRAIN
 - OHP EX. OVERHEAD POWER LINE
 - SD EX. STORM DRAIN
 - SS EX. SANITARY SEWER
 - SW EX. SECONDARY WATERLINE
 - G EX. GAS LINE
 - W EX. CULINARY WATERLINE
 - SECTION CORNER MONUMENT
 - CONTROL POINT
 - EX. SPOT ELEVATION
 - (4250) EG CONTOUR LINE
 - (4250) FG CONTOUR LINE
 - EXISTING ASPHALT
 - CONST. ASPHALT & BASE PER X-SECTION
 - CONST. CONC. C&G PER X-SECTION
 - CONST. CONC. SIDEWALK PER X-SECTION

BENCHMARK

BENCHMARK IS: THE TOP OF THE QUARTER CORNER OF SECTION 21, T.4N., R.2W., S.L.B.&M. ELEV. = 4237.55

IMPROVEMENT NOTES

THIS SET OF PLANS PROVIDES THE DESIGN OF ROAD IMPROVEMENTS, SEWER, LAND DRAIN, STORM DRAIN, CULINARY WATER, AND SECONDARY WATER. THIS SET OF PLANS DOES NOT PROVIDE DESIGN INFORMATION FOR DRY UTILITIES. DEVELOPER TO COORDINATE DESIGN & CONSTRUCTION OF DRY UTILITIES WITH THE PROVIDERS OF SAID DRY UTILITIES IN ACCORDANCE WITH THE CHANGES SPECIFICALLY SHOWN ON THESE PLANS.



MATCHLINE - SEE ABOVE

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Engineering & Land Surveying, Inc.
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Phone: (801) 866-0676
Fax: (801) 866-0678

FOX HAVEN
SITE PLAN
FOR: CLINT SHERMAN
2800 SOUTH 2400 WEST
SYRACUSE, UTAH
PROJECT # 11-069

REVISION	DATE	BY
R1	11-2011	SPB
R2	11-2011	SPB
R3	6-2012	LKM
R4	6-2012	LKM
R5	6-2012	LKM
R6	6-2012	LKM
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R8	6-2012	SJF
R9	6-2012	SJF

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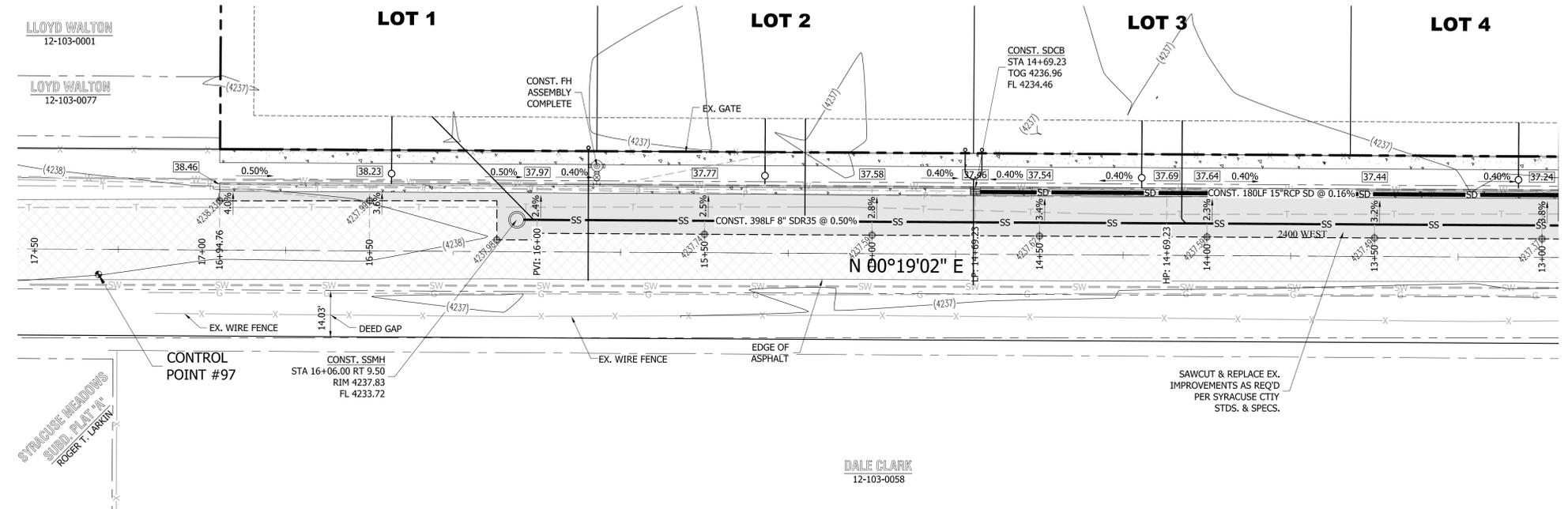
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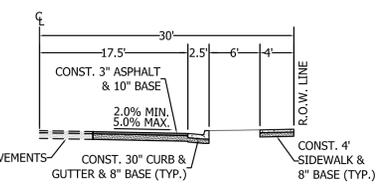
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FOR: CLINT SHERMAN
2800 SOUTH 2400 WEST
SYRACUSE, UTAH
PROJECT # 11-069



SEE SHEET 06



TYPICAL ROADWAY HALF-SECTION

EXISTING ASPHALT NOTES

THE CURB & GUTTER ELEVATIONS SHOWN BELOW ARE BASED ON A SURVEY OF EXISTING EDGE OF ASPHALT ELEVATIONS, AND ARE INTENDED AS A BEST FIT OF NEW CONCRETE TO EXISTING ASPHALT ELEVATIONS, AS SUCH, THIS DESIGN IS SUBJECT TO FIELD ADJUSTMENT AS REQUIRED. CONTRACTOR IS TO FIELD VERIFY A MINIMUM OF 2% AND A MAXIMUM OF 5% CROSS SLOPE FROM EXISTING ASPHALT TO LIP OF GUTTER & COORDINATE ANY CHANGES WITH PINNACLE ENGINEERING PRIOR TO CONSTRUCTING THE CURB & GUTTER SHOW ON THIS PLAN.

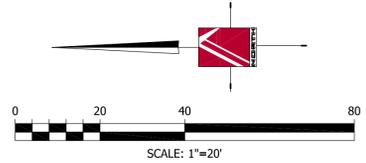
CONTRACTOR IS TO SAWCUT A NEAT, STRAIGHT EDGE ALONG THE EXISTING EDGE OF ASPHALT & TACK PRIOR TO PLACING NEW ASPHALT ADJACENT TO EXISTING ASPHALT.

SEE THE SYRACUSE CITY STANDARDS REGARDING ASPHALT PATCHING. A 24" T-PATCH IS REQUIRED FOR TRENCH DEPTHS 30"-48". A 36" T-PATCH IS REQUIRED FOR TRENCH DEPTH GREATER THAN 48". IF THE TRENCH PATCH EXCEEDS 60% OF THE WIDTH OF THE EXISTING LANE OF TRAVEL, THE LANE IN ITS ENTIRETY SHALL BE REPLACED TO THE CROWN.

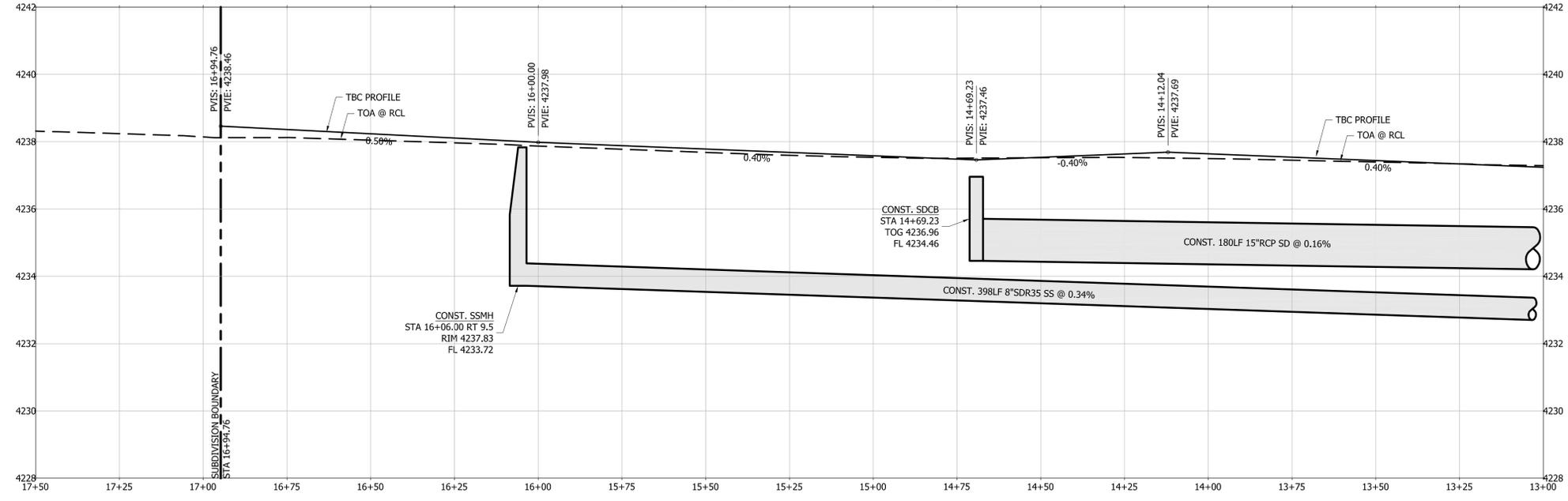
UTILITY CROSSING NOTES

A A UTILITY LINE IS DESIGNED TO CROSS AN EXISTING UTILITY AT THIS LOCATION. CONTRACTOR IS TO POTHOLE THE EXISTING UTILITY AT THIS LOCATION & NOTIFY PINNACLE ENGINEERING. FIELD VERIFICATION OF A VIABLE PIPE CROSSING IS REQUIRED PRIOR TO ANY CONSTRUCTION.

B UTILITY LINES ARE DESIGNED TO CROSS AT THIS LOCATION. CONTRACTOR IS TO PLAN AHEAD SO THAT PIPE ELEVATIONS DO NOT CONFLICT.



2400 WEST STA 13+00 TO 17+50



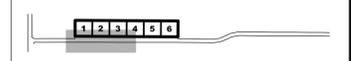
LEGEND

NOT ALL ITEMS IN THE LEGEND MAY BE APPLICABLE

---	BOUNDARY LINE
---	CENTERLINE
---	EASEMENT LINE
---	SETBACK LINE
---	NEW IRRIGATION LINE
---	NEW LAND DRAIN
---	NEW STORM DRAIN
---	NEW SANITARY SEWER
---	NEW SECONDARY WATERLINE
---	NEW CULINARY WATERLINE
---	EX. IRRIGATION LINE
---	EX. LAND DRAIN
---	EX. OVERHEAD POWER LINE
---	EX. STORM DRAIN
---	EX. SANITARY SEWER
---	EX. SECONDARY WATERLINE
---	EX. TELEPHONE LINE
---	EX. GAS LINE
---	EX. CULINARY WATERLINE
+	SECTION CORNER
+	MONUMENT
+	CONTROL POINT
+	EX. SPOT ELEVATION
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SHEET LOCATION GUIDE



REVISION	DATE	BY
R1		
R2		
R3		
R4		
R5		
R6		
R7		
R8		
R9		

SURVEYED BY	DATE
SPB	11-2011
DESIGNED BY	DATE
LKM	6-2012
DRAWN BY	DATE
LKM	6-2012
APPROVED BY	DATE
SJF	6-2012

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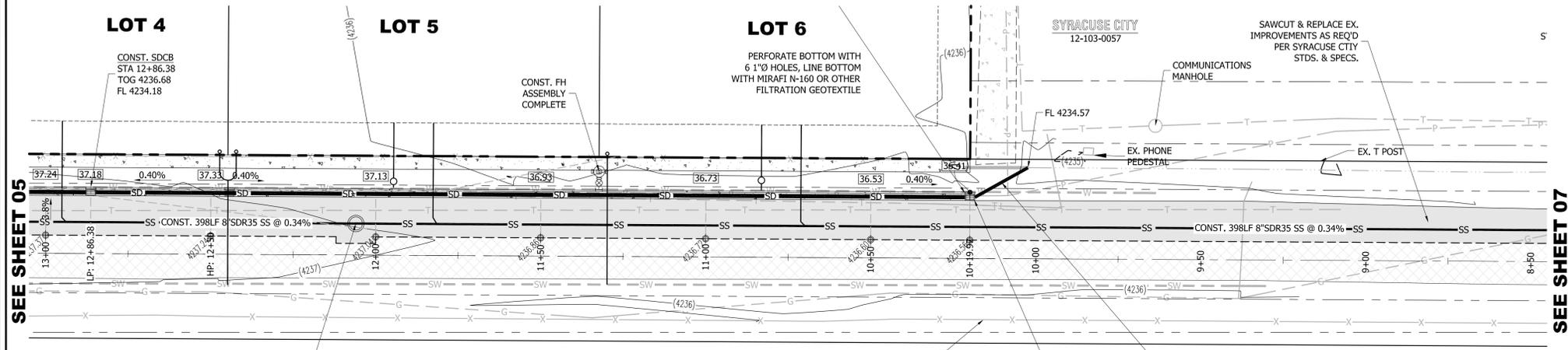
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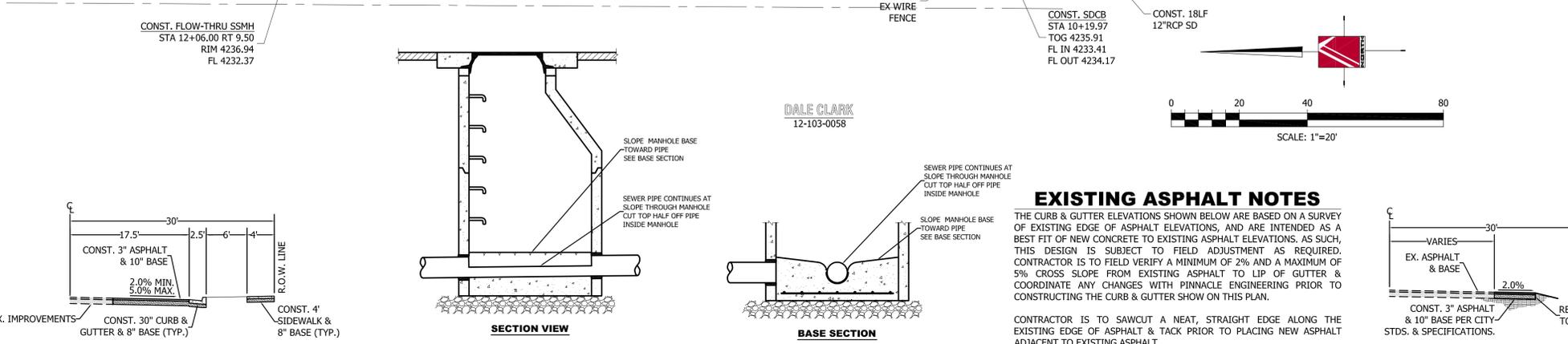
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FOR: CLINT SHERMAN
2800 SOUTH 2400 WEST
SYRACUSE, UTAH
PROJECT # 11-069



SEE SHEET 05

SEE SHEET 07



EXISTING ASPHALT NOTES

THE CURB & GUTTER ELEVATIONS SHOWN BELOW ARE BASED ON A SURVEY OF EXISTING EDGE OF ASPHALT ELEVATIONS, AND ARE INTENDED AS A BEST FIT OF NEW CONCRETE TO EXISTING ASPHALT ELEVATIONS. AS SUCH, THIS DESIGN IS SUBJECT TO FIELD ADJUSTMENT AS REQUIRED. CONTRACTOR IS TO FIELD VERIFY A MINIMUM OF 2% AND A MAXIMUM OF 5% CROSS SLOPE FROM EXISTING ASPHALT TO LIP OF GUTTER & COORDINATE ANY CHANGES WITH PINNACLE ENGINEERING PRIOR TO CONSTRUCTING THE CURB & GUTTER SHOW ON THIS PLAN.

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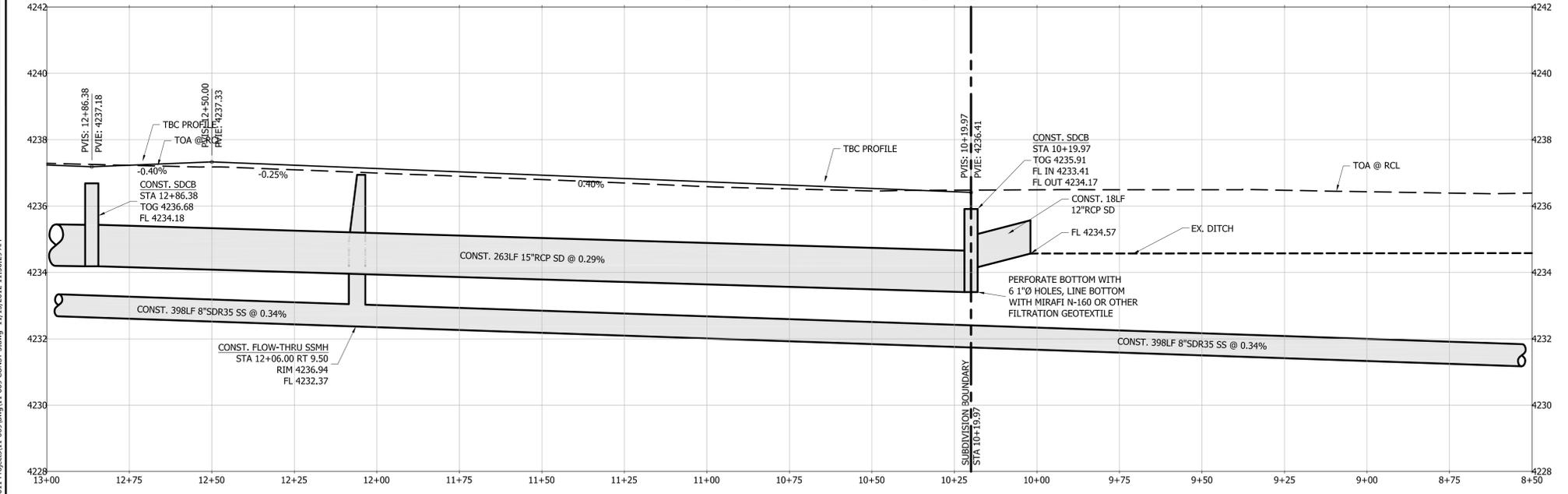
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TYPICAL ROADWAY HALF-SECTION

FLOW-THRU SANITARY SEWER MANHOLE

TYPICAL ROADWAY REPAIR X-SECTION

2400 WEST STA 8+50 TO 13+00



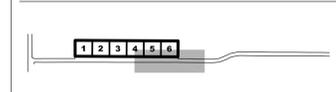
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SHEET LOCATION GUIDE



REVISION	DATE	BY
R1		
R2		
R3		
R4		
R5		
R6		
R7		
R8		
R9		

SURVEYED BY: SPB 11-2011
DESIGNED BY: LKM 6-2012
DRAWN BY: LKM 6-2012
APPROVED BY: SJF 6-2012

CALL BLUESTAKES
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SHEET 06 OF 08

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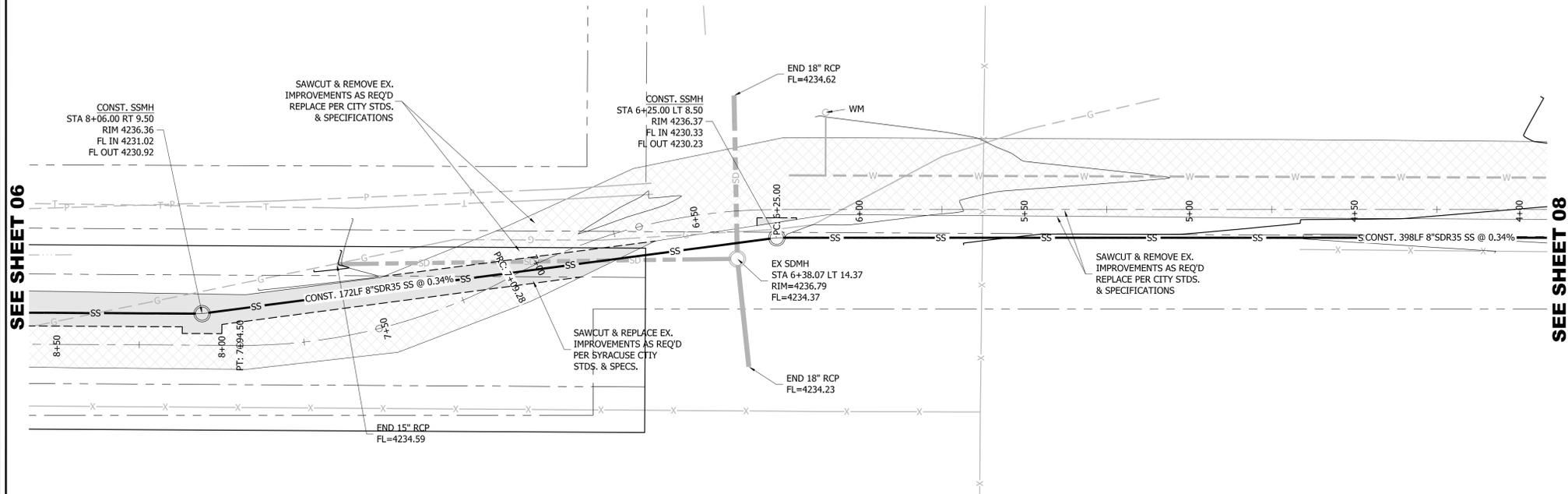
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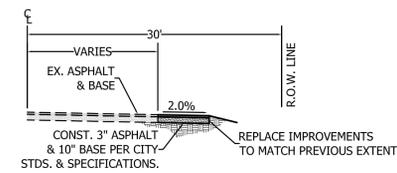
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SEE SHEET 06

SEE SHEET 08



TYPICAL ROADWAY REPAIR X-SECTION

EXISTING ASPHALT NOTES

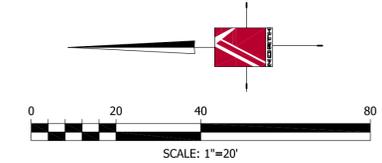
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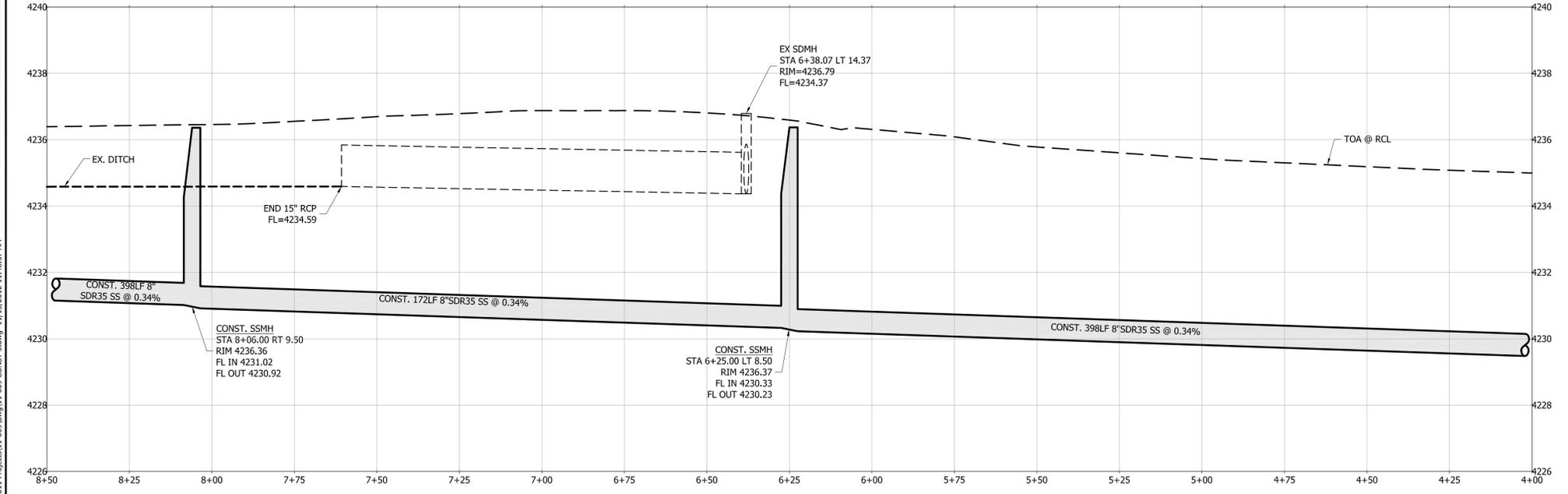
UTILITY CROSSING NOTES

A A UTILITY LINE IS DESIGNED TO CROSS AN EXISTING UTILITY AT THIS LOCATION. CONTRACTOR IS TO POTHOLE THE EXISTING UTILITY AT THIS LOCATION & NOTIFY PINNACLE ENGINEERING. FIELD VERIFICATION OF A VIABLE PIPE CROSSING IS REQUIRED PRIOR TO ANY CONSTRUCTION.

B UTILITY LINES ARE DESIGNED TO CROSS AT THIS LOCATION. CONTRACTOR IS TO PLAN AHEAD SO THAT PIPE ELEVATIONS DO NOT CONFLICT.



2400 WEST STA 4+00 TO 8+50



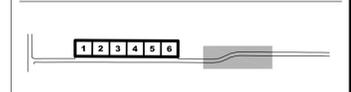
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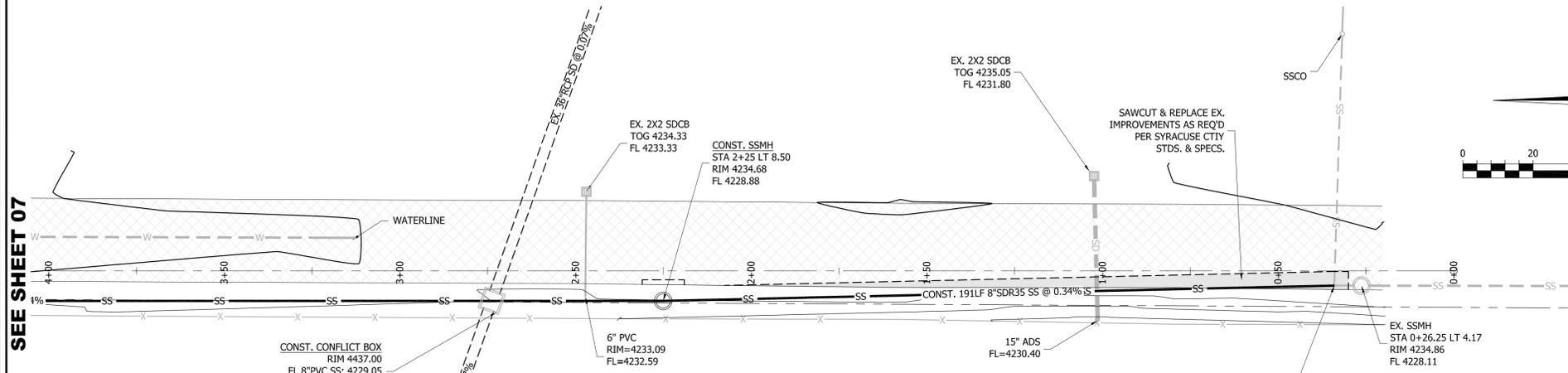
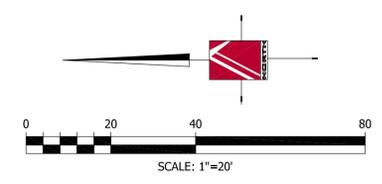
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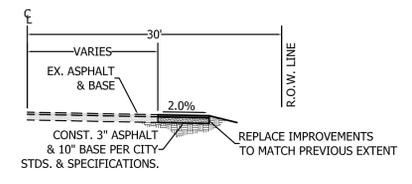
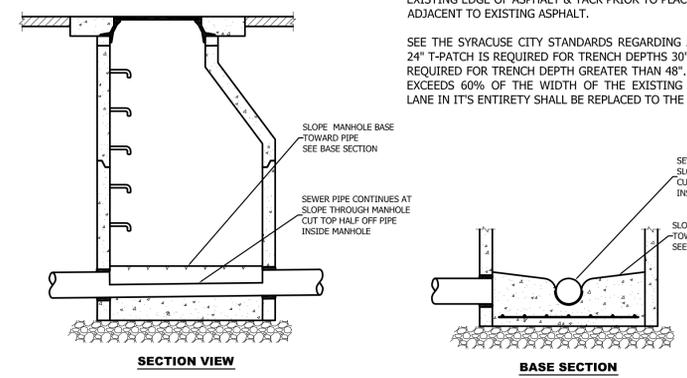


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CONNECT TO EX. SS MAIN RECONFIG. IF NO TEE EXISTS. DESIGN FL 4228.23 CONTRACTOR TO EXPOSE AND FIELD VERIFY PRIOR TO CONSTRUCTION STAKING

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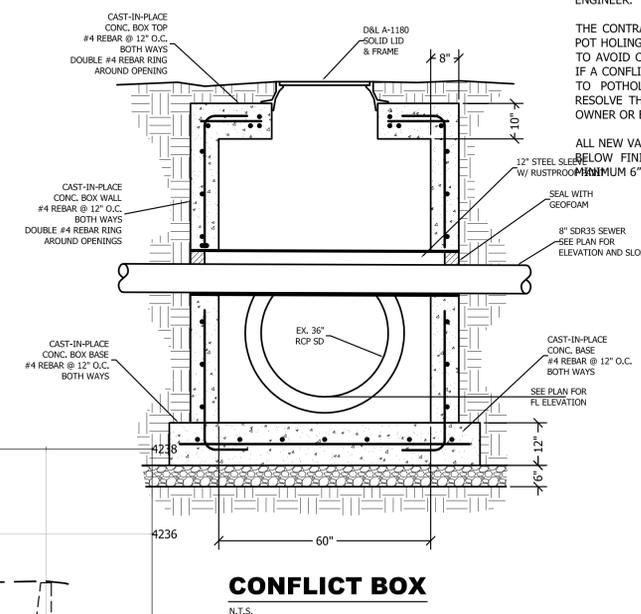
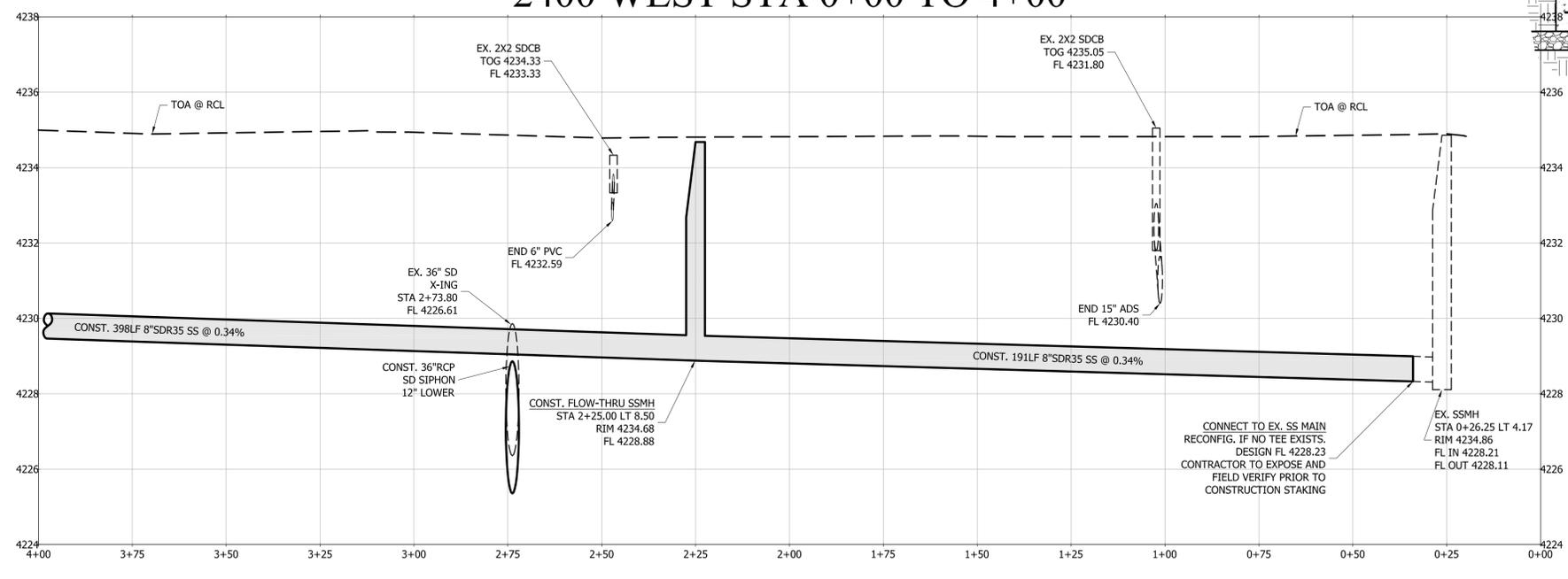


TYPICAL ROADWAY REPAIR X-SECTION

FLOW-THRU SANITARY SEWER MANHOLE

CONSTRUCT MANHOLE PER SYRACUSE CITY SEWER STANDARD DRAWINGS SHEET 17 WITH THE SOLE EXCEPTIONS NOTED ON THIS DETAIL DRAWING

2400 WEST STA 0+00 TO 4+00



LEGEND

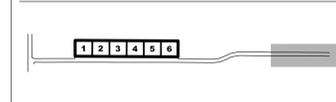
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R1	11-2011	SPB
R2	6-2012	LKM
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R6	6-2012	SJF
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**Engineer Preliminary Plan Review – Fox Haven Subdivision
2800 South 2400 West**

Completed by Brian Bloemen on November 16, 2012

Please review the following comments for the Fox Haven Subdivision and make any necessary changes:

1. All infrastructure shall be installed per Syracuse City Engineering Standards and Construction Specifications.
2. Set the top of pipe for most northerly catch basin 18" below finish grade and run a 0.5% slope from there going south to the south line of lot 6.
3. Water shares will be required to be given to the City for the development.
4. City council will need to approve any land transaction involving City owned property.

If you have any further comments or questions please feel free to contact me at 801-614-9630.

Sincerely,

Brian Bloemen
City Engineer



Subdivision Final Plan Review – Fox Haven

Completed by Sherrie Christensen, Planner on 11/08/2012

Recommendation: City staff recommends that the Planning Commission examine the Fox Haven Subdivision Final plan review as outlined below. Please pay specific attention to the items highlighted in yellow. City Staff hereafter recommends that the Planning Commission forward the Fox Haven Subdivision Final plat to the City Council with a recommendation for approval, subject to all requirements of the City’s municipal code and staff reviews.

8-6-1/8-6-2: Final Plat/Final Plan and Profile:	Planning Staff Review:
1. Proposed name of subdivision (to be approved by Planning Commission and County Recorder).	1. Fox Haven
2. Accurate angular and linear dimensions to describe boundaries, streets, easements, areas reserved for public use, etc.	2. Yes
3. Identification system for lots, blocks, and names of streets. Lot lines show dimensions in feet and hundredths.	3. Yes
4. Street address shown for each lot.	4. Yes
5. True angles and distances to nearest street lines or official monuments as accurately described and shown by appropriate symbol.	5. Yes
6. Radii, internal angles, points and curvatures, tangent bearings and the length of all arcs.	6. Yes
7. Accurate location of all monuments to be installed shown by appropriate symbol.	7. Yes
8. Dedication to City of all streets and other	8. Yes

public uses and easements.	
9. Street monuments shown on Final Plat.	9. Yes
10. Pipes or other iron markers shown on the plat.	10. Yes
11. Outlines and dimensions of public use areas or areas reserved for common use of all property owners showing on plat.	11. N/A
12. Boundary, lot and other geometrics on Final Plat accurate to not less than one part in five thousand.	12. Yes, refer to Engineer for further.
13. Location, function, ownership and manner of maintenance of remaining common open space showing on plat or in submission.	13. N/A
14. Legal boundary description of the subdivision and acreage included.	14. Yes, 1.61 acres
15. Current inset City map showing location of subdivision.	15. Yes
16. Standard signatures forms/boxes reflected on the Final Plat.	16. Yes
Final Plan and Profile	
17. Plan for culinary water improvements.	17. Submitted, see Engineer review.
18. Plan for secondary water improvements.	18. Submitted, see Engineer review.
19. Plan for sanitary sewer.	19. Submitted, see Engineer review.
20. Land drain.	20. See Engineer review
21. Storm water.	21. Submitted, see Engineer review.
22. Streets.	22. Submitted, see Engineer review.
23. Stationing.	23. Submitted, see Engineer review.
24. Agreements.	24. N/A

<p>Conditional Items for Final Plan Approval</p> <ul style="list-style-type: none"> 25. Park-purchase impact fee accord in the zoning and gross acreage in development as outlined in the City's fee schedule 26. Irrigation water rights per Subdivision Ordinance Section 8-2-9 27. An executed Escrow Agreement, provided by City staff, for improvement costs and bonding 28. An executed Improvement Agreement with Syracuse City, as provided by staff 29. An executed Streetlight Agreement, regarding installation of required lamps, as provided by City staff 30. Payment of final off-site inspection fees as outlined in City's fee schedule 31. Payment of County recording fees of \$37/page +\$1/lot and any common space as well as \$1/land-owner signatures over two <p>Conditions from Preliminary Plat Approval 8-3-1 Public Improvements:</p> <p>10-12-040 Minimum Lot Standards</p> <p>(F) Building Height. As allowed by current building code.</p>	<ul style="list-style-type: none"> 25. Required before mylar recording estimate not received 26. Required before mylar recording 5 Acre feet required 27. Required before mylar recording estimate not received 28. Required before mylar recording 29. See engineer review if required 30. Required before mylar recording 31. Required before mylar recordings \$43 <p>Planning Staff Review:</p> <p>(F) Yes-Per Building Code</p>
<p>Chapter 6 – General Land Use Regulations</p> <p>10-6-060 Miscellaneous Requirements and Provisions</p> <p>(B) Visibility at Intersections.</p> <p>10-6-080 Buffer Yards</p> <p>(C) <u>Determination and Approval of Buffer Yards Required.</u> To determine the type of buffer yard required between two (2) adjacent parcels or between a parcel and a street, the following procedure shall apply:</p> <ul style="list-style-type: none"> 1. Identify the land use category of the proposed use. 	<p>Planning Staff Review:</p> <p>10-6-060 Miscellaneous Requirements and Provisions</p> <p>(B) N/A</p> <p>10-6-080 Buffer Yards</p> <ul style="list-style-type: none"> 1. R-2

<p>2. Identify the use category of the existing land use adjacent of the proposed use by an on-site survey to determine the intensity classification from Table 1. Agricultural determination need not directly relate to whether or not someone is farming the adjacent property.</p> <p>3. Determine the buffer yard required for the proposed development by using Table 2.</p> <p>4. Using Buffer Tables A – E, identify the buffer yard options using the buffer yard requirement determine in Table 2.</p> <p>Other Issues:</p> <p>1. Title Report-Required</p> <p>2. Appraisal Report</p>	<p>2. R-1</p> <p>3. No Buffer required.</p> <p>4. N/A</p> <p>1. Submit title report prepared within the previous 30 days</p> <p>2. Submit appraisal for computation of park improvement fee.</p>

October 30, 2012

Syracuse City Planning Commission
c/o Syracuse Community Development
1979 W 1900 S
Syracuse, UT 84075

Dear Members of the Planning Commission,

Regarding, Fox Haven preliminary drawings 2800 South 2400 West Syracuse, after review of the plans we have no concerns regarding fire protection or access.

Please contact me if you have any questions or need additional comment.

Respectfully,

Jo Hamblin, Deputy Chief
Syracuse City Fire Department
1869 South 3000 West, Syracuse, UT 84075
Phone 801-614-9614





COUNCIL AGENDA

December 11, 2012

Agenda Item #8

Proposed Resolution R12-27 appointing Curt McCuiston to the Syracuse City Planning Commission with his term expiring on June 30, 2015.

Factual Summation

- Please see the attached memo from the Community and Economic Development Department. Any questions regarding this item can be directed at Mike Eggett, Community and Development Director.



Mayor
Jamie Nagle

City Council
Brian Duncan
Craig Johnson
Karianne Lisonbee
Douglas Peterson
Larry D. Shingleton

City Manager
Robert D. Rice

MEMORANDUM

To: Mayor and City Council

From: Community and Economic Development Department

Date: December 5, 2012

Subject: Syracuse City Planning Commission Appointment

Background

On November 21, 2012, Planning Commissioner Gregory Day submitted his notice of resignation from the Planning Commission to City leadership and stated it was due to personal reasons and responsibilities in his life. The term of this vacancy is scheduled to expire on June 30, 2015, which is in line with an effort to maintain established term rotations for commissioner appointments.

In June of 2012, Commissioner Curt McCuistion was reappointed to serve Syracuse City as an alternate member of the Planning Commission. Curt McCuistion has continued serving on the Commission in a very insightful and beneficial way.

The Mayor is recommending that the City Council support the appointment of Curt McCuistion to serve as a member of the Planning Commission by filling Mr. Day's vacancy on the Commission. Members of the Planning Commission have also expressed interest in having Commissioner McCuistion serve as a member of the body and not as an alternate member. Commissioner McCuistion has affirmed his interest and intent to fill this vacancy if appointed to serve in this capacity.

Additionally, the Community and Economic Development Department fully endorses and is in support of the Mayor's proposed appointment of Curt McCuistion to fill Mr. Day's vacancy on the Planning Commission. Commissioner McCuistion has brought a great balance of knowledge, opinions, and expertise to the Planning Commission and the CED Department looks forward to continuing its relationship with him.

For your use and review, City Staff has provided resolution 12-27 that supports the aforementioned appointment of Curt McCuiston to fill the Planning Commission vacancy.

Recommendation

The Community and Economic Development Department hereby recommends that the Mayor and City Council show their continued support for Commissioner McCuiston by approving his appointment to fill a currently vacant position on the Planning Commission.

RESOLUTION R12-27

**A RESOLUTION OF THE SYRACUSE CITY COUNCIL
APPOINTING CURT MCCUISTION TO THE SYRACUSE CITY
PLANNING COMMISSION WITH HIS TERM EXPIRING ON
JUNE 30, 2015.**

WHEREAS Title 3 of the Syracuse City Code provides for the establishment of a Planning Commission in Syracuse; and

WHEREAS Section 3.02.020 of the Syracuse City Code dictates that each member of the Planning Commission shall serve for a term of four years until his successor is appointed, or the term may be for shorter than four (4) years if necessary to provide for an appropriate staggering of terms on the Planning Commission; and

WHEREAS the current term on a Planning Commission position is currently vacant due to the resignation of Gregory Day on November 21, 2012; and

WHEREAS Curt McCuiston was previously reappointed to the Planning Commission to continue filling his position as an alternate Planning Commissioner.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF
SYRACUSE CITY, UTAH, AS FOLLOWS:**

Section 1. Appointment. Curt McCuiston is hereby appointed to serve on the Syracuse City Planning Commission by filling a Planning Commission vacancy, with his term expiring on June 30, 2015, and vacating his current position as an alternate Planning Commissioner.

Section 2. Severability. If any section, part or provision of this Resolution is held invalid or unenforceable, such invalidity or unenforceability shall not affect any other portion of this Resolution, and all sections, parts and provisions of this Resolution shall be severable.

Section 3. Effective Date. This Resolution shall become effective immediately upon its passage.

**PASSED AND ADOPTED BY THE CITY COUNCIL OF SYRACUSE
CITY, STATE OF UTAH, THIS 11th DAY OF DECEMBER, 2012.**

SYRACUSE CITY

ATTEST:

Cassie Z. Brown, City Recorder

By: _____
Jamie Nagle, Mayor



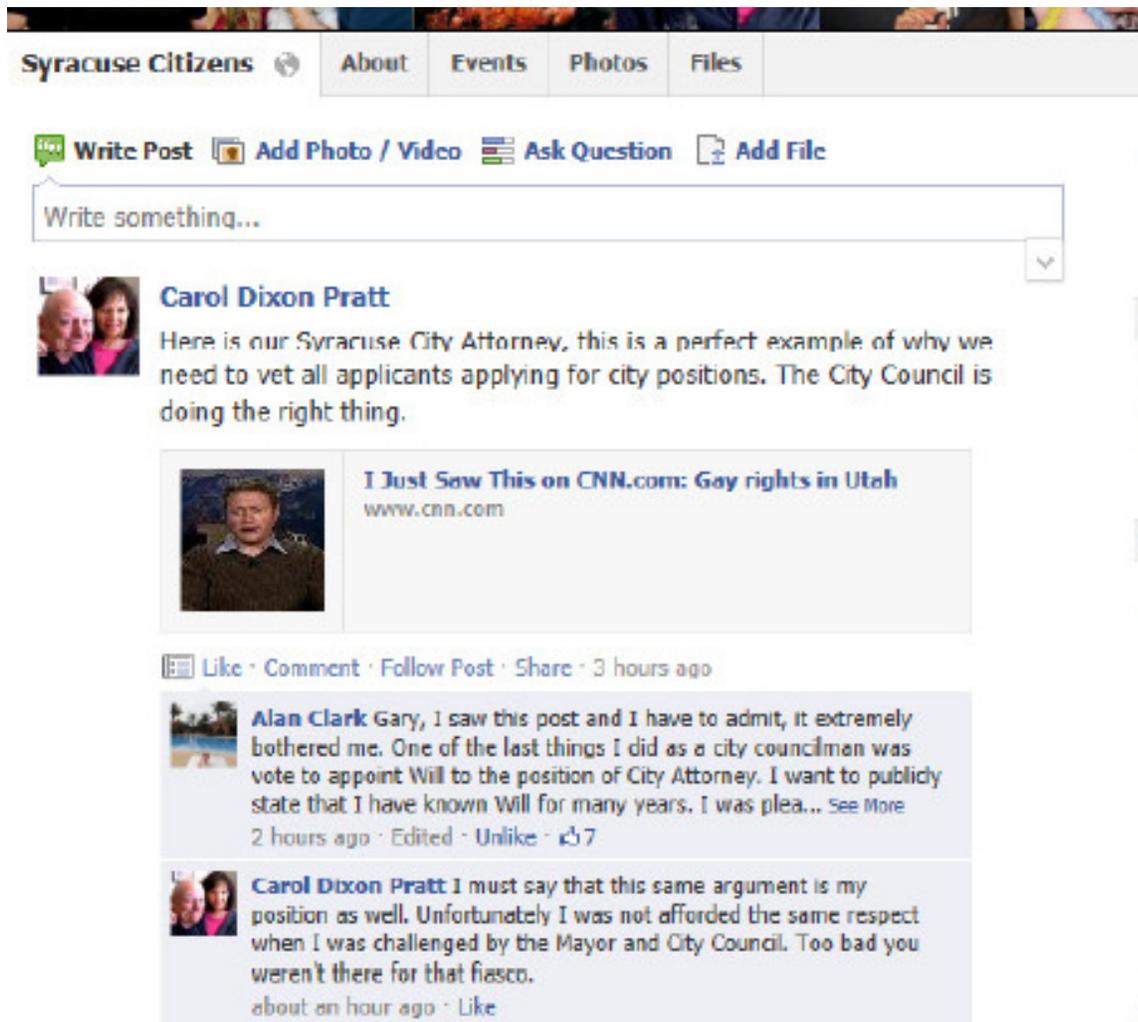
COUNCIL AGENDA

November 13, 2012

Agenda Item #9 Consideration of removal of a Planning Commissioner.

Factual Summation

- This item was added to the agenda at the request of Mayor Nagle. Any questions may be directed toward her.
- Below are two screenshots of the information being presented



Carol Dixon Pratt

When you talk about TRUST the mayor finally showed her colors in the work session last night when she said the she doesn't trust the City Council, if this statement is deleted out of the minutes you can blame Cassie Brown.

[Like](#) · [Follow Post](#) · [November 14 at 9:17am](#)

• [Seen by 74](#)

• [Tom Parke](#) likes this.



Carol Dixon Pratt It should be noted that Cassie Brown contacted me and said the minuites are abreviated which is legal speak for I will delete most objectionable verbage I deem unessary from the miniutes. You draw your own conclusion.

5 minutes ago · [Like](#)