



SYRACUSE CITY

Syracuse City Council

Work Session Notice

July 28, 2015 - 6:00 p.m.

Municipal Building, 1979 W. 1900 S.

Notice is hereby given that the Syracuse City Council will participate in a work session on Tuesday, July 28, 2015, at 6:00 p.m. in the large conference room of the Municipal Building, 1979 W. 1900 S., Syracuse City, Davis County, Utah. The purpose of the work session is to discuss/review the following items:

- a. Prayer or thought.
- b. Public Comments.
- c. Review items forwarded by the Planning Commission:
 - i. Proposed Resolution R15-24 amending the Syracuse City General Plan Land Use Map adopted in 1976, as amended, by changing the land use designation for property located at approximately 3600 W. 1700 S. from Professional Office to Business Park.
 - ii. Proposed Ordinance 2015-16 amending the existing zoning map of Title Ten by changing from Professional Office Zone (PO) to Business Park Zone (BP) the parcel of property located at approximately 3600 W. 1700 S.
 - iii. Proposed Resolution R15-25 amending the Syracuse City General Plan Land Use Map adopted in 1976, as amended, by changing the land use designation for property located at approximately 1373 S. 2000 W. from R-1 Residential to Professional Office.
 - iv. Proposed Ordinance 2015-17 amending the existing zoning map of Title Ten by changing from R-1 Residential to Professional Office Zone (PO) the parcel of property located at approximately 1373 S. 2000 W.
 - v. Final Subdivision Approval, Spring Haven Estates located at 1840 S. 3475 W., R-1 Zone, applicant Josh Hughes.
 - vi. Final Subdivision Approval, Trails Edge Phase 3-5 located at 3500 W. 700 S., R-3 Zone, applicant Mark Sandberg.
 - vii. Final Subdivision Approval, Tivoli Gardens Phase 2 located at 1875 S. 1000 W., R-3 Zone, applicant Wright Development Group.
- d. Discuss RDA tax rebate payment to Syracuse Family Fun Center aka The Rush Funplex.
- e. Review agenda item 10: Consideration of letter to the Utah Department of Transportation re: the West Davis Corridor Project.
- f. Council business.

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In compliance with the Americans Disabilities Act, persons needing auxiliary communicative aids and services for this meeting should contact the City Offices at 801-825-1477 at least 48 hours in advance of the meeting.

#### CERTIFICATE OF POSTING

The undersigned, duly appointed City Recorder, does hereby certify that the above notice and agenda was posted within the Syracuse City limits on this 23<sup>rd</sup> day of July, 2015 at Syracuse City Hall on the City Hall Notice Board and at <http://www.syracuseut.com/>. A copy was also provided to the Standard-Examiner on July 23, 2015.

CASSIE Z. BROWN, CMC  
SYRACUSE CITY RECORDER



# CITY COUNCIL AGENDA

July 28, 2015

**Agenda Item # c.i**                      **General Plan and Rezone Request**  
**Professional Office to Business Park Zone**  
**3600 W 1700 S**

**Factual Summation**

Please review the following information. Any questions regarding this agenda item may be directed at Jenny Schow, Planner.

|                         |                     |
|-------------------------|---------------------|
| Subdivision Name:       | To be determined    |
| Location:               | 3600 W 1700 S       |
| General Plan:           | Professional Office |
| Requested General Plan: | Business Park       |
| Total Area:             | 8.57 Acres          |

**Attachments:**

- Aerial
- General Plan Map
- Applicant Letter
- Conceptual Site Plan
- Public Notice Letter

**Summary:**

The applicant has indicated that the Business Park zone is more conducive to the use of the land and the existing business of nearby property.

**Planning Commission Recommendation**

The Planning Commission moved to recommend unanimous approval to the City Council of the General Plan and Rezone request to Business Park, Sunquest Development, property located at approximately 3600 W 1700 S, subject to all applicable requirements of the City's municipal codes and City staff reviews on July 21, 2015.

## **RESOLUTION R15-24**

### **A RESOLUTION OF THE SYRACUSE CITY COUNCIL AMENDING THE SYRACUSE CITY GENERAL PLAN LAND USE MAP ADOPTED IN 1976, AS AMENDED.**

**WHEREAS**, in 1967 a Syracuse Preliminary Master Plan was prepared for the Syracuse Planning Commission as a part of the Davis County Master Plan Program, said preliminary plan being prepared by R. Clay Allred and Associates, Planning Consultants; and

**WHEREAS**, in 1976 a Comprehensive Plan for Syracuse was prepared by the Davis County Planning Commission with assistance of Architects/Planners Alliance Planning Consultants and Wayne T. Van Wagoner and Associates, Traffic and Transportation Consultants which plan was financially aided by a grant from the Department of Housing and Urban Development through the Utah State Department of Community Affairs; and

**WHEREAS**, the 1976 Comprehensive Plan was amended in 1988 and the title changed to the Syracuse City Master Plan; and

**WHEREAS**, The Syracuse City General Plan was again amended in 1996, 1999, 2003, 2006, 2009, 2011, 2012, 2013, and 2014 to incorporate appropriate and necessary changes to the General Plan as approved at that time; and

**WHEREAS**, the Syracuse City Planning Commission adopted a process in 2012, where an applicant may apply for a Syracuse City General Plan update outside of the traditional district review; and

**WHEREAS**, public hearings have been held by the Planning Commission to receive public input regarding proposed changes; and

**WHEREAS**, the Planning Commission has recommended approval of the proposed amendments to the General Plan concluding that the proposed amendments provide development objectives with respect to the most desirable use of land within the City for subject property which benefit the physical, social, economic, and governmental development of the City and to promote the general welfare and prosperity of its residents;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, AS FOLLOWS:**

**Section 1. Adoption.** That the proposed amendments to the Syracuse City General Plan Land Use Map, attached hereto as Exhibit A, are hereby adopted and any ordinances or resolutions in conflict herewith are hereby repealed to the extent of such conflict.

**Section 2. Severability.** If any section, part or provision of this Resolution is held invalid or unenforceable, such invalidity or unenforceability shall not affect any other portion of this Resolution, and all sections, parts and provisions of this Resolution shall be severable.

**Section 3. No Repeal.** This Resolution is not intended and shall not be construed as a repealer of any previously adopted ordinance or resolution and is specifically intended to clarify and supplement existing City ordinances, rules and regulations.

**Section 4. Effective Date.** This Resolution shall become effective immediately upon its passage.

**PASSED AND ADOPTED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, THIS 28<sup>th</sup> DAY OF JULY, 2015.**

**SYRACUSE CITY**

ATTEST:

\_\_\_\_\_  
Cassie Z. Brown, CMC  
City Recorder

By: \_\_\_\_\_  
Terry Palmer  
Mayor

**EXHIBIT “A”**



# General Plan Amendment 3600 W 1700 S

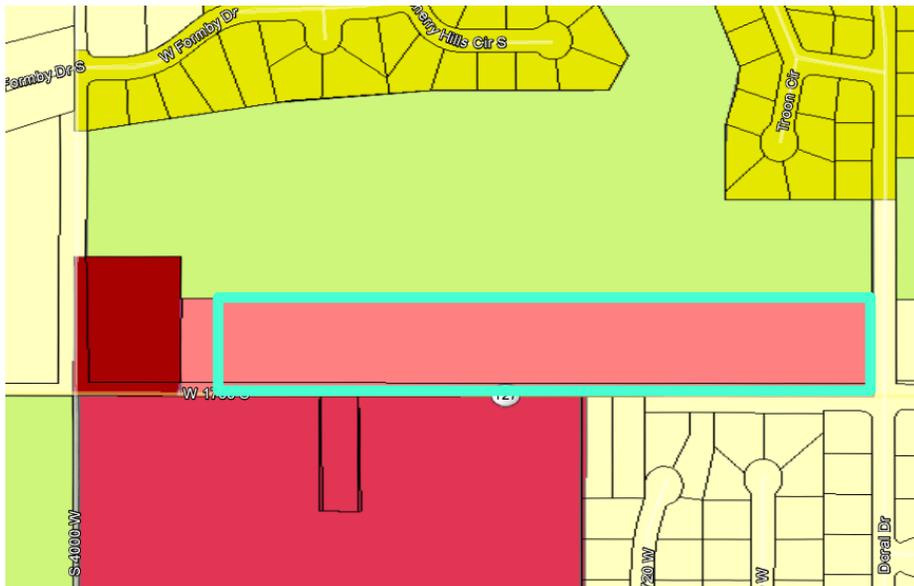




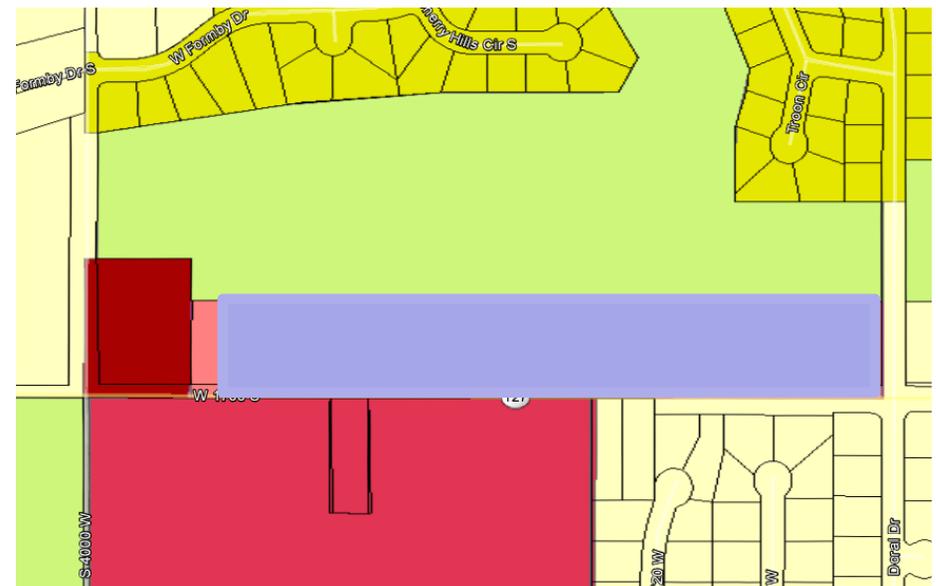
# General Plan and Rezone Amendment Professional Office to Business Park Zone 3600 W 1700 S



Current General Plan



Proposed General Plan



- |                                                                                     |                                    |                                                                                       |                          |
|-------------------------------------------------------------------------------------|------------------------------------|---------------------------------------------------------------------------------------|--------------------------|
|  | Agriculture A-1                    |  | Commercial II            |
|  | R-1 (2.90 dwellings per net acre)  |  | General Commercial Zone  |
|  | R-2 (3.79 dwellings per net acre)  |  | Industrial Zone          |
|  | R-3 (5.44 dwellings per net acre)  |  | Town Center Overlay Zone |
|  | PRD (8.0 dwellings per net acre)   |  | Sensitive Overlay Zone   |
|  | R-4 (14.52 dwellings per net acre) |  | RDA & EDA Boundary       |
|  | Professional Office                |  | Business Park Zone       |



**Mayor**  
Terry Palmer

**City Council**  
Brian Duncan  
Mike Gailey  
Craig Johnson  
Karianne Lisonbee  
Douglas Peterson

**City Manager**  
Brody Bovero

July 10, 2015

The City has received a General Plan and Rezone request for the Business Park Zone, requested by Sunquest Development, property located approximately 3600 W 1700 S. The Planning Commission will consider this request in their regular meeting, beginning at 6 p.m., in the City Hall Council Chambers on **July 21 2015**.

In accordance with Syracuse City Land Use Ordinance 10-4-050(C), we are providing you notice of this request as a land owner within a 300-foot radius of the subject property. This is a Public Hearing, and you are welcome to attend and provide comments regarding this request, if you so desire, or submit them in writing to the email or mailing address below.

If you are uncertain as to the impact or ramifications of this proposal and would like more information; please feel free to call or stop in during regular business hours, between 8 a.m. and 5 p.m., Monday through Friday.

Respectfully,

*Syracuse City*

Community Development Department  
Phone and/or Fax: 801-614-9632  
Email: [jschow@syracuseut.com](mailto:jschow@syracuseut.com)

js



## **General Plan Amendment**

**Parcel 12-047-0247**

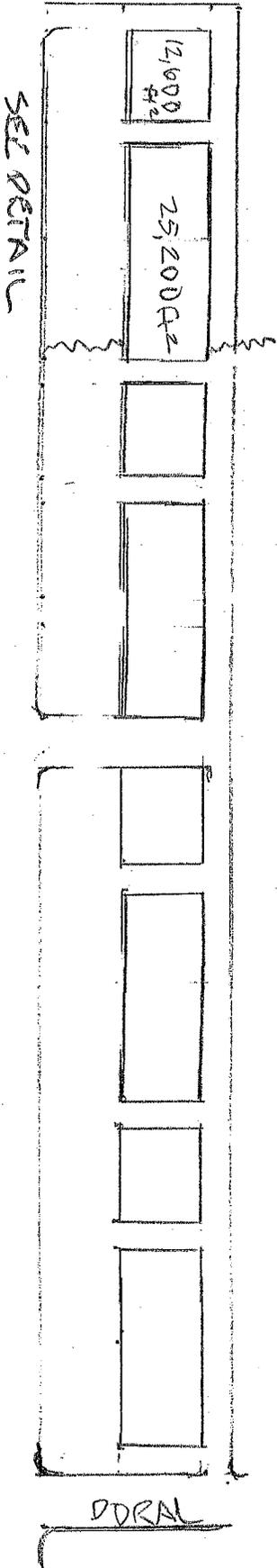
### **SunQuest Development LC**

The current plan and zone for this parcel is Professional Office. This parcel is situated along 1700 South between Doral Dr (3600 West) and Paul's Automotive just east of 4000 West. Requests for buildings to store vehicles used in small businesses such as airduct cleaning, HVAC, carpentry and other similar businesses have come to the property owner's attention. Such buildings are in short supply in Syracuse and only located in the industrial zone on the east side of the City. In meeting with the Community Development Director, Noah Steele, it became apparent that a better zone and use of this property could be accomplished with a change to a Business Park Zone. That would facilitate building several buildings which would be similar in design and architecture as well as be consistent in landscaping, parking and other amenities. The ability to control the streetscape would be enhanced due to the entire parcel being in the ownership of SunQuest Development LC with an owner's association which would require the common areas be maintained and developed in a consistent pattern. Access to this property is available on the west end next to Paul's Automotive, from Doral Dr, and an additional entrance will be requested from UDOT in the center of the parcel. A full size street will be built at that location to allow future development of the property north of this parcel currently utilized as the golf course in the event the golf course is unable to reach a sustainable level of revenue and another use is required. This street would also allow access to this parcel to the west as well as to the east side. Development of the buildings would be in phases beginning at the west end and proceeding east as the market demands. The Business Park zone allows a variety of uses within the area, which will bring much higher potential of utilizing the property in a profitable manner and in a way which will provide an attractive area for the neighbors near the property.

  
Michael E. McBride,

Manager, SunQuest Development LC.





151,200 Ft<sup>2</sup> TOTAL



PAUL'S AUTO

DRIVE WAY

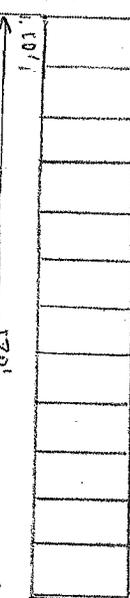
105' 30' 26' 20' 20'

4,200 Ft<sup>2</sup>

4,200 Ft<sup>2</sup>

4,200 Ft<sup>2</sup>

120' TYP



30'

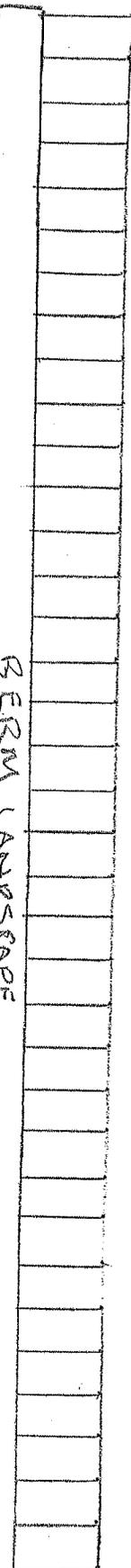
DRIVEWAY

25,200 Ft<sup>2</sup>



BERM LANDSCAPE

SIDEWALK



SCALE 1" = 40'

75 PARKING SPACES





# CITY COUNCIL AGENDA

July 28, 2015

**Agenda Item # c.ii      General Plan and Rezone Request  
Professional Office to Business Park Zone  
3600 W 1700 S**

**Factual Summation**

Please review the following information. Any questions regarding this agenda item may be directed at Jenny Schow, Planner.

|                         |                     |
|-------------------------|---------------------|
| Subdivision Name:       | To be determined    |
| Location:               | 3600 W 1700 S       |
| General Plan:           | Professional Office |
| Requested General Plan: | Business Park       |
| Total Area:             | 8.57 Acres          |

**Attachments:**

- Aerial
- General Plan Map
- Applicant Letter
- Conceptual Site Plan
- Public Notice Letter

**Summary:**

The applicant has indicated that the Business Park zone is more conducive to the use of the land and the existing business of nearby property.

**Planning Commission Recommendation**

The Planning Commission moved to recommend unanimous approval to the City Council of the General Plan and Rezone request to Business Park, Sunquest Development, property located at approximately 3600 W 1700 S, subject to all applicable requirements of the City's municipal codes and City staff reviews on July 21, 2015.

**ORDINANCE NO. 15-16**

**AN ORDINANCE AMENDING THE EXISTING ZONING MAP OF TITLE X, "SYRACUSE CITY ZONING ORDINANCE", REVISED ORDINANCES OF SYRACUSE, 1971, BY CHANGING FROM (PO) PROFESSIONAL OFFICE ZONE TO (BP) BUSINESS PARK ZONE ON THE PARCEL(S) OF REAL PROPERTY HEREIN DESCRIBED.**

**WHEREAS**, the City has adopted a Zoning Ordinance to regulate land use and development within the corporate boundaries of the City; and

**WHEREAS**, Chapter Four of the Ordinance authorizes the City Council to amend the number, shape, boundaries, or any area of any zone; and

**WHEREAS**, a request for rezone has been made; the same has been recommended for approval by the Planning Commission; and a public hearing has been held with the proper notice having been given 10-days prior to the hearing date;

**NOW, THEREFORE, BE IT ENACTED AND ORDAINED BY THE CITY COUNCIL OF SYRACUSE DAVIS COUNTY, STATE OF UTAH, AS FOLLOWS:**

**SECTION 1:** That the following described real parcels of property in (PO) Professional Office Zone as shown on a zoning map are hereby amended and changed to To (BP) Business Park Zone on the parcel shown accordingly:

A PARCEL OF LAND WH LIES WITHIN THE SW 1/4 OF SEC 8-T4N-R2W, SLM, SD PARCEL BEING MORE PARTLY DESC AS FOLLOWS: BEG AT A PT WH LIES S 89°53'34" E ALG THE S LINE OF SD SEC 8, 383.05 FT & N 0°06'26" E, 33.00 FT FR THE SW COR OF SD SEC 8 & RUN TH N 00°08'48" E, 219.99 FT; TH S 89°53'34" E, 1706.28 FT; TH S 0°06'11" W, 219.99 FT TO A PT ON THE N R/W LINE OF 1700 SOUTH STR; N 89°53'34" W ALG SD R/W LINE, 1706.45 FT TO THE POB. CONT 8.57 ACRES

**SECTION 2: Effective Date.** This Ordinance shall become effective immediately upon publication or posting.

**PASSED AND ADOPTED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, THIS 28<sup>th</sup> DAY OF JULY, 2015.**

**SYRACUSE CITY**

ATTEST:

\_\_\_\_\_  
Cassie Z. Brown, City Recorder

\_\_\_\_\_  
Mayor Terry Palmer

Voting by the City Council:

|                        | “AYE” | “NAY” |
|------------------------|-------|-------|
| Councilmember Peterson | _____ | _____ |
| Councilmember Lisonbee | _____ | _____ |
| Councilmember Duncan   | _____ | _____ |
| Councilmember Johnson  | _____ | _____ |
| Councilmember Gailey   | _____ | _____ |



# General Plan Amendment 3600 W 1700 S





**Mayor**  
Terry Palmer

**City Council**  
Brian Duncan  
Mike Gailey  
Craig Johnson  
Karianne Lisonbee  
Douglas Peterson

**City Manager**  
Brody Bovero

July 10, 2015

The City has received a General Plan and Rezone request for the Business Park Zone, requested by Sunquest Development, property located approximately 3600 W 1700 S. The Planning Commission will consider this request in their regular meeting, beginning at 6 p.m., in the City Hall Council Chambers on **July 21 2015**.

In accordance with Syracuse City Land Use Ordinance 10-4-050(C), we are providing you notice of this request as a land owner within a 300-foot radius of the subject property. This is a Public Hearing, and you are welcome to attend and provide comments regarding this request, if you so desire, or submit them in writing to the email or mailing address below.

If you are uncertain as to the impact or ramifications of this proposal and would like more information; please feel free to call or stop in during regular business hours, between 8 a.m. and 5 p.m., Monday through Friday.

Respectfully,

*Syracuse City*

Community Development Department  
Phone and/or Fax: 801-614-9632  
Email: [jschow@syracuseut.com](mailto:jschow@syracuseut.com)

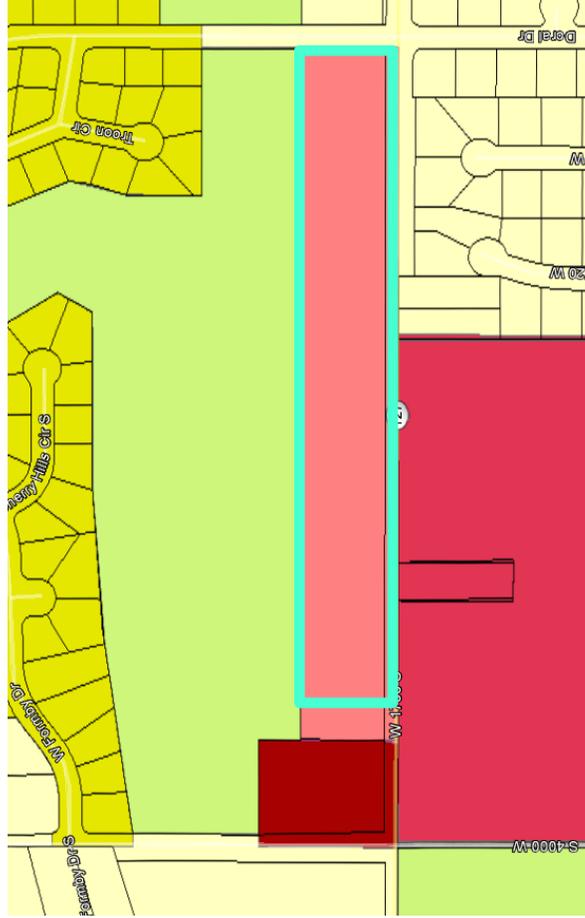
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# General Plan and Rezone Amendment Professional Office to Business Park Zone 3600 W 1700 S

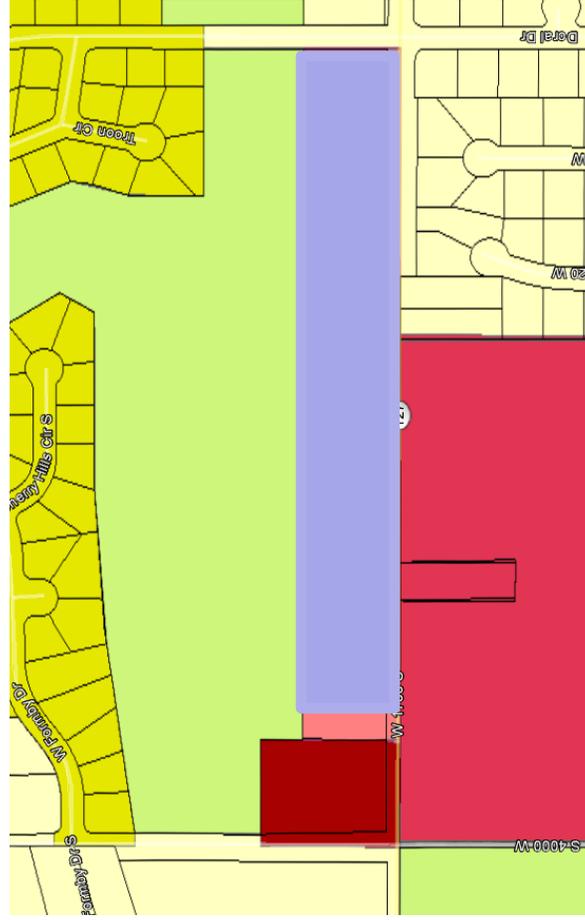


Current General Plan



- Agriculture A-1
- R-1 (2.90 dwellings per net acre)
- R-2 (3.79 dwellings per net acre)
- R-3 (5.44 dwellings per net acre)
- PRD (8.0 dwellings per net acre)
- R-4 (14.52 dwellings per net acre)
- Professional Office

Proposed General Plan



- Commercial II
- General Commercial Zone
- Industrial Zone
- Town Center Overlay Zone
- Sensitive Overlay Zone
- RDA & EDA Boundary
- Business Park Zone

## **General Plan Amendment**

**Parcel 12-047-0247**

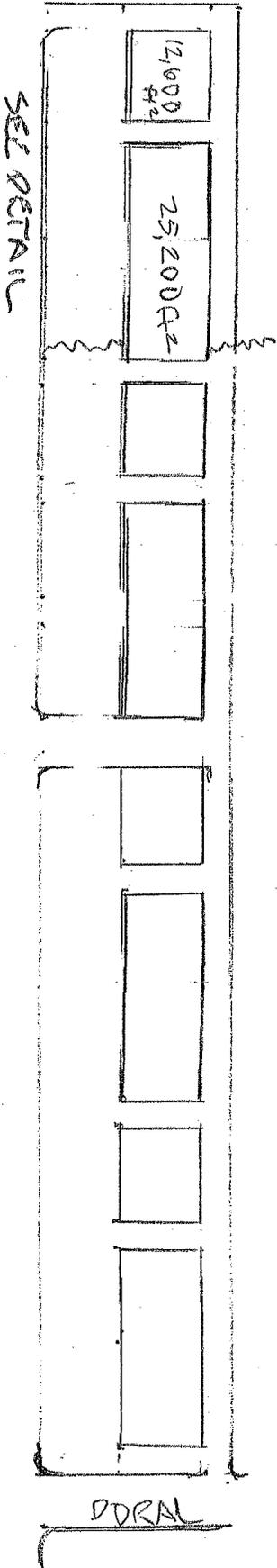
### **SunQuest Development LC**

The current plan and zone for this parcel is Professional Office. This parcel is situated along 1700 South between Doral Dr (3600 West) and Paul's Automotive just east of 4000 West. Requests for buildings to store vehicles used in small businesses such as airduct cleaning, HVAC, carpentry and other similar businesses have come to the property owner's attention. Such buildings are in short supply in Syracuse and only located in the industrial zone on the east side of the City. In meeting with the Community Development Director, Noah Steele, it became apparent that a better zone and use of this property could be accomplished with a change to a Business Park Zone. That would facilitate building several buildings which would be similar in design and architecture as well as be consistent in landscaping, parking and other amenities. The ability to control the streetscape would be enhanced due to the entire parcel being in the ownership of SunQuest Development LC with an owner's association which would require the common areas be maintained and developed in a consistent pattern. Access to this property is available on the west end next to Paul's Automotive, from Doral Dr, and an additional entrance will be requested from UDOT in the center of the parcel. A full size street will be built at that location to allow future development of the property north of this parcel currently utilized as the golf course in the event the golf course is unable to reach a sustainable level of revenue and another use is required. This street would also allow access to this parcel to the west as well as to the east side. Development of the buildings would be in phases beginning at the west end and proceeding east as the market demands. The Business Park zone allows a variety of uses within the area, which will bring much higher potential of utilizing the property in a profitable manner and in a way which will provide an attractive area for the neighbors near the property.

  
Michael E. McBride,

Manager, SunQuest Development LC.





151,200 Ft<sup>2</sup> TOTAL



PAUL'S AUTO

DRIVE WAY

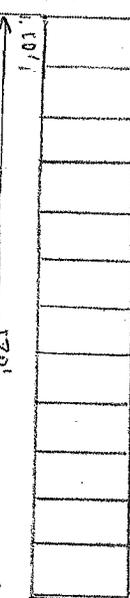
105' 30' 26' 20' 20'

4,200 Ft<sup>2</sup>

4,200 Ft<sup>2</sup>

4,200 Ft<sup>2</sup>

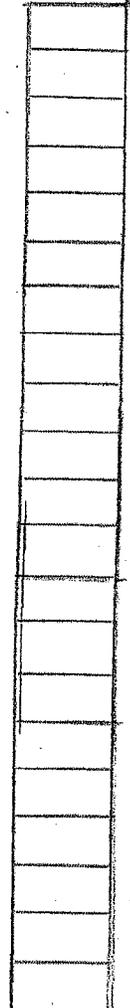
120' TYP



30'

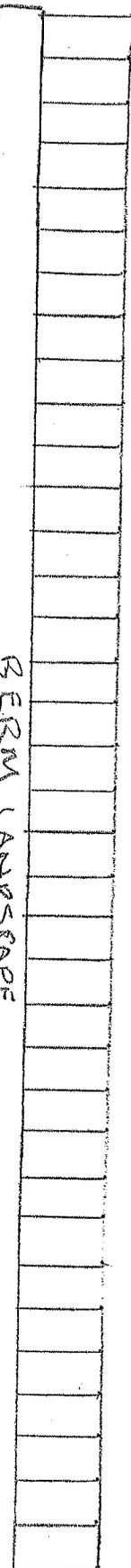
DRIVEWAY

25,200 Ft<sup>2</sup>



BERM LANDSCAPE

SIDEWALK



SCALE 1" = 40'

75 PARKING SPACES





# CITY COUNCIL AGENDA

July 28, 2015

**Agenda Item #c.iii      General Plan from Neighborhood Service to  
Professional Office  
Rezone from R-1 Residential to Professional Office  
1373 S 2000 W**

**Factual Summation**

Please review the following information. Any questions regarding this agenda item may be directed at Jenny Schow, Planner.

|                         |                       |
|-------------------------|-----------------------|
| Subdivision Name:       | To be determined      |
| Location:               | 1373 S 2000 W         |
| General Plan:           | Neighborhood Services |
| Requested General Plan: | Professional Office   |
| Current Zone:           | R-1 Residential       |
| Requested Zone:         | Professional Office   |
| Total Area:             | 0.33 acres            |

**Attachments:**

- Aerial
- General Plan Map
- Zoning Map
- Concept Site Plan
- Public Notice Letter

**Summary:**

The applicant has been fortunate to acquire additional land adjacent to his and has applied to amend the general plan and zoning to match his existing property. The applicant would like to build an assisted living center and has included a concept site plan.

**Planning Commission Recommendation**

The Planning Commission moved to recommend approval to the City Council of the General Plan change from Neighborhood Service to Professional Office and Rezone from R-1 Residential to Professional Office, Erik Craythorne, property located at approximately 1373 S 2000 W, subject to all applicable requirements of the City's municipal codes and City staff reviews with a unanimous vote on July 21, 2015.

**ORDINANCE NO. 15-17**

**AN ORDINANCE AMENDING THE EXISTING ZONING MAP OF TITLE X, "SYRACUSE CITY ZONING ORDINANCE", REVISED ORDINANCES OF SYRACUSE, 1971, BY CHANGING FROM (R-1) RESIDENTIAL ZONE TO (PO) PROFESSIONAL OFFICE ZONE ON THE PARCEL(S) OF REAL PROPERTY HEREIN DESCRIBED.**

**WHEREAS**, the City has adopted a Zoning Ordinance to regulate land use and development within the corporate boundaries of the City; and

**WHEREAS**, Chapter Four of the Ordinance authorizes the City Council to amend the number, shape, boundaries, or any area of any zone; and

**WHEREAS**, a request for rezone has been made; the same has been recommended for approval by the Planning Commission; and a public hearing has been held with the proper notice having been given 10-days prior to the hearing date;

**NOW, THEREFORE, BE IT ENACTED AND ORDAINED BY THE CITY COUNCIL OF SYRACUSE DAVIS COUNTY, STATE OF UTAH, AS FOLLOWS:**

**SECTION 1:** That the following described real parcels of property in (R-1) Residential Zone as shown on a zoning map are hereby amended and changed to (PO) Professional Office Zone accordingly:

Beginning at a point on the east line of 2000 West Street, said point being South 0°09'42" West

996.20 feet along the section line and North 89°59'45" East 38.00 feet along the south line of The Cottages Phase 1Subdivision from the Northwest Corner of the Southwest Quarter of Section 10, Township 4 North, Range 2 West, Salt Lake Base and Meridian, and running;

Thence North 89°59'45" East 202.00 feet to a point on the west line of Lot 8 of The Cottages Phase 1Subdivision;

Thence South 0°09'42" West 60.00 feet along the west line to the Southwest Corner of Lot 8 of The Cottages Phase 1Subdivision;

Thence South 89°59'45" West 202.00 feet to the east line of 2000 West Street;

Thence North 0 °09'42" East 60.00 feet along the east line of 2000 West Street to the point of beginning.

Contains: 12,120 square feet, 0.278 acres

**SECTION 2: Effective Date.** This Ordinance shall become effective immediately upon publication or posting.

**PASSED AND ADOPTED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, THIS 28<sup>th</sup> DAY OF JULY, 2015.**

**SYRACUSE CITY**

ATTEST:

\_\_\_\_\_  
Cassie Z. Brown, City Recorder

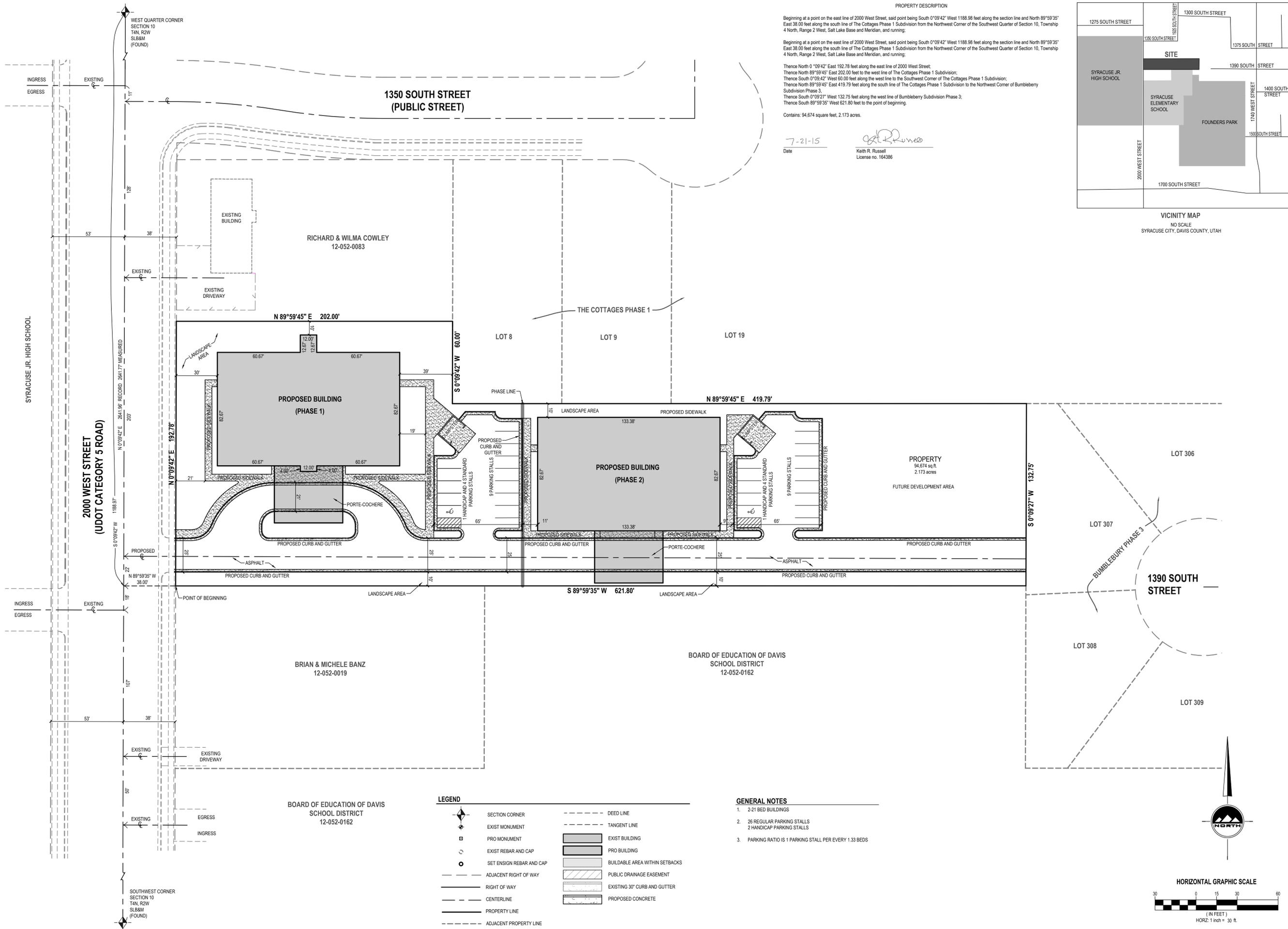
\_\_\_\_\_  
Mayor Terry Palmer

Voting by the City Council:

|                        | “AYE” | “NAY” |
|------------------------|-------|-------|
| Councilmember Peterson | _____ | _____ |
| Councilmember Lisonbee | _____ | _____ |
| Councilmember Duncan   | _____ | _____ |
| Councilmember Johnson  | _____ | _____ |
| Councilmember Gailey   | _____ | _____ |

# Q-2 LLC 1373 S 2000 W





PROPERTY DESCRIPTION

Beginning at a point on the east line of 2000 West Street, said point being South 0°09'42" West 1188.98 feet along the section line and North 89°59'35" East 38.00 feet along the south line of The Cottages Phase 1 Subdivision from the Northwest Corner of the Southwest Quarter of Section 10, Township 4 North, Range 2 West, Salt Lake Base and Meridian, and running;

Beginning at a point on the east line of 2000 West Street, said point being South 0°09'42" West 1188.98 feet along the section line and North 89°59'35" East 38.00 feet along the south line of The Cottages Phase 1 Subdivision from the Northwest Corner of the Southwest Quarter of Section 10, Township 4 North, Range 2 West, Salt Lake Base and Meridian, and running;

Thence North 0°09'42" East 192.78 feet along the east line of 2000 West Street;

Thence North 89°59'45" East 202.00 feet to the west line of The Cottages Phase 1 Subdivision;

Thence South 0°09'42" West 60.00 feet along the west line to the Southwest Corner of The Cottages Phase 1 Subdivision;

Thence North 89°59'45" East 419.79 feet along the south line of The Cottages Phase 1 Subdivision to the Northwest Corner of Bumbleberry Subdivision Phase 3;

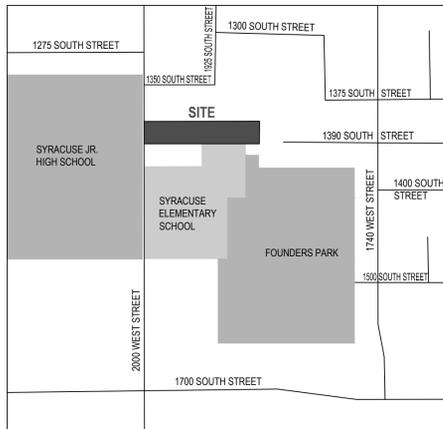
Thence South 0°09'27" West 132.75 feet along the west line of Bumbleberry Subdivision Phase 3;

Thence South 89°59'35" West 621.80 feet to the point of beginning.

Contains: 94,674 square feet, 2.173 acres.

7-21-15  
Date

Keith R. Russell  
License no. 164386



VICINITY MAP  
NO SCALE  
SYRACUSE CITY, DAVIS COUNTY, UTAH

**ENSIGN**  
THE STANDARD IN ENGINEERING

LAYTON  
1485 W. Hill Field Rd., Ste. 204  
Layton, UT 84041  
Phone: 801.547.1100

SALT LAKE CITY  
Phone: 801.255.0529

TOOELE  
Phone: 435.843.3590

CEDAR CITY  
Phone: 435.865.1453

RICHFIELD  
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:  
CRAYTHORNE CONSTRUCTION  
601 West 1700 South  
SYRACUSE, UTAH

CONTACT:  
ERIC CRAYTHORNE  
PHONE: 801-776-4962

**PROPOSED ASSISTED LIVING FACILITY**

1403 SOUTH 2000 WEST  
SYRACUSE, UTAH



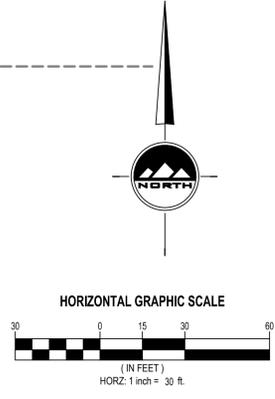
**CONCEPT PLAN**

PROJECT NUMBER: L2292  
PRINT DATE: 7/21/15  
DRAWN BY: A.SHELLEY  
CHECKED BY: K.RUSSELL  
PROJECT MANAGER: K.RUSSELL

**LEGEND**

|  |                          |  |                                |
|--|--------------------------|--|--------------------------------|
|  | SECTION CORNER           |  | DEED LINE                      |
|  | EXIST MONUMENT           |  | TANGENT LINE                   |
|  | PRO MONUMENT             |  | EXIST BUILDING                 |
|  | EXIST REBAR AND CAP      |  | PRO BUILDING                   |
|  | SET ENSIGN REBAR AND CAP |  | BUILDABLE AREA WITHIN SETBACKS |
|  | ADJACENT RIGHT OF WAY    |  | PUBLIC DRAINAGE EASEMENT       |
|  | RIGHT OF WAY             |  | EXISTING 30" CURB AND GUTTER   |
|  | CENTERLINE               |  | PROPOSED CONCRETE              |
|  | PROPERTY LINE            |  |                                |
|  | ADJACENT PROPERTY LINE   |  |                                |

- GENERAL NOTES**
- 2-21 BED BUILDINGS
  - 26 REGULAR PARKING STALLS  
2 HANDICAP PARKING STALLS
  - PARKING RATIO IS 1 PARKING STALL PER EVERY 1.33 BEDS





**Mayor**  
Terry Palmer

**City Council**  
Brian Duncan  
Mike Gailey  
Craig Johnson  
Karianne Lisonbee  
Douglas Peterson

**City Manager**  
Brody Bovero

July 10, 2015

The City has received a General Plan and Rezone request for the Professional Office Zone, requested by Erik Craythorne, property located approximately 1373 S 2000 W. The Planning Commission will consider this request in their regular meeting, beginning at 6 p.m., in the City Hall Council Chambers on **July 21 2015**.

In accordance with Syracuse City Land Use Ordinance 10-4-050(C), we are providing you notice of this request as a land owner within a 300-foot radius of the subject property. This is a Public Hearing, and you are welcome to attend and provide comments regarding this request, if you so desire, or submit them in writing to the email or mailing address below.

If you are uncertain as to the impact or ramifications of this proposal and would like more information; please feel free to call or stop in during regular business hours, between 8 a.m. and 5 p.m., Monday through Friday.

Respectfully,

*Syracuse City*

Community Development Department  
Phone and/or Fax: 801-614-9632  
Email: [jschow@syracuseut.com](mailto:jschow@syracuseut.com)

js

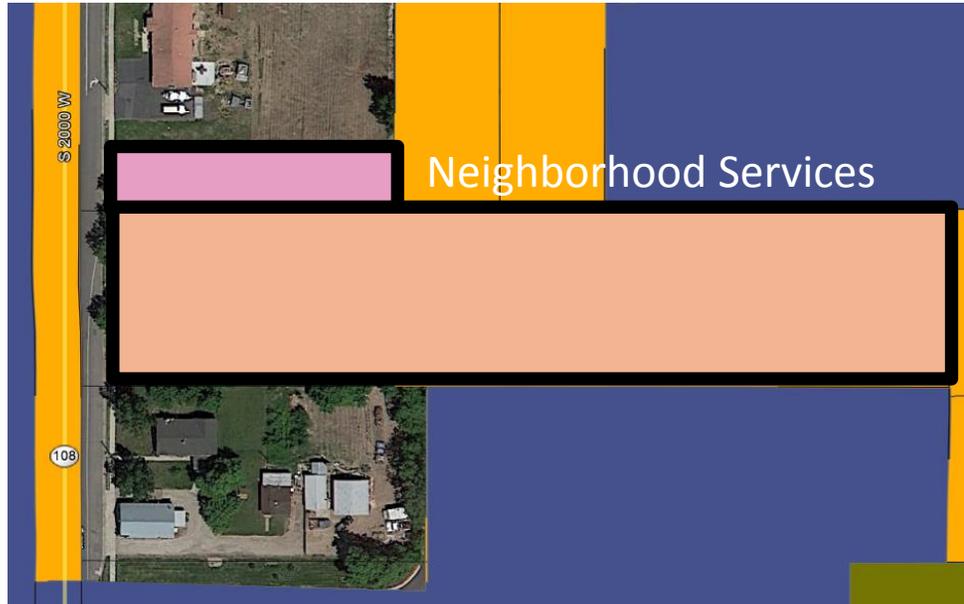


# General Plan Request Q-2 LLC 1373 S 2000 W



Existing General Plan Map

General Plan Request



- |                                                                                                                        |                                                                                                                |
|------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------|
|  Agriculture A-1                    |  Commercial II            |
|  R-1 (2.90 dwellings per net acre)  |  General Commercial Zone  |
|  R-2 (3.79 dwellings per net acre)  |  Industrial Zone          |
|  R-3 (5.44 dwellings per net acre)  |  Town Center Overlay Zone |
|  PRD (8.0 dwellings per net acre)   |  Sensitive Overlay Zone   |
|  R-4 (14.52 dwellings per net acre) |  RDA & EDA Boundary       |
|  Professional Office                |                                                                                                                |



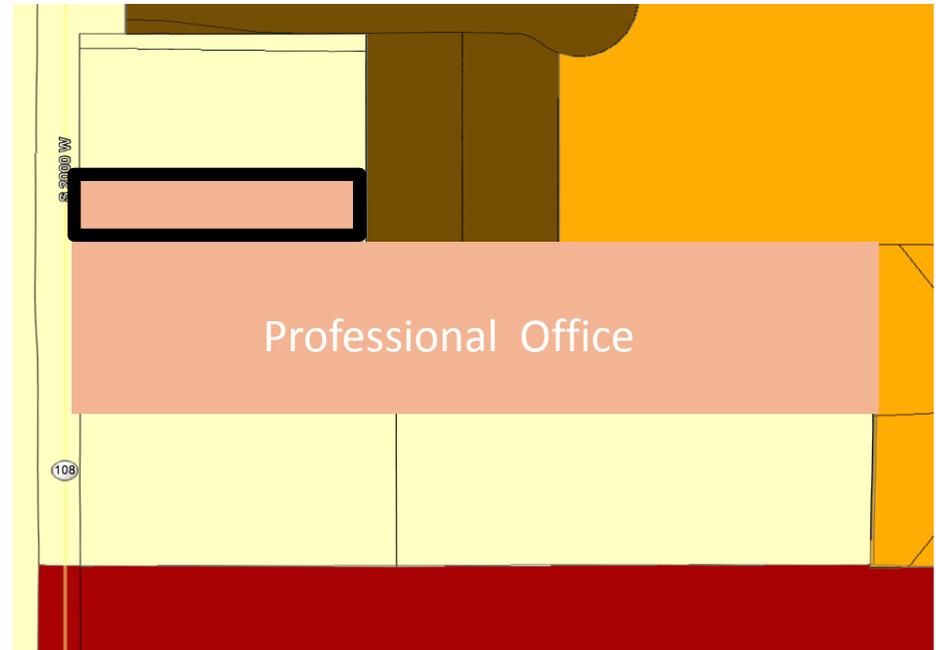
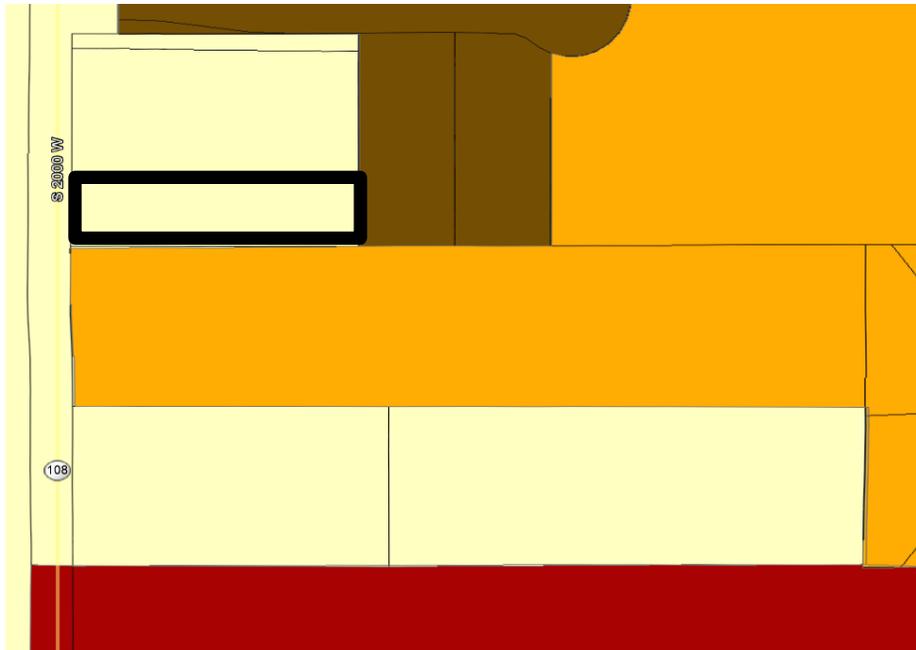
# Rezone Request

## 1373 S 2000 W



Existing Zoning Map

Proposed Zoning Request



- |                                                                                     |                                    |                                                                                       |                          |
|-------------------------------------------------------------------------------------|------------------------------------|---------------------------------------------------------------------------------------|--------------------------|
|  | Agriculture A-1                    |  | Neighborhood Services    |
|  | R-1 (2.90 dwellings per net acre)  |  | General Commercial Zone  |
|  | R-2 (3.79 dwellings per net acre)  |  | Industrial Zone          |
|  | R-3 (5.44 dwellings per net acre)  |  | Town Center Overlay Zone |
|  | PRD (8.0 dwellings per net acre)   |  | Sensitive Overlay Zone   |
|  | R-4 (14.52 dwellings per net acre) |  | RDA & EDA Boundary       |
|  | Professional Office                |                                                                                       |                          |



# CITY COUNCIL AGENDA

July 28, 2015

**Agenda Item #c.iv      General Plan from Neighborhood Service to Professional Office  
Rezone from R-1 Residential to Professional Office  
1373 S 2000 W**

**Factual Summation**

Please review the following information. Any questions regarding this agenda item may be directed at Jenny Schow, Planner.

|                         |                       |
|-------------------------|-----------------------|
| Subdivision Name:       | To be determined      |
| Location:               | 1373 S 2000 W         |
| General Plan:           | Neighborhood Services |
| Requested General Plan: | Professional Office   |
| Current Zone:           | R-1 Residential       |
| Requested Zone:         | Professional Office   |
| Total Area:             | 0.33 acres            |

**Attachments:**

- Aerial
- General Plan Map
- Zoning Map
- Concept Site Plan
- Public Notice Letter

**Summary:**

The applicant has been fortunate to acquire additional land adjacent to his and has applied to amend the general plan and zoning to match his existing property. The applicant would like to build an assisted living center and has included a concept site plan.

**Planning Commission Recommendation**

The Planning Commission moved to recommend approval to the City Council of the General Plan change from Neighborhood Service to Professional Office and Rezone from R-1 Residential to Professional Office, Erik Craythorne, property located at approximately 1373 S 2000 W, subject to all applicable requirements of the City's municipal codes and City staff reviews with a unanimous vote on July 21, 2015.

## **RESOLUTION R15-25**

### **A RESOLUTION OF THE SYRACUSE CITY COUNCIL AMENDING THE SYRACUSE CITY GENERAL PLAN LAND USE MAP ADOPTED IN 1976, AS AMENDED.**

**WHEREAS**, in 1967 a Syracuse Preliminary Master Plan was prepared for the Syracuse Planning Commission as a part of the Davis County Master Plan Program, said preliminary plan being prepared by R. Clay Allred and Associates, Planning Consultants; and

**WHEREAS**, in 1976 a Comprehensive Plan for Syracuse was prepared by the Davis County Planning Commission with assistance of Architects/Planners Alliance Planning Consultants and Wayne T. Van Wagoner and Associates, Traffic and Transportation Consultants which plan was financially aided by a grant from the Department of Housing and Urban Development through the Utah State Department of Community Affairs; and

**WHEREAS**, the 1976 Comprehensive Plan was amended in 1988 and the title changed to the Syracuse City Master Plan; and

**WHEREAS**, The Syracuse City General Plan was again amended in 1996, 1999, 2003, 2006, 2009, 2011, 2012, 2013, and 2014 to incorporate appropriate and necessary changes to the General Plan as approved at that time; and

**WHEREAS**, the Syracuse City Planning Commission adopted a process in 2012, where an applicant may apply for a Syracuse City General Plan update outside of the traditional district review; and

**WHEREAS**, public hearings have been held by the Planning Commission to receive public input regarding proposed changes; and

**WHEREAS**, the Planning Commission has recommended approval of the proposed amendments to the General Plan concluding that the proposed amendments provide development objectives with respect to the most desirable use of land within the City for subject property which benefit the physical, social, economic, and governmental development of the City and to promote the general welfare and prosperity of its residents;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, AS FOLLOWS:**

**Section 1. Adoption.** That the proposed amendments to the Syracuse City General Plan Land Use Map, attached hereto as Exhibit A, are hereby adopted and any ordinances or resolutions in conflict herewith are hereby repealed to the extent of such conflict.

**Section 2. Severability.** If any section, part or provision of this Resolution is held invalid or unenforceable, such invalidity or unenforceability shall not affect any other portion of this Resolution, and all sections, parts and provisions of this Resolution shall be severable.

**Section 3. No Repeal.** This Resolution is not intended and shall not be construed as a repealer of any previously adopted ordinance or resolution and is specifically intended to clarify and supplement existing City ordinances, rules and regulations.

**Section 4. Effective Date.** This Resolution shall become effective immediately upon its passage.

**PASSED AND ADOPTED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, THIS 28<sup>th</sup> DAY OF JULY, 2015.**

**SYRACUSE CITY**

ATTEST:

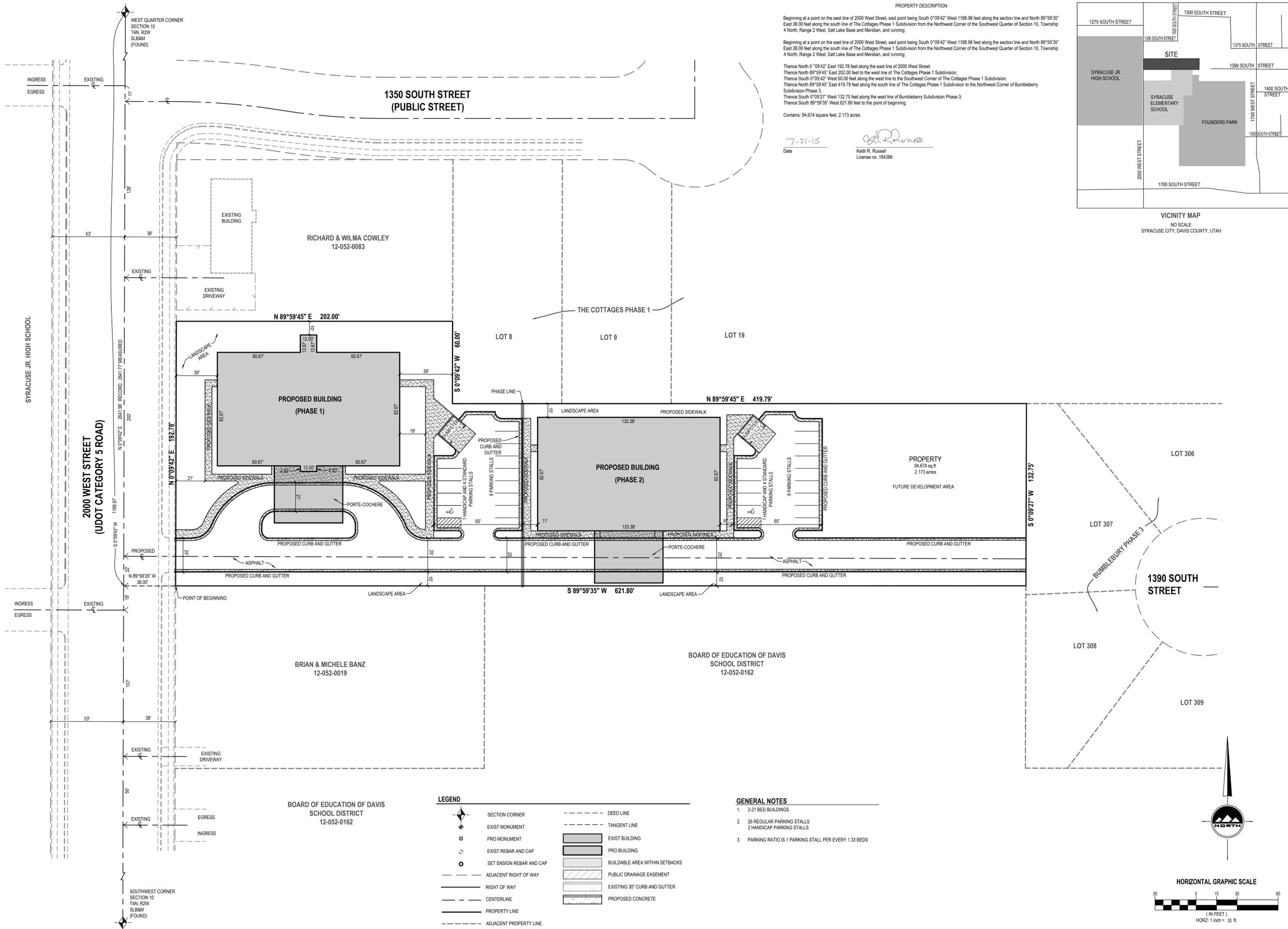
\_\_\_\_\_  
Cassie Z. Brown, CMC  
City Recorder

By: \_\_\_\_\_  
Terry Palmer  
Mayor

**EXHIBIT “A”**

# Q-2 LLC 1373 S 2000 W





PROPERTY DESCRIPTION

Beginning at a point on the east line of 2000 West Street, said point being South 0°09'42" West 1188.98 feet along the section line and North 89°59'35" East 38.00 feet along the south line of The Cottages Phase 1 Subdivision from the Northwest Corner of the Southwest Quarter of Section 10, Township 4 North, Range 2 West, Salt Lake Base and Meridian, and running;

Beginning at a point on the east line of 2000 West Street, said point being South 0°09'42" West 1188.98 feet along the section line and North 89°59'35" East 38.00 feet along the south line of The Cottages Phase 1 Subdivision from the Northwest Corner of the Southwest Quarter of Section 10, Township 4 North, Range 2 West, Salt Lake Base and Meridian, and running;

Thence North 0°09'42" East 192.78 feet along the east line of 2000 West Street;

Thence North 89°59'45" East 202.00 feet to the west line of The Cottages Phase 1 Subdivision;

Thence South 0°09'42" West 60.00 feet along the west line to the Southwest Corner of The Cottages Phase 1 Subdivision;

Thence North 89°59'45" East 419.79 feet along the south line of The Cottages Phase 1 Subdivision to the Northwest Corner of Bumbleberry Subdivision Phase 3;

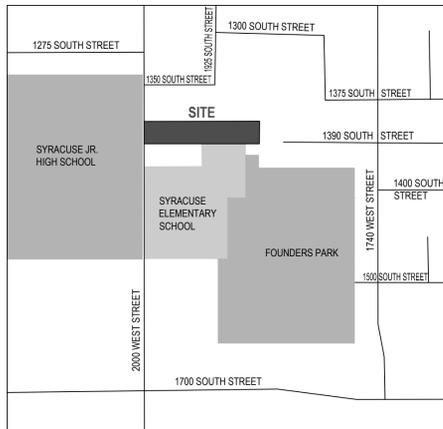
Thence South 0°09'27" West 132.75 feet along the west line of Bumbleberry Subdivision Phase 3;

Thence South 89°59'35" West 621.80 feet to the point of beginning.

Contains: 94,674 square feet, 2.173 acres.

7-21-15  
Date

Keith R. Russell  
License no. 164386



VICINITY MAP  
NO SCALE  
SYRACUSE CITY, DAVIS COUNTY, UTAH

**ENSIGN**  
THE STANDARD IN ENGINEERING

LAYTON  
1485 W. Hill Field Rd., Ste. 204  
Layton, UT 84041  
Phone: 801.547.1100

SALT LAKE CITY  
Phone: 801.255.0529

TOOELE  
Phone: 435.843.3590

CEDAR CITY  
Phone: 435.865.1453

RICHFIELD  
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:  
CRAYTHORNE CONSTRUCTION  
601 West 1700 South  
SYRACUSE, UTAH

CONTACT:  
ERIC CRAYTHORNE  
PHONE: 801-776-4962

**PROPOSED ASSISTED LIVING FACILITY**

1403 SOUTH 2000 WEST  
SYRACUSE, UTAH



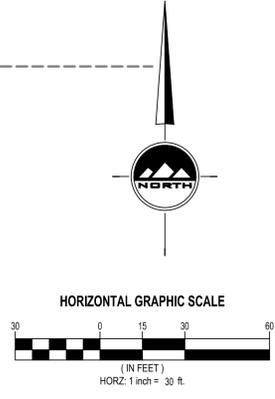
**CONCEPT PLAN**

PROJECT NUMBER: L2292  
PRINT DATE: 7/21/15  
DRAWN BY: A.SHELLEY  
CHECKED BY: K.RUSSELL  
PROJECT MANAGER: K.RUSSELL

**LEGEND**

|  |                          |  |                                |
|--|--------------------------|--|--------------------------------|
|  | SECTION CORNER           |  | DEED LINE                      |
|  | EXIST MONUMENT           |  | TANGENT LINE                   |
|  | PRO MONUMENT             |  | EXIST BUILDING                 |
|  | EXIST REBAR AND CAP      |  | PRO BUILDING                   |
|  | SET ENSIGN REBAR AND CAP |  | BUILDABLE AREA WITHIN SETBACKS |
|  | ADJACENT RIGHT OF WAY    |  | PUBLIC DRAINAGE EASEMENT       |
|  | RIGHT OF WAY             |  | EXISTING 30" CURB AND GUTTER   |
|  | CENTERLINE               |  | PROPOSED CONCRETE              |
|  | PROPERTY LINE            |  |                                |
|  | ADJACENT PROPERTY LINE   |  |                                |

- GENERAL NOTES**
- 2-21 BED BUILDINGS
  - 26 REGULAR PARKING STALLS  
2 HANDICAP PARKING STALLS
  - PARKING RATIO IS 1 PARKING STALL PER EVERY 1.33 BEDS





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Craig Johnson  
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Douglas Peterson

**City Manager**  
Brody Bovero

July 10, 2015

The City has received a General Plan and Rezone request for the Professional Office Zone, requested by Erik Craythorne, property located approximately 1373 S 2000 W. The Planning Commission will consider this request in their regular meeting, beginning at 6 p.m., in the City Hall Council Chambers on **July 21 2015**.

In accordance with Syracuse City Land Use Ordinance 10-4-050(C), we are providing you notice of this request as a land owner within a 300-foot radius of the subject property. This is a Public Hearing, and you are welcome to attend and provide comments regarding this request, if you so desire, or submit them in writing to the email or mailing address below.

If you are uncertain as to the impact or ramifications of this proposal and would like more information; please feel free to call or stop in during regular business hours, between 8 a.m. and 5 p.m., Monday through Friday.

Respectfully,

*Syracuse City*

Community Development Department  
Phone and/or Fax: 801-614-9632  
Email: [jschow@syracuseut.com](mailto:jschow@syracuseut.com)

js

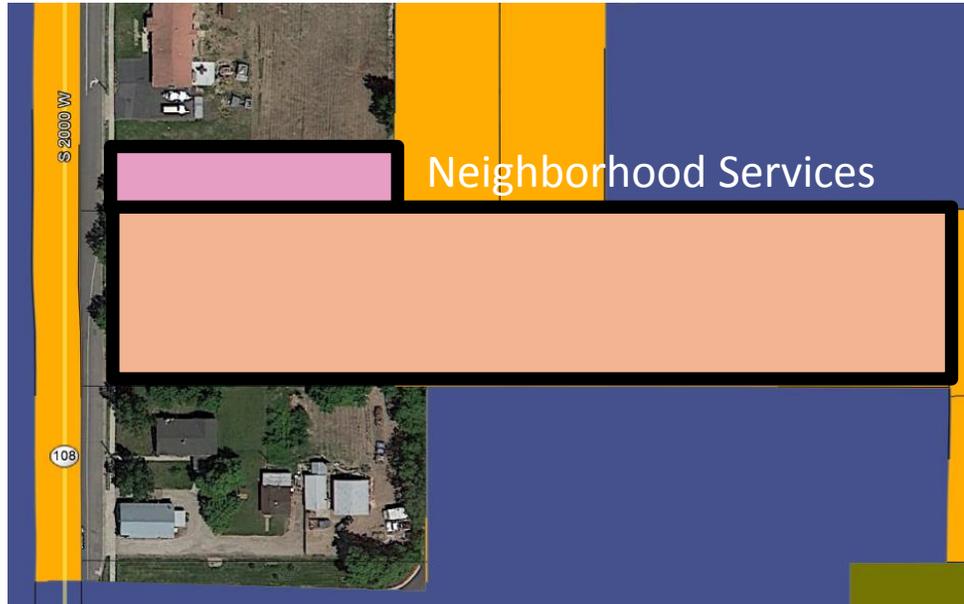


# General Plan Request Q-2 LLC 1373 S 2000 W



Existing General Plan Map

General Plan Request



- |                                                                                                                        |                                                                                                                |
|------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------|
|  Agriculture A-1                    |  Commercial II            |
|  R-1 (2.90 dwellings per net acre)  |  General Commercial Zone  |
|  R-2 (3.79 dwellings per net acre)  |  Industrial Zone          |
|  R-3 (5.44 dwellings per net acre)  |  Town Center Overlay Zone |
|  PRD (8.0 dwellings per net acre)   |  Sensitive Overlay Zone   |
|  R-4 (14.52 dwellings per net acre) |  RDA & EDA Boundary       |
|  Professional Office                |                                                                                                                |



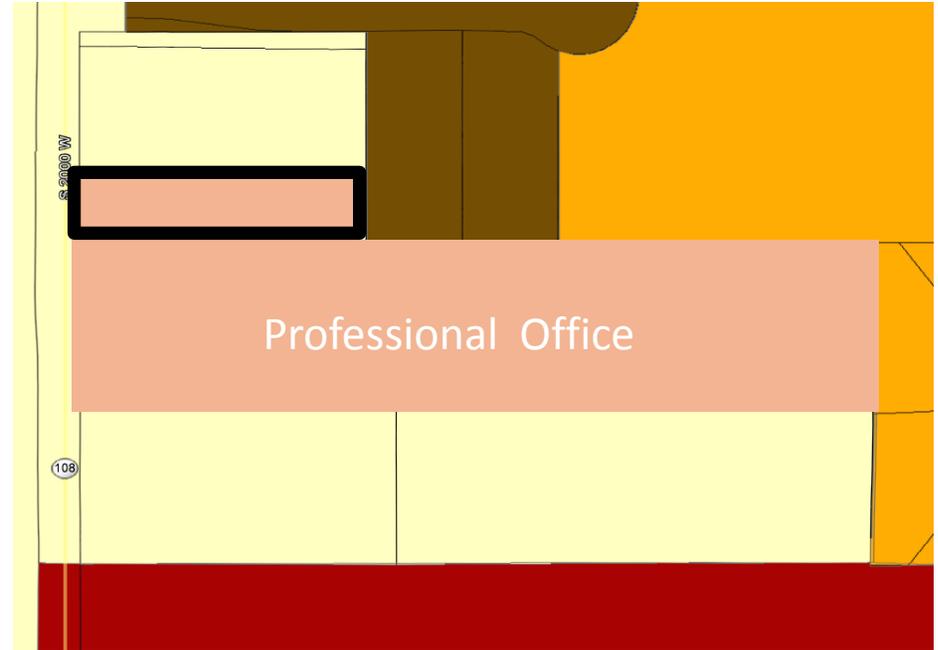
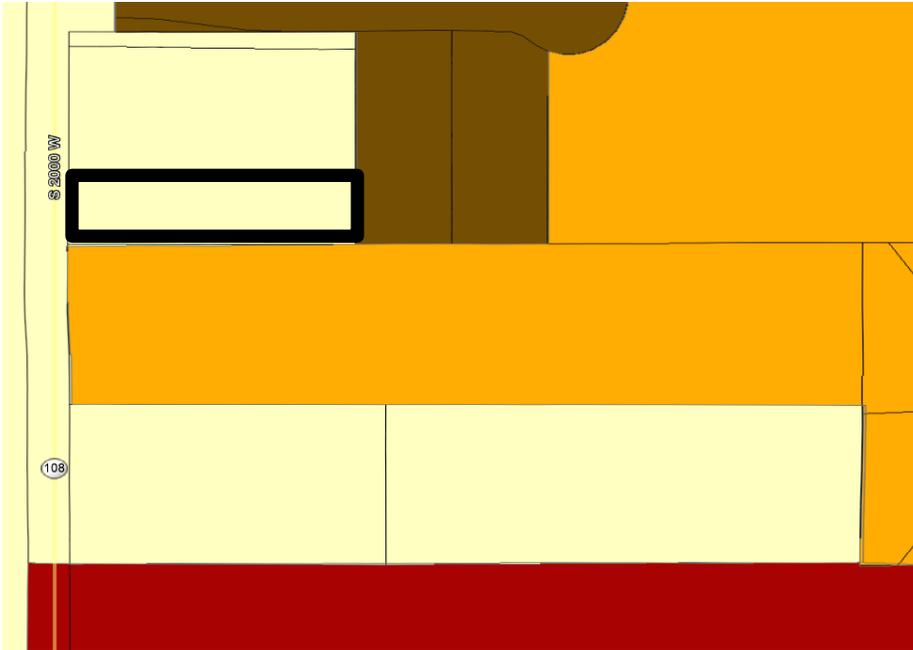
# Rezone Request

## 1373 S 2000 W



Existing Zoning Map

Proposed Zoning Request



- |                                                                                     |                                    |                                                                                       |                          |
|-------------------------------------------------------------------------------------|------------------------------------|---------------------------------------------------------------------------------------|--------------------------|
|  | Agriculture A-1                    |  | Neighborhood Services    |
|  | R-1 (2.90 dwellings per net acre)  |  | General Commercial Zone  |
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|  | R-4 (14.52 dwellings per net acre) |  | RDA & EDA Boundary       |
|  | Professional Office                |                                                                                       |                          |



# CITY COUNCIL AGENDA

July 28, 2015

## Agenda Item #c.v

## Final Plan Report

### Factual Summation

Syracuse City staff has conducted a final plan review of the Spring Haven Subdivision. Please review the following information. Any questions regarding this agenda item may be directed at Jenny Schow, City Planner.

|                        |                 |
|------------------------|-----------------|
| Subdivision Name:      | Spring Haven    |
| Location:              | 1840 S 3475 W   |
| Current Zoning:        | R-1 Residential |
| Total Area:            | 3.1 Acres       |
| Net Developable Acres: | 2.48 acres      |
| Density Allowed:       | 7 lots          |
| Density Requested:     | 7 lots          |

### Public Meeting Outline

|                        |               |
|------------------------|---------------|
| Concept Plan Review    | May 6, 2014   |
| Concept Plan Report PC | May 19, 2015  |
| Concept Plan Report CC | May 26, 2015  |
| Preliminary Plan PC    | June 2, 2015  |
| Preliminary Plan CC    | June 9, 2015  |
| Final Plan PC          | July 21, 2015 |

### Attachments

- Aerial
- Final Plan
- Staff Reviews

### Planning Commission Recommendation

The Planning Commission moved to recommend approval of the final subdivision plan for Spring Haven Estates located at approximately 1840 S 3475 W, R-1 Zone, subject to all applicable requirements of the City's municipal codes and city staff reviews with a unanimous vote on July 21, 2015.



## **Spring Haven Estates Subdivision**

3475 West & 1850 South

Engineer Final Plan Review

*Completed by Brian Bloemen on July 13, 2015*

Below are the engineering comments for the final plan review of the Spring Haven Estates Subdivision.

Plat:

1. Add a 20' irrigation easement along the easterly property line.
2. Add "Public Street".

Plans:

1. Install a fire hydrant instead of a blow off.
2. All culinary services must come off the mainline not the fire hydrant lead.

If you have any further comments or questions please feel free to contact me at 801-614-9630.

Sincerely,

Brian Bloemen, P.E.  
City Engineer



TO: Community Development, Attention: Jenny Schow  
FROM: Jo Hamblin, Fire Marshal  
RE: Spring Haven Estates Final

DATE: July 6, 2015

I have reviewed the plan submitted on June 25, 2015 for the above referenced project. The Fire Prevention Division of this department has the following comments/concerns.

1. Fire hydrants and access roads shall be installed prior to construction of any buildings. All hydrants shall be placed with the 4 ½" connection facing the point of access for Fire Department Apparatus.
  - The cul-da-sac exceeds the maximum spacing for hydrants and an additional hydrant will need to be added. This was requested at preliminary and has not been met at time of review of the final plans.

These plans have been reviewed for Fire Department requirements only. Other departments must review these plans and will have their requirements. This review by the Fire Department must not be construed as final approval from Syracuse City.



SYRACUSE  
EST. CITY 1935

## Planner Final Subdivision Review

**Subdivision:** Spring Haven

**Completed By:** Jenny Schow, City Planner

**Date:** July 16, 2015

**Updated:**

### 8-6-10 Final Plat

#### Please review and amend the following items:

1. Include a typical set back diagram or list set backs on the plat.
2. Include "Public Street" with street label
3. Lot 6 is missing a length measurement
4. Include street monuments on the plat
5. Show current inset city map on plat

#### Items required for Preconstruction:

1. Construction Drawing Prints and PDF files
2. Schedule a preconstruction meeting
3. Bond estimate using the City template
4. Final Inspection Fees as calculated in the approved bond estimate
5. Offsite Improvement Agreement
6. BMP Facilities Maintenance Agreement (Parcel A)
7. Streetlight Agreement
8. SWPPP NOI
9. SWPPP City Permit
10. Fugitive Dust Control Plan

#### Items required for Recording:

1. Escrow Agreement
2. Water Shares
3. Title Report - must be updated within 30 days or recording
4. Recording fees: \$37/page +\$1/lot and any common space as well as \$1/land-owner signatures over two

# SPRING HAVEN ESTATES

APPROX. 1840 SOUTH 3475 WEST  
SYRACUSE, UTAH

## GENERAL NOTES

- 1) ALL WORK SHALL CONFORM WITH SYRACUSE CITY STANDARDS & SPECIFICATIONS.
- 2) ALL WORK WITHIN UDOT RIGHT-OF-WAY SHALL CONFORM TO UDOT STANDARDS AND SPECIFICATIONS
- 3) CALL BLUESTAKES 48 HOURS PRIOR TO DIGGING.
- 4) BENCHMARK IS THE NORTH QUARTER CORNER OF SECTION 17, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN. ELEVATION = 4237.49
- 5) ALL CONSTRUCTION SHALL COMPLY WITH THE SYRACUSE CITY STANDARD PLANS.
- 6) CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING MANHOLES AND OTHER UTILITIES BEFORE BUILDING OR STAKING ANY UTILITY LINES.
- 7) ALL IRRIGATION VALVE COVERS SHOULD BE LABELED "IRRIGATION".

## DEVELOPER

**JOSH HUGHES**  
2353 WEST 2330 SOUTH  
SYRACUSE, UTAH 84075  
(801) 940-6057

## ENGINEER / SURVEYOR

**PINNACLE**  
Engineering & Land Surveying, Inc.

2720 North 350 West, Suite #108  
Layton, UT 84041

Phone: (801) 773-1910  
Fax: (801) 773-1925

## DRAWING INDEX

- 1 COVER
- 2 NOTES & DETAILS
- 3 PLAT
- 4 SITE PLAN
- 5 3475 WEST PLAN & PROFILE STA 0+50 TO 4+50
- 6 SWPPP

## TRAFFIC CONTROL & SAFETY NOTES

1. BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT STATE OF UTAH DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, AND THE CURRENT SYRACUSE CITY STANDARD DRAWING, AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO ANY WORK.
2. NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE CITY TRAFFIC ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
3. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
4. DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
5. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
6. TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

## UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

## NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS: OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

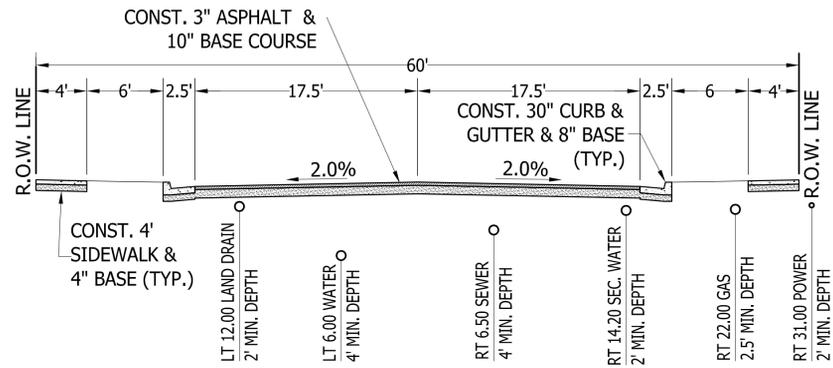


R1 CHANGED BLOWOFF TO FH 06/30/15  
R2 REMOVED NEW CHAIN LINK FENCE 06/30/15  
R3 ADDED 20' IRRIG EAST TO EAST LINE SD 07/17/15

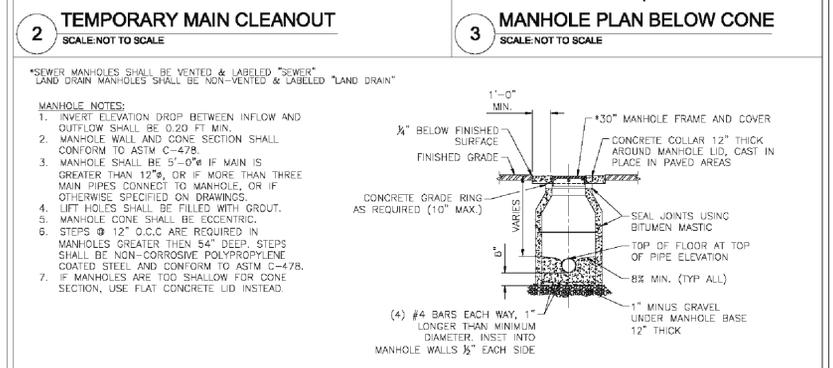
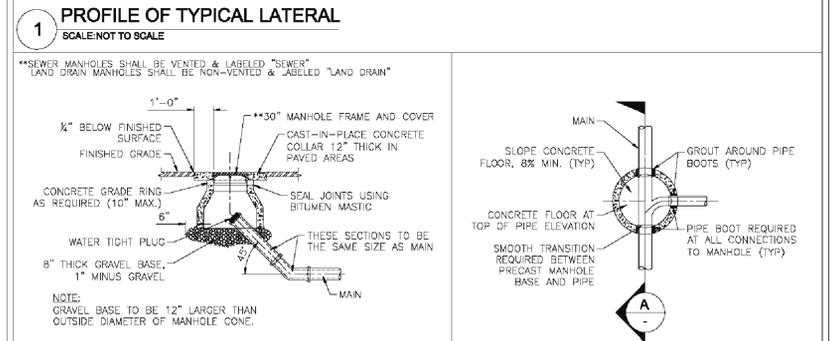
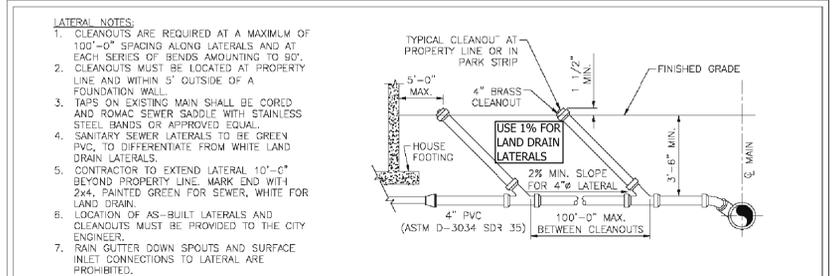
SPRING HAVEN ESTATES

### GENERAL NOTES

- All work to conform to SYRACUSE CITY standards, drawings, and specifications.
- For landscaping see landscape plans.
- All existing manholes, water valves, clean outs, etc., will be to grade.
- No allowance will be made for discrepancies or omissions that can be easily observed. Contractor must verify all existing conditions before bidding, and bring up any questions beforehand.
- Full depth expansion joints will be placed against any object deemed to be fixed, changes in direction, and at equal intervals not to exceed 50 feet. Slabs-on-grade will be typically scored (1/2 the depth) at intervals not to exceed their width or 12 times their depth, whichever is less. Scoring will be placed to prevent random cracking.
- Concrete waterways, curb walls, curb and gutter, etc., will typically be scored (1/2 the depth) at intervals not to exceed 10 feet, and have full depth expansion joints that equal spacing not to exceed 50 feet.
- Unless otherwise noted, all Slabs-on-grade will have a minimum 8" turned-down edge to help control frost heave.
- Unless otherwise noted, all on-grade concrete will be placed on a minimum 4" gravel base over a well compacted (95% density) sub grade.
- All exposed surfaces will have a textured finish, rubbed, or broomed, any "plastering" of new concrete will be done while it is still "green".
- All joints (control joints, construction joints, expansion joints, etc.), will be sealed with a one part polyurethane sealant (see specification).
- Existing trees are to remain unless otherwise noted.
- Prior to starting construction, the contractor shall be responsible for making sure that all required permits and approvals have been obtained. No construction or fabrication shall begin until the contractor has received and thoroughly reviewed all plans and other documents approved by all of the permitting authorities.
- Site grading shall be performed in accordance with these plans and specifications and the recommendations set forth in the soils report. The contractor shall be responsible for removing and replacing all soft, yielding or unsuitable materials and replacing with suitable materials as specified in the soils report. All excavated or filled areas shall be compacted to 95% of modified proctor maximum density per ASTM Test D-1557 in 8 inch max lifts. Moisture content at time of placement shall not exceed 2% above nor 3% below optimum. Contractor shall submit a compaction report prepared by a qualified registered soils engineer, verifying that all filled areas and sub grade areas within the building pad area and areas to be paved, have been compacted in accordance with these plans and specs and the recommendations set forth in the soils report.
- The locations of underground facilities shown on these plans are based on field surveys and local utility company records. It shall be the contractor's full responsibility to contact the various utility companies to locate their facilities prior to proceeding with construction. No additional compensation shall be paid to the contractor for damage and repair to these facilities caused by his work force. Contractors must start at the low end of all gravity fed lines and work up hill. Failure to comply with this note will release the civil engineer of all liability.
- All dimensions, grades, and utility design shown on the plans shall be verified by the contractor prior to construction. Contractor shall notify the engineer if any discrepancies exist, prior to proceeding with construction for necessary plan or grade changes. No extra compensation shall be paid to the contractor for work having to be redone due to the dimensions or grades shown incorrectly on these plans, if such notification has not been given.
- All work shall be performed in accordance with the plans and specifications and the requirements and standards of SYRACUSE CITY. The soils report and recommendations set forth therein are a part of the required construction documents and in case of conflict, shall take precedence unless specifically noted otherwise on the plans. The contractor shall notify the engineer of any discrepancy between soils report and plans, etc.
- Site clearing shall include the location and removal of all underground tanks, pipes, valves, etc.
- All new valves, manholes, etc. shall be raised or lowered to grade as required. And installed with a minimum of a 6" concrete ring.
- Construct new buildings, sidewalks, curb walls, curb & gutter, ramps, retaining wall, etc., per design shown.
- Natural vegetation and soil cover shall not be disturbed prior to actual construction of a required facility or improvement. Mass clearing of the site in anticipation of construction shall be avoided. Construction traffic shall be limited to one approach to site. The approach shall be designated by the general manager.
- All new water construction to be done in accordance with SYRACUSE CITY standards and specifications.
- All new sanitary sewer construction to be done in accordance with SYRACUSE CITY standards and specifications.
- All new land drain construction to be done in accordance with SYRACUSE CITY standards and specifications.
- All new Secondary Water construction to be done in accordance with SYRACUSE CITY standards and specifications.
- All new Storm Drain construction to be done in accordance with SYRACUSE CITY standards and specifications.
- Contractor is to submit site plan to Questar Gas Co. for design of gas line service to building. Actual construction of service to be done by Questar Gas Company.
- For electric service, lighting, routing, etc. see electrical plans.
- All new pressurized irrigation shall be done in accordance with the current Pine View standards and specifications.
- Contractor to layout and pothole for all potential conflicts with utility lines on or off site as required prior to any construction.
- Contractor to loop new waterline around gravity utilities if conflict does occur. (Notify engineer of the problem).
- Contractor to notify SYRACUSE CITY and Pinnacle Engineering 48 hours prior to beginning any construction required for this project.
- All trench backfill shall meet 95% STD. Proctor Density in 8 inch lifts. Compaction tests shall be made by developer. Call back test shall be charged to the contractor.
- Contractor to review all design grades with any sub contractors to have a complete understanding as to whether or not the curb and gutter is inflow or release. (Notify engineer if there are questions).
- No change in design location or grade will be made by the contractor without the written approval of the SYRACUSE CITY engineer and the project engineer.
- All thrust blocks shall be poured in place against undisturbed soil as per specifications, all valves, fittings, and appurtenances to be blocked.
- Contractor shall be responsible for furnishing, maintaining, or restoring all monuments and monument reference marks within the project site. Contact the city or county surveyor for monument locations and construction details.
- Contractor shall provide a construction schedule in accordance with the city or county regulations for working in the public way.
- Contractor shall be responsible for dust control according to governing agents standards. Wet down dry materials and rubbish to prevent blowing.
- Existing main to remain in service until new main has been installed, tested, and all services have been reconnected.
- Contractor shall be responsible for any damage to adjacent surface improvements.
- Contractor shall be responsible for correcting any settlement of or damage to existing storm drains.
- All existing asphalt will be saw cut in neat straight lines by the contractor prior to excavation.
- The contractor shall place temporary street asphalt surfaces if the work is accomplished at a time when permanent asphalt surfacing material is not available. At the time permanent asphalt becomes available, the contractor shall furnish and place asphalt per SYRACUSE CITY or County standards. The contractor shall guarantee the asphalt restoration for period of two years from the date of completion.
- Contractor to furnish and place asphalt per permit requirements.
- Contractor to furnish and place a minimum base course thickness of 10 inches is required below asphalt paving (see plans for specific options).
- All concrete valve boxes will be poured in place against undisturbed soil and built with a ductile iron ring and cover positioned over the valve operating unit centered over the man way opening.
- The contractor is responsible to furnish all materials to complete the project.
- Traffic control to conform to the current city or county transportation engineer's manual.
- The contractor will verify depths of utilities in the field by pot holing a minimum of 300 feet ahead of pipeline construction to avoid conflicts with designed pipeline grade and alignment. If a conflict arises resulting from the contractor's negligence to pothole utilities the contractor will be required to resolve the conflict without additional cost or claim to the owner or engineer.
- All elevations are U.S.V.G.S. Datum.
- Contractor shall install invert covers in all sewer manholes in the project area.
- Contractor shall not allow any groundwater or debris to enter the new pipe during construction.
- Handicap Accessibility: All construction shall meet the ADA Handicap Accessibility Requirements. For any discrepancies between the plans and ADA requirements, ADA Requirements will govern.
- Striping: Striping will be per the plans and/or as directed by the owner's representative. Striping to include handicap insignias, signs, cross-hatching, direction arrows, etc. as shown or as directed.
- Contractor responsible for all field staking and layout work on project.
- Contractor to provide all utility trenching and conduits.
- Contractor to provide a 1 year warranty after all construction is complete.
- All topsoil removed from streets during construction shall be re-distributed behind the curb and gutter with no material being exported from the site.
- Culinary water services are to be 3/4" type K copper. See SYRACUSE CITY Standards & Specifications for Meter Box and Appurtenances. Water services shall be extended to the middle of the lot frontage to a point 10 feet beyond the back of sidewalk.
- Sanitary Sewer services are to be 4" PVC pipe. See SYRACUSE CITY Standards & Specifications for slope and cleanout requirements. Sewer services shall be extended 10 feet downstream from the water lateral along the lot frontage, to a point 10 feet beyond the back of sidewalk.
- Land Drain services are to be 4" white PVC pipe. See SYRACUSE CITY Standards and Specifications for slope and cleanout requirements. Land Drain laterals shall be extended to a point 10 feet upstream from the downstream lot line and 10 feet beyond the back of sidewalk.
- Secondary water single services shall be 1" poly, Secondary water double services shall be 1 1/2" poly with 1 1/2" X 1" X 1" tee to 1" poly. See SYRACUSE CITY Water standards and specifications. Secondary water laterals shall be extended to a point 1 foot beyond property line and 1 foot to 2 feet from property line unless otherwise directed by the SYRACUSE CITY Engineer.
- No lateral service of any kind shall cross lot lines other than lot frontages.
- Contractor shall connect any springs found on the site to the storm drain. Connection shall be a 4" perforated pvc pipe (minimum 1% slope) bedded in drain rock and wrapped in geofabric.
- Contractor shall fill swampy areas on the site with a minimum of 12" of native soil or granular fill.



### TYPICAL STREET X-SECTION



**TYPICAL MANHOLE SECTION**  
SCALE: NOT TO SCALE

**DEVELOPMENT STANDARDS**  
**SYRACUSE CITY CORPORATION**  
SEWER AND LAND DRAIN STANDARDS

**REVISION**

| NO. | REVISION DESCRIPTION         | BY    | DATE    |
|-----|------------------------------|-------|---------|
| R1  | CHANGED BLOWOFF TO FH        | JF/KM | 04/2015 |
| R2  | REMOVED NEW CHAIN LINK FENCE | SD/SB | 05/2015 |
| R3  |                              | SB/SD | 6/10/15 |
| R4  |                              | SJF   | 06/2015 |
| R5  |                              |       |         |
| R6  |                              |       |         |
| R7  |                              |       |         |
| R8  |                              |       |         |
| R9  |                              |       |         |

**SYRACUSE CITY CORPORATION**

**CALL BLUESTAKES**  
1-800-662-4111

AT LEAST 48 HOURS BEFORE DIGGING

**SHEET 2 OF 6**

**PINNACLE**  
Engineering & Land Surveying, Inc.  
Layton • West Bountiful • Mount Pleasant • St. George  
2770 North 350 West, Suite #108  
Layton, UT 84041  
Phone: (801) 773-1910  
Fax: (801) 773-1925

**SPRING HAVEN ESTATES**  
NOTES AND DETAILS  
FOR: JOSH HUGHES  
~1840 SOUTH 3475 WEST  
SYRACUSE, UT  
15-018

**STEPHEN P. BOTT**  
LICENSED PROFESSIONAL ENGINEER  
UTAH

| DATE    | BY  | REVISION |
|---------|-----|----------|
| 6/30/15 | SPB | R1       |
| 6/30/15 | SPB | R2       |
|         |     | R3       |
|         |     | R4       |
|         |     | R5       |
|         |     | R6       |
|         |     | R7       |
|         |     | R8       |
|         |     | R9       |

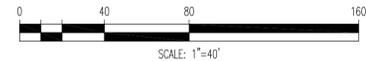
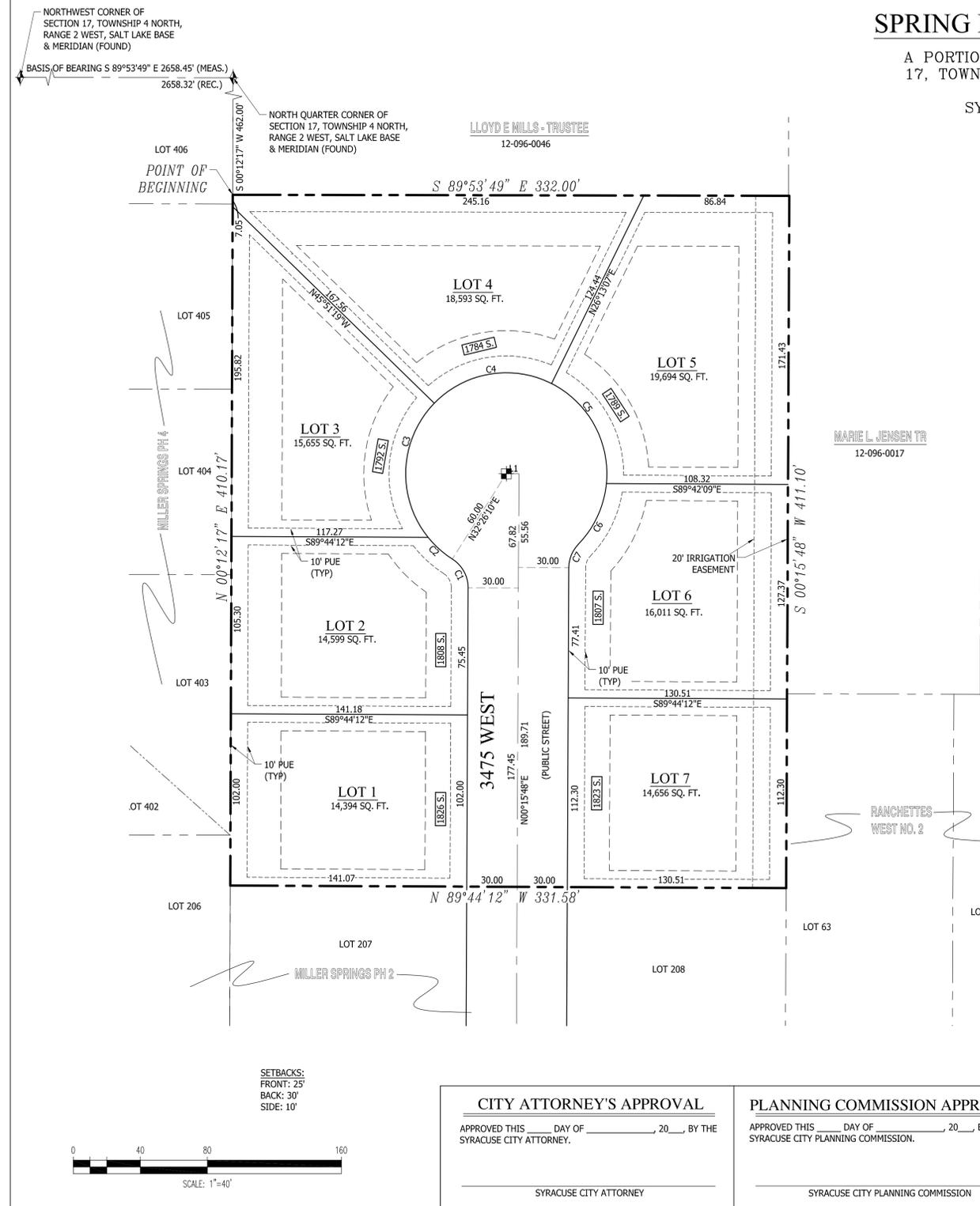
**CALL BLUESTAKES**  
1-800-662-4111

AT LEAST 48 HOURS BEFORE DIGGING

**SHEET 2 OF 6**

# SPRING HAVEN ESTATES SUBDIVISION

A PORTION OF THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, SYRACUSE CITY, DAVIS COUNTY, UTAH



| LINE | LENGTH | BEARING     |
|------|--------|-------------|
| L1   | 7.56   | S89°44'12"E |

| CURVE | LENGTH | RADIUS | DELTA     | CHORD BRG   | CHORD |
|-------|--------|--------|-----------|-------------|-------|
| C1    | 20.23  | 20.00  | 57°57'41" | N28°43'02"W | 19.38 |
| C2    | 19.59  | 60.00  | 18°42'21" | S48°20'42"E | 19.50 |
| C3    | 87.21  | 60.00  | 83°16'47" | S02°38'52"W | 79.73 |
| C4    | 75.89  | 60.00  | 72°27'57" | S80°31'14"W | 70.93 |
| C5    | 72.04  | 60.00  | 68°47'49" | N28°50'53"W | 67.79 |
| C6    | 40.53  | 60.00  | 38°41'56" | N24°54'00"E | 39.76 |
| C7    | 15.35  | 20.00  | 43°59'10" | S22°15'23"W | 14.98 |



- LEGEND**
- PROPERTY LINE
  - LOT LINE
  - CENTER / SECTION LINE
  - STREET RIGHT-OF-WAY LINE
  - EASEMENT LINE
  - ADJACENT PROPERTY LINE
  - ⊕ NEW CENTERLINE MONUMENT
  - ⚡ SECTION CORNER
  - PUR&DE PUBLIC UTILITY & DRAINAGE EASEMENT
  - SET 5/8" REBAR WITH AN ORANGE PLASTIC CAP, OR NAIL & WASHER STAMPED PINNACLE 191517

**UTILITY COMPANY APPROVAL**

ROCKY MOUNTAIN POWER \_\_\_\_\_ DATE \_\_\_\_\_

QUESTAR GAS \_\_\_\_\_ DATE \_\_\_\_\_

CENTURYLINK \_\_\_\_\_ DATE \_\_\_\_\_

**CITY ATTORNEY'S APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY THE SYRACUSE CITY ATTORNEY.

\_\_\_\_\_  
SYRACUSE CITY ATTORNEY

**PLANNING COMMISSION APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY THE SYRACUSE CITY PLANNING COMMISSION.

\_\_\_\_\_  
SYRACUSE CITY PLANNING COMMISSION

**CITY ENGINEER'S APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY THE SYRACUSE CITY ENGINEER.

\_\_\_\_\_  
SYRACUSE CITY ENGINEER

**CITY COUNCIL APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY THE SYRACUSE CITY COUNCIL.

ATTEST:

\_\_\_\_\_  
SYRACUSE CITY RECORDER

\_\_\_\_\_  
SYRACUSE CITY MAYOR

## SURVEYOR'S CERTIFICATE

I, STEPHEN J. FACKRELL DO HEREBY CERTIFY THAT I AM A LICENSED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 191517 AS PRESCRIBED UNDER LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, HEREAFTER TO BE KNOWN AS: SPRING HAVEN ESTATES SUBDIVISION AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT ALL LOTS MEET FRONTAGE WIDTH AND AREA REQUIREMENTS OF THE APPLICABLE ZONING ORDINANCES.

## BOUNDARY DESCRIPTION

BEGINNING AT A POINT ON THE EAST LINE OF MILLER SPRINGS SUBDIVISION PHASE 4, AS RECORDED WITH THE DAVIS COUNTY RECORDER, SAID POINT BEING LOCATED SOUTH 00°12'17" WEST ALONG SECTION LINE 462.00 FEET FROM THE NORTH QUARTER CORNER OF SECTION 17, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN; AND RUNNING THENCE SOUTH 89°53'49" EAST 332.00 FEET; THENCE SOUTH 00°15'48" WEST TO AND ALONG A WEST LINE OF RANCHETTES WEST NO. 2, AS RECORDED WITH THE DAVIS COUNTY RECORDER, 411.10 FEET TO THE NORTHEAST CORNER OF LOT 208, MILLER SPRINGS SUBDIVISION PHASE 2, AS RECORDED WITH THE DAVIS COUNTY RECORDER; THENCE NORTH 89°44'12" WEST ALONG THE NORTH LINE OF SAID SUBDIVISION 331.58 FEET; THENCE NORTH 00°12'17" EAST ALONG THE EASTERLY LINES OF SAID PHASE 2 AND PHASE 4 410.17 FEET TO THE POINT OF BEGINNING.

CONTAINS: 136,243 SQ. FT. / 3.13 AC.

DATE \_\_\_\_\_ STEPHEN J. FACKRELL  
LICENSE NO. 191517

## OWNER'S DEDICATION

I, THE UNDERSIGNED OWNER OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THIS PLAT, HEREAFTER KNOWN AS SPRING HAVEN ESTATES SUBDIVISION, DO HEREBY DEDICATE, GRANT AND CONVEY FOR PERPETUAL USE OF THE PUBLIC ALL PUBLIC STREETS AND PUBLIC UTILITY AND DRAINAGE EASEMENTS AS SHOWN HEREON TO SYRACUSE CITY.

IN WITNESS WHEREOF \_\_\_\_\_ HAVE HEREUNTO SET \_\_\_\_\_ THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.

## ACKNOWLEDGMENT

STATE OF UTAH )  
COUNTY OF DAVIS )

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF DAVIS IN SAID STATE OF UTAH, THE SIGNER ( ) OF THE ABOVE OWNER'S DEDICATION, \_\_\_ IN NUMBER, WHO DULY ACKNOWLEDGED TO ME THAT \_\_\_\_\_ SIGNED IT FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC  
RESIDING IN DAVIS COUNTY

**SPRING HAVEN ESTATES SUBDIVISION**  
A PORTION OF THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, SYRACUSE CITY, DAVIS COUNTY, UTAH

**PINNACLE**  
Engineering & Land Surveying, Inc.  
2720 North 350 West, Suite #108 Phone: (801) 773-1910  
LAYTON, UT 84041 Fax: (801) 773-1925

**DAVIS COUNTY RECORDER**

ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_ FILED FOR RECORD AND RECORDED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ AT \_\_\_\_\_ IN BOOK \_\_\_\_\_ OF OFFICIAL RECORDS PAGE \_\_\_\_\_

\_\_\_\_\_  
DAVIS COUNTY RECORDER

BY \_\_\_\_\_ DEPUTY RECORDER

BASIS OF BEARING S 89°53'49" E 2658.45' (MEAS.)  
2658.32' (REC.)

NORTHWEST CORNER OF SECTION 17, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN (FOUND)

NORTH QUARTER CORNER OF SECTION 17, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN (FOUND) (BENCHMARK=4237.49)

LLOYD E MILLS - TRUSTEE  
12-096-0046

# SPRING HAVEN ESTATES

A PORTION OF THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, SYRACUSE CITY, DAVIS COUNTY, UTAH

## AS-SURVEYED DESCRIPTION

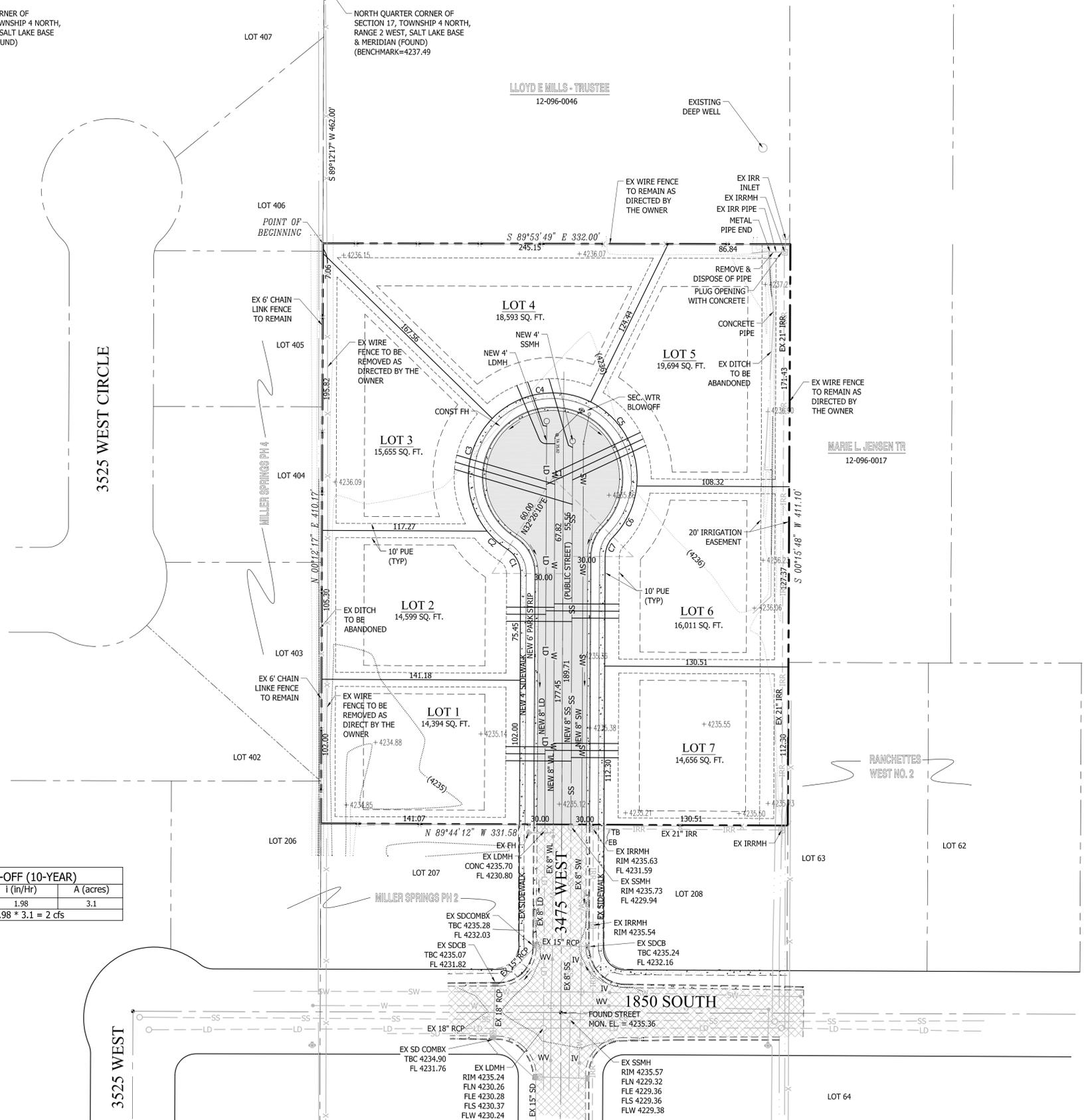
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CONTAINS: 136,243 SQ. FT. / 3.13 AC.

| LINE TABLE |        |             |
|------------|--------|-------------|
| LINE       | LENGTH | BEARING     |
| L1         | 7.56   | S89°44'12"E |

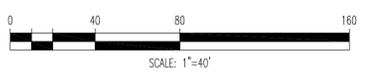
| CURVE TABLE |        |        |           |             |       |
|-------------|--------|--------|-----------|-------------|-------|
| CURVE       | LENGTH | RADIUS | DELTA     | CHORD BRG   | CHORD |
| C1          | 20.23  | 20.00  | 57°57'41" | N28°43'02"W | 19.38 |
| C2          | 19.59  | 60.00  | 18°42'21" | S48°20'42"E | 19.50 |
| C3          | 87.21  | 60.00  | 83°16'47" | S02°38'52"W | 79.73 |
| C4          | 75.89  | 60.00  | 72°27'57" | S80°31'14"W | 70.93 |
| C5          | 72.04  | 60.00  | 68°47'49" | N28°50'53"W | 67.79 |
| C6          | 40.53  | 60.00  | 38°41'56" | N24°54'00"E | 39.76 |
| C7          | 15.35  | 20.00  | 43°59'10" | S22°15'23"W | 14.98 |

3525 WEST CIRCLE



| PEAK RUN-OFF (10-YEAR) |        |           |           |
|------------------------|--------|-----------|-----------|
| C                      | tc     | i (in/Hr) | A (acres) |
| 0.31                   | 10 min | 1.98      | 3.1       |

Q = C\*i\*A = 0.31 \* 1.98 \* 3.1 = 2 cfs



### LEGEND

NOT ALL ITEMS IN THE LEGEND MAY BE APPLICABLE

- BOUNDARY LINE
- CENTERLINE
- SETBACK LINE
- EASEMENT LINE
- EX. IRRIGATION LINE
- EX. LAND DRAIN
- EX. OVERHEAD POWER LINE
- EX. STORM DRAIN
- EX. SANITARY SEWER
- EX. SECONDARY WATERLINE
- EX. TELEPHONE LINE
- EX. GAS LINE
- EX. CULINARY WATERLINE
- EX. FENCE
- P.O.B.
- EX. EXISTING
- WATER VALVE
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- STORM DRAIN CATCH BASIN
- STORM DRAIN BOX
- UTILITY POLE
- SECTION CORNER
- MONUMENT
- CONTROL POINT
- EX. SPOT ELEVATION
- EG CONTOUR LINE
- BAR & CAP OR NAIL & WASHER TO BE SET
- EXISTING ASPHALT

**PINNACLE**  
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SPRING HAVEN ESTATES  
SITE PLAN  
FOR: JOSH HUGHES  
~1840 SOUTH 3475 WEST  
SYRACUSE, UT  
15-018



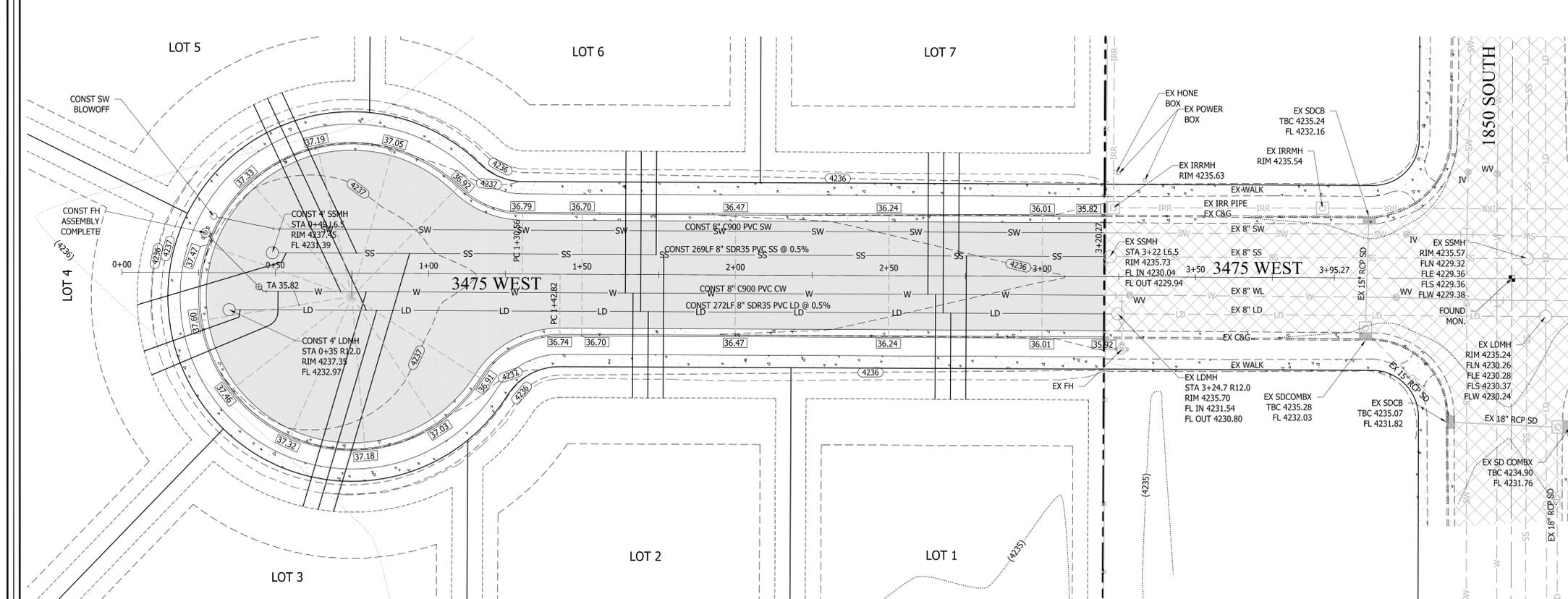
| REVISION | DATE    | BY  | DATE    |
|----------|---------|-----|---------|
| R1       | 6/30/15 | SPB | 6/30/15 |
| R2       | 6/30/15 | SPB | 6/30/15 |
| R3       |         |     |         |
| R4       |         |     |         |
| R5       |         |     |         |
| R6       |         |     |         |
| R7       |         |     |         |
| R8       |         |     |         |
| R9       |         |     |         |

SURVEYED BY: JF/KM 04/2015  
DESIGNED BY: SD/SB 05/2015  
DRAWN BY: SB/SD 6/10/15  
APPROVED BY: SIF 06/2015

**CALL BLUESTAKES**  
1-800-662-4111

AT LEAST 48 HOURS BEFORE DIGGING

**SHEET 4 OF 6**



### GENERAL NOTES

CONTRACTOR SHALL OBTAIN A COPY OF, AND STRICTLY ADHERE TO THE CURRENT STANDARDS AND SPECIFICATIONS OF ALL APPLICABLE AGENCIES.

THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.

PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.

ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

CONTRACTORS MUST START AT THE LOW END OF ALL GRAVITY FED LINES AND WORK UP HILL. FAILURE TO COMPLY WITH THIS NOTE SHALL RELEASE THE CIVIL ENGINEER OF ALL LIABILITY.

CONTRACTOR SHALL LAYOUT AND POTHOLE FOR ALL POTENTIAL CONFLICTS WITH UTILITY LINES ON OR OFF SITE AS REQUIRED PRIOR TO ANY CONSTRUCTION.

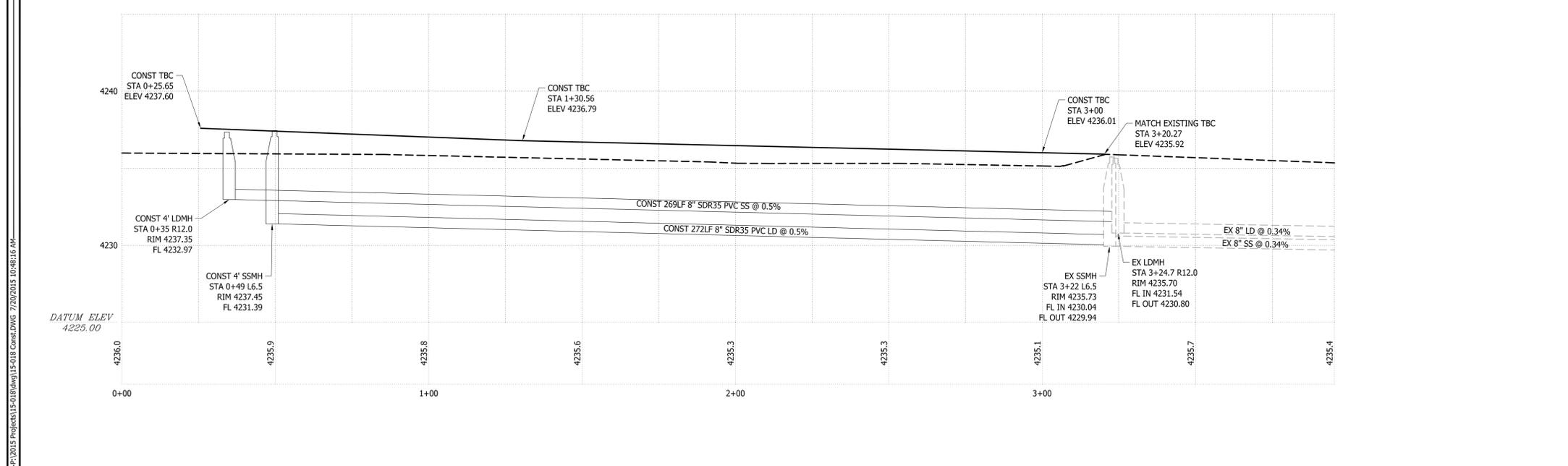
NO ALLOWANCE SHALL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFOREHAND.

NO CHANGE IN DESIGN LOCATION OR GRADE SHALL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.

THE CONTRACTOR SHALL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY POT HOLEING A MINIMUM OF 300 FEET AHEAD OF PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. IF A CONFLICT ARISES RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO POT HOLE UTILITIES THE CONTRACTOR SHALL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.

ALL NEW VALVES, MANHOLES, ETC. SHALL BE INSTALLED A MINIMUM OF 6" BELOW FINISH GRADE & RAISED TO GRADE AS REQUIRED WITH A A MINIMUM 6" CONCRETE RING.

# PLAN & PROFILE 3475 WEST STA 0+00 TO 3+95.27



### LEGEND

NOT ALL ITEMS IN THE LEGEND MAY BE APPLICABLE

- BOUNDARY LINE
- CENTERLINE
- SETBACK LINE
- EASEMENT LINE
- EX. IRRIGATION LINE
- EX. LAND DRAIN
- EX. OVERHEAD POWER LINE
- EX. STORM DRAIN
- EX. SANITARY SEWER
- EX. SECONDARY WATERLINE
- EX. TELEPHONE LINE
- EX. GAS LINE
- EX. CULINARY WATERLINE
- EX. FENCE
- P.O.B.
- EX. POINT OF BEGINNING
- EX. WATER VALVE
- EX. SANITARY SEWER MANHOLE
- EX. FIRE HYDRANT
- EX. STORM DRAIN CATCH BASIN
- EX. STORM DRAIN BOX
- EX. UTILITY POLE
- SECTION CORNER
- MONUMENT
- CONTROL POINT
- EX. SPOT ELEVATION
- EG CONTOUR LINE
- BAR & CAP OR NAIL & WASHER TO BE SET
- EXISTING ASPHALT

| REVISION | DATE     | BY    | DATE     |
|----------|----------|-------|----------|
| R1       | 04/20/15 | JF/KM | 04/20/15 |
| R2       | 05/20/15 | SD/SB | 05/20/15 |
| R3       | 06/10/15 | SB/SD | 06/10/15 |
| R4       | 06/20/15 | SJF   | 06/20/15 |

**CALL BLUESTAKES**  
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AT LEAST 48 HOURS BEFORE DIGGING

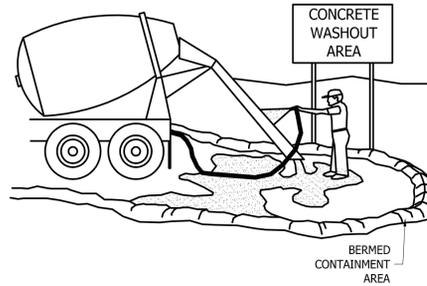
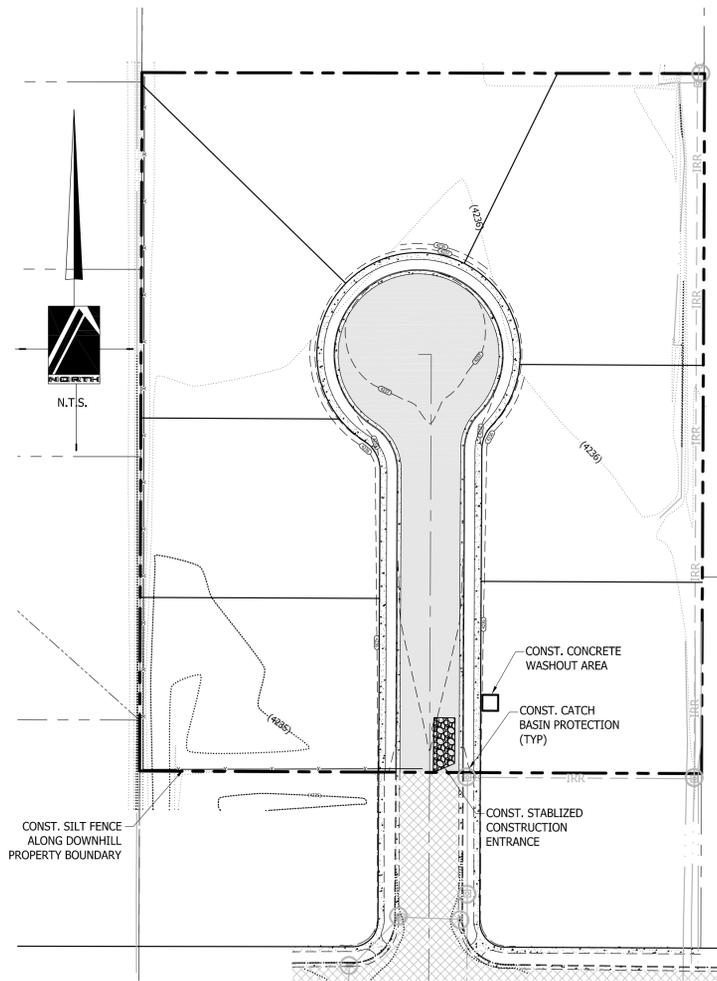
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**5**  
OF 6

**PINNACLE**  
Engineering & Land Surveying, Inc.  
Layton • West Bountiful • Mount Pleasant • St. George  
2770 North 350 West, Suite #108 Phone: (801) 773-1910  
Layton, UT 84041 Fax: (801) 773-1925

**SPRING HAVEN ESTATES**  
PLAN AND PROFILE 3475 WEST  
FOR: JOSH HUGHES  
~1840 SOUTH 3475 WEST  
SYRACUSE, UT  
15-018

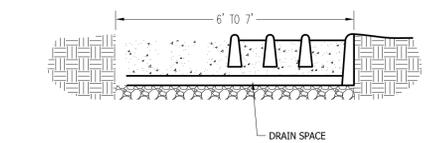
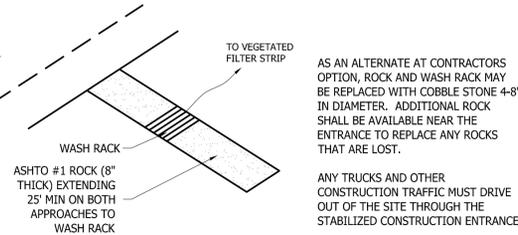
STEPHEN P. BOTTLER  
LICENSED PROFESSIONAL ENGINEER  
UTAH

ALL INFORMATION SHOWN HEREON IS NOT FINAL OR APPROVED WITHOUT THE GOVERNING AGENCY'S STAMP AND SIGNATURE. ANY USE OF THIS DRAWING AND ITS CONTENT WITHOUT SAID APPROVAL IS DONE AT THE INDIVIDUAL'S OWN RISK. PINNACLE ENGINEERING & LAND SURVEYING, INC. DOES NOT ASSUME LIABILITY FOR ANY SUCH USE.



**CONCRETE WASTE MANAGEMENT**

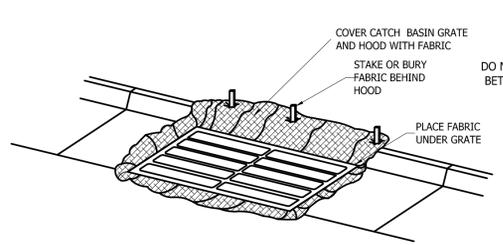
- NOTES:
- EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
  - FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED ON SITE.
  - SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP, AND DISPOSED OF PROPERLY.



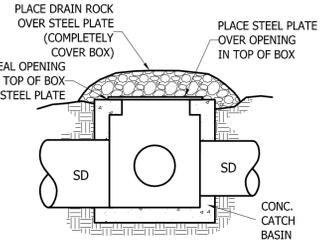
MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCK PILE OF ROCK MATERIAL SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. DRAIN SPACE UNDER WASH RACK SHALL BE KEPT OPEN AT ALL TIME. DAMAGE TO THE WASH RACK SHALL BE REPAIRED PRIOR TO FURTHER USE OF THE RACK. AT THE END OF EACH CONSTRUCTION DAY, SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE.

**STABILIZED CONSTRUCTION ENTRANCE**

REQ'D UNTIL PLACING ROAD BASE



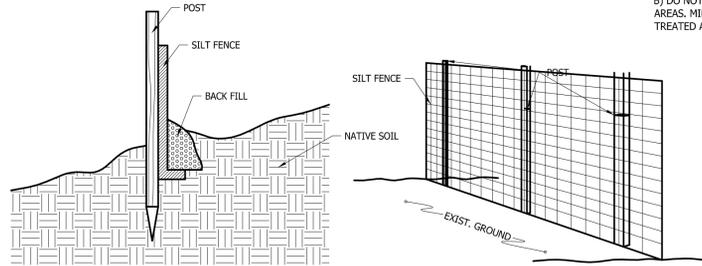
**FABRIC UNDER GRATE**  
MAINTENANCE: LIFT GRATE & CLEAN SEDIMENT OFF OF FABRIC WEEKLY & AFTER A STORM. TAKE CARE WHILE LIFTING GRATE TO PREVENT SEDIMENT FROM FALLING INTO THE CATCH BASIN. DISPOSE OF SEDIMENT AWAY FROM THE STORM DRAIN.



**STEEL PLATE & DRAIN ROCK**  
MAINTENANCE: CHECK THAT DRAIN ROCK COMPLETELY COVERS THE CATCH BASIN WEEKLY & AFTER A STORM. IF SEDIMENT COVERS THE DRAIN ROCK, REMOVE THE SEDIMENT.

**CATCH BASIN PROTECTION**

- NOTES:
- PRIOR TO PLACING CURB & GUTTER, OR LANDSCAPING, USE A STEEL PLATE & DRAIN ROCK TO PROTECT THE CATCH BASIN FROM SEDIMENTATION.
  - AFTER PLACING CURB & GUTTER, OR LANDSCAPING, USE FABRIC UNDER GRATE TO PROTECT THE CATCH BASIN FROM SEDIMENTATION.



**SILT FENCE DETAIL**

**SPECIFIC NOTES**

- THIS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WAS DEVELOPED AT THE REQUEST OF THE SYRACUSE CITY ENGINEERING DEPT. FOR THE DEVELOPMENT OF A 12.32 ACRE PARCEL AT APPROXIMATELY 500 WEST AND 2700 SOUTH IN SYRACUSE CITY, DAVIS COUNTY, STATE OF UTAH THIS PLAN IDENTIFIES POTENTIAL SOURCES OF POLLUTANTS OF STORM WATER, PRESENTS POLLUTION CONTROL MEASURES, AND ASSISTS IN INSURING IMPLEMENTATION AND MAINTENANCE OF THE BEST MANAGEMENT PRACTICES (BMP'S) INDICATED HEREIN.
  - A NOTICE OF INTENT HAS BEEN FILED WITH THE STATE OF UTAH WATER RESOURCES CONTROL BOARD BY THE OWNER SO THAT THIS CONSTRUCTION PROJECT MAY BE COVERED UNDER THE STATE GENERAL PERMIT. THE PERMIT IS NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT (NO. UTR 62000) FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.
  - IN THE EVENT OF A CHANGE IN OWNERSHIP, A NEW NOTICE OF INTENT SHALL BE FILED WITH THE STATE WATER RESOURCES CONTROL BOARD.
  - IN THE EVENT OF A RELEASE OF A REPORTABLE QUANTITY OF A POLLUTANT, THE CONTRACTOR SHALL ADVISE THE OWNER TO NOTIFY THE NATIONAL RESPONSE CENTER, SYRACUSE CITY AND PINNACLE ENGINEERING, INC. IF NECESSARY, THIS POLLUTION PREVENTION PLAN SHOULD BE REVISED TO REFLECT THE CHANGE IN CONDITIONS OF THE CONSTRUCTION ACTIVITY. A REPORTABLE QUANTITY IS ESTABLISHED BY 40 CODE OF FEDERAL REGULATIONS (CFR) 117.3
  - ALL CONTRACTORS AND THEIR PERSONNEL WHOSE WORK CAN CONTRIBUTE TO OR CAUSE POLLUTION OF STORM WATER SHOULD BE MADE FAMILIAR WITH THIS POLLUTION PREVENTION PLAN. ADEQUATE TRAINING FOR IMPLEMENTATION OF THE MEASURES PRESENTED HEREIN SHALL BE PROVIDED TO THE CONTRACTORS AND THEIR PERSONNEL.
  - CHANGES IN CONSTRUCTION OR IN CONDITIONS WHICH ARE NOT COVERED BY THIS PLAN SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER, CPB AND PINNACLE ENGINEERING, INC. IF NECESSARY, THIS POLLUTION PREVENTION PLAN WILL BE REVISED TO REFLECT THE CHANGE IN CONSTRUCTION OR IN CONDITIONS.
  - ALL PREVENTION AND CLEAN UP MEASURES SHOULD BE CONDUCTED IN ACCORDANCE WITH SYRACUSE CITY ORDINANCES, AS WELL AS STATE AND FEDERAL REGULATIONS. WASTE MATERIALS SHOULD BE DISPOSED OF IN ALL DISCHARGERS OF STORM WATER MUST COMPLY WITH THE LAWFUL REQUIREMENTS OF SYRACUSE CITY AND OTHER LOCAL AGENCIES REGARDING THE DISCHARGES OF STORM WATER TO STORM DRAINS.
  - THIS PLAN DOES NOT COVER THE REMOVAL OF HAZARDOUS OR TOXIC WASTE. IN THE EVENT OF A DISCHARGE OR RELEASE OF A REPORTABLE QUANTITY OF TOXIC WASTE, WORK SHOULD BE STOPPED UNTIL THE SPILL CAN BE ASSESSED AND A MITIGATION REPORT PREPARED BY A QUALIFIED ENVIRONMENTAL CONSULTANT, AND IF NECESSARY, REVIEWED BY SYRACUSE CITY AND ANY OTHER AGENCY HAVING JURISDICTION.
  - THIS SWPPP SHALL BE MADE AVAILABLE TO THE PUBLIC UNDER SECTION 308(B) OF THE CLEAN WATER ACT. UPON REQUEST BY MEMBERS OF THE PUBLIC, THE DISCHARGER SHALL MAKE AVAILABLE FOR REVIEW A COPY OF THIS SWPPP EITHER TO THE REGIONAL WATER BOARD OR DIRECTLY THIS SWPPP MUST BE KEPT ON SITE DURING CONSTRUCTION ACTIVITY AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE REGIONAL WATER BOARD AND/OR THE LOCAL AGENCY HAVING JURISDICTION.
- PROHIBITION ON MOST NON-STORM WATER DISCHARGES
- ONLY STORM WATER FROM THE PROJECT SITE SHALL BE ALLOWED TO FLOW INTO THE ON-SITE STORM DRAIN SYSTEM. CLEAN, NON-CHLORINATED WATER FROM THE FLUSHING OF FIRE HYDRANTS, WATER MAINS, AND STORM DRAINS MAY BE DISCHARGED TO THE STORM DRAIN IF IT IS NOT ALLOWED TO COLLECT DIRT, DEBRIS, AND TRASH WHILE FLOWING TO A STORM DRAIN INLET.
- SOURCES OF STORM WATER POLLUTANTS
- STORM WATER POLLUTANTS INCLUDE SOIL SEDIMENT AND NUTRIENTS, OIL, GREASE, TOXIC POLLUTANTS, AND HEAVY METALS. SOURCES OF STORM WATER POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO SOIL EROSION BY WATER AND/OR WIND; CLEARING OF VEGETATION; GRADING; VEHICLE AND EQUIPMENT REFUELING AND MAINTENANCE; WASHING OF CONCRETE TRUCKS, MIXERS AND HANDLING EQUIPMENT; PAINTS, SOLVENTS AND ADHESIVES; AND LANDSCAPING WORK.
- EROSION AND SEDIMENT CONTROLS
- COVER EXPOSED STOCKPILES OF SOILS, CONSTRUCTION AND LANDSCAPING MATERIALS WITH HEAVY PLASTIC SHEETING.
  - IN LANDSCAPING AREAS WHERE THE VEGETATION HAS NOT ESTABLISHED GROWTH AND TAKEN HOLD, CONSTRUCT SANDBAG OR DIRT BERMS AROUND THEIR PERIMETER TO INSURE THAT WATER WILL BE CONTAINED INSIDE THE LANDSCAPING AREA AND THAT IT WILL NOT BE CONVEYED TO A STORM DRAIN INLET.
  - RE-VEGETATE AREAS WHERE LANDSCAPING HAS DIED OR NOT TAKEN HOLD.
  - DIVERT STORM WATER RUNOFF AROUND DISTURBED SOILS WITH BERMS OR DIRT SWALES.
- OTHER CONTROLS
- WASTE DISPOSAL
    - KEEP WASTE DISPOSAL CONTAINERS COVERED.
    - PROVIDE FOR THE WEEKLY (OR MORE FREQUENT, IF NECESSARY) DISPOSAL OF WASTE CONTAINERS.
    - PROVIDE CONTAINERS AT CONVENIENT LOCATIONS AROUND THE SITE.
    - SWEEPING OF SITE
      - PROVIDE WEEKLY SWEEPING BY HAND OR MECHANICAL MEANS TO KEEP THE PAVED AREAS OF THE SITE FREE OF DUST, DIRT, AND DEBRIS.
      - DISPOSE OF ACCUMULATED DIRT IN WASTE CONTAINERS, OR HAUL IT OFF THE SITE TO A LANDFILL.
    - SANITARY/SEPTIC DISPOSAL
      - PORTABLE TOILETS AND OTHER SANITARY FACILITIES SHALL BE SERVICED WEEKLY AND PUMPED CLEAN BY A WASTE DISPOSAL COMPANY. NO TOXIC OR HAZARDOUS WASTE SHALL BE DISPOSED IN A PORTABLE TOILET OR IN THE ON-SITE SANITARY SEWER.
      - OTHER CONTROLS
        - STORE ADEQUATE ABSORBENT MATERIALS, RAGS, BROOMS, SHOVELS, AND WASTE CONTAINERS ON THE SITE TO CLEAN-UP SPILLS OF MATERIALS SUCH AS FUEL, PAINT, SOLVENTS, OR CLEANERS. CLEAN UP MINOR SPILLS IMMEDIATELY.
        - FOR REPORTABLE QUANTITY OF HAZARDOUS OR TOXIC SUBSTANCE, SECURE THE SERVICES OF QUALIFIED PERSONNEL FOR CLEAN-UP AND DISPOSAL.
        - CONTROL OF ALLOWABLE NON-STORM WATER DISCHARGES
          - LANDSCAPING IRRIGATION, EROSION CONTROL MEASURES, PIPE FLUSHING AND TESTING, AND PAVEMENT WASHING ARE ALLOWED IF THEY CANNOT FEASIBLY BE ELIMINATED, COMPLY WITH THIS PLAN, DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS, AND ARE NOT REQUIRED TO BE PERMITTED BY THE LOCAL REGIONAL WATER QUALITY CONTROL BOARD.
          - VEHICLES AND EQUIPMENT
            - FIX LEAKS OF FUEL, OIL AND OTHER SUBSTANCES IMMEDIATELY.
            - PERFORM REFUELING AND SERVICE OF VEHICLES OR EQUIPMENT OFF-SITE WHEN POSSIBLE. IF REFUELING OR SERVICE OF EQUIPMENT IS PERFORMED ON-SITE, THEN PROVIDE AN IMPERVIOUS, CONTAINED AREA WHERE ANY SPILLS CAN BE CONTAINED WITHOUT FLOWING TO A STORM WATER INLET OR INTO THE GROUND.
            - USE DRIP PANS TO CATCH LEAKS AND SMALL SPILLS.
            - CONCRETE TRUCKS, MIXERS AND HANDLING EQUIPMENT
              - DO NOT DISPOSE OF WASHOUT FROM THE WASHING OF CONCRETE TRUCKS, MIXERS, AND HANDLING EQUIPMENT WHERE IT WILL FLOW INTO A STORM WATER INLET OR INTO A PUBLIC STREET.
              - PROVIDE A HOLDING TANK TO RECEIVE ANY WASHOUT FROM CONCRETE EQUIPMENT. DISPOSAL OF TANK CONTENTS SHOULD BE CONDUCTED BY A WASTE HANDLING FIRM.
              - PROVIDE A DESIGNATED AREA FOR WASHING ANY VEHICLES OR EQUIPMENT. DRAINAGE FROM THIS AREA SHOULD FLOW TO THE HOLDING TANK.
            - LANDSCAPING OPERATIONS
              - USE ONLY THE MINIMUM AMOUNT OF LANDSCAPING FERTILIZERS, NUTRIENTS, AND OTHER CHEMICALS THAT ARE NEEDED.
              - DO NOT OVER WATER FERTILIZED OR TREATED LANDSCAPE AREAS. MINIMIZE RUNOFF OF IRRIGATION WATER FROM TREATED AREAS.

**GENERAL NOTES**

- REGULAR INTERVAL INSPECTION AND INSPECTION BEFORE AND AFTER STORMS
  - TO IDENTIFY AREAS CONTRIBUTING TO A STORM WATER POLLUTION CONTROL MEASURES ARE IN PLACE.
  - BEFORE A STORM, INSPECT THE SITE TO INSURE THAT STORM WATER POLLUTION CONTROL MEASURES ARE IN PLACE.
  - AFTER A STORM, INSPECT ALL STORM WATER INLETS TO INSURE THAT THEY ARE CLEAR OF DIRT AND DEBRIS. CLEAN THOSE STORM WATER INLETS THAT ARE NOT CLEAR AND FREE OF DEBRIS.
  - THE REGIONAL WATER BOARD MAY REQUIRE THE DISCHARGER TO CONDUCT ADDITIONAL SITE INSPECTIONS, SUBMIT REPORTS AND CERTIFICATIONS, OR TO PERFORM SAMPLING AND ANALYSIS.
- ALL DISCHARGERS ARE REQUIRED TO CONDUCT INSPECTIONS OF THE CONSTRUCTION SITE PRIOR TO ANTICIPATED STORM EVENTS AND AFTER ACTUAL STORM EVENTS, TO IDENTIFY AREAS CONTRIBUTING TO A STORM WATER DISCHARGE. TO EVALUATE WHETHER MEASURES TO REDUCE POLLUTANT LOADINGS IDENTIFIED IN THIS SWPPP ARE ADEQUATE, TO PROPERLY IMPLEMENT IN ACCORDANCE WITH THE TERMS OF THE GENERAL PERMIT, AND TO DETERMINE WHETHER ADDITIONAL CONTROL PRACTICES ARE NEEDED.
- PREPARATION OF REPORTS AND RETENTION OF RECORDS
  - EACH DISCHARGER MUST CERTIFY ANNUALLY THAT ITS CONSTRUCTION ACTIVITY IS IN COMPLIANCE WITH THE REQUIREMENTS OF THE GENERAL PERMIT AND THIS SWPPP. THIS CERTIFICATION MUST BE BASED ON THE SITE INSPECTIONS. THE FIRST CERTIFICATION MUST BE COMPLETED BY JULY 15, 2012, AND EACH JULY 15, THEREAFTER.
  - THE DISCHARGER IS REQUIRED TO RETAIN RECORDS OF ENVIRONMENTAL RESPONSE, COMPLIANCE, AND LIABILITY ACT (CERCLA); ANY CHEMICAL DATA USED TO COMPLETE THE NOTICE OF INTENT FOR CONSTRUCTION ACTIVITY FOR A PERIOD OF AT LEAST THREE YEARS. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE STATE WITH THE EXCEPTION OF NONCOMPLIANCE REPORTING. DISCHARGERS ARE NOT REQUIRED TO SUBMIT THE RECORDS EXCEPT UPON SPECIFIC REQUEST BY THE STATE DEQ DIVISION OF WATER QUALITY.
  - DISCHARGERS WHO CANNOT CERTIFY COMPLIANCE MUST NOTIFY THE STATE DEQ DIVISION OF WATER QUALITY. THIS NOTIFICATION SHALL IDENTIFY THE TYPE OR TYPES OF NONCOMPLIANCE, DESCRIBE THE ACTIONS NECESSARY TO ACHIEVE COMPLIANCE, AND INCLUDE A TIME SCHEDULE, SUBJECT TO THE MODIFICATIONS BY THE STATE DEQ DIVISION OF WATER QUALITY, INDICATING WHEN COMPLIANCE WILL BE ACHIEVED. NONCOMPLIANCE REPORTS MUST BE SUBMITTED WITHIN 30 DAYS OF THE IDENTIFICATION OF THE NONCOMPLIANCE.
- MAINTENANCE OF CONTROLS
  - MAINTENANCE AND REPAIR ALL CONTROLS AND MEASURES INDICATED ON THIS PLAN SHOULD BE MAINTAINED IN GOOD AND EFFECTIVE CONDITION IF ANY CONTROLS OR MEASURES ARE DAMAGED OR REMOVED, THEY SHOULD BE PROMPTLY REPAIRED OR RESTORED.
  - PLAN REVISIONS IF CONSTRUCTION ACTIVITY OR CONDITIONS CHANGE FROM THOSE SHOWN IN THIS PLAN, THEN THIS PLAN SHALL BE REVISED TO REFLECT THE CURRENT CONDITIONS.
  - FINAL STABILIZATION AND POST-CONSTRUCTION CONTROLS
    - AFTER CONSTRUCTION HAS BEEN COMPLETED, THE SITE SHALL BE SWEEP CLEAN, STORM WATER INLETS (GRATES AND BASINS) SHALL BE CLEANED, AND ALL WASTE AND LEFTOVER MATERIALS SHALL BE REMOVED FROM THE SITE.
    - ALL LANDSCAPING AND PLANTING AREAS SHOULD BE WELL MAINTAINED TO PREVENT EROSION. AVOID OVER WATERING OF LANDSCAPING.
    - ALL PAVED AREAS SHOULD BE SWEEP WEEKLY EITHER BY HAND OR BY MECHANICAL MEANS TO KEEP THE SITE CLEAR OF DIRT, DUST, AND DEBRIS.
    - WASTE MATERIALS ON-SITE SHOULD BE STORED IN COVERED CONTAINERS WHICH ARE CLEANED OUT REGULARLY.
    - TESTING OF FIRE HYDRANTS ON-SITE SHALL NOT BE CONDUCTED UNTIL THE AREA WHERE THE WATER DISCHARGES HAS BEEN SWEEP CLEAN OF DIRT AND DEBRIS.
    - STORM DRAIN LINES SHOULD BE CHECKED AND CLEANED ANNUALLY TO KEEP THEM CLEAN AND CLEAR OF DEBRIS.
    - ALL ON-SITE STORM WATER INLETS SHOULD BE CLEARLY MARKED "STORM WATER ONLY".
  - COMPLETION OF CONSTRUCTION ACTIVITIES AND NOTICE OF TERMINATION
    - WHEN CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED ON THIS SITE, THE OWNER SHALL FILE A LETTER WITH THE STATE DEQ DIVISION OF WATER QUALITY. THIS LETTER SHALL CERTIFY THAT THE CONSTRUCTION ACTIVITY HAS BEEN COMPLETED, THAT ALL ELEMENTS OF THE SWPPP HAVE BEEN IMPLEMENTED, THAT CONSTRUCTION AND EQUIPMENT MAINTENANCE WASTES HAVE BEEN DISPOSED OF PROPERLY, THAT THE SITE IS IN COMPLIANCE WITH ALL LOCAL STORM WATER REQUIREMENTS INCLUDING EROSION/SEDIMENT CONTROL REQUIREMENTS, POLICIES, AND GUIDELINES.

**DEFINITIONS**

- "BEST MANAGEMENT PRACTICES" ("BMP'S") MEANS SCHEDULES OF ACTIVITIES, PROHIBITIONS OF PRACTICES, MAINTENANCE PROCEDURES, AND OTHER MANAGEMENT PRACTICES TO PREVENT OR REDUCE THE POLLUTION OF WATERS OF THE UNITED STATES. BMP'S ALSO INCLUDE TREATMENT REQUIREMENTS, OPERATING PROCEDURES, AND PRACTICES TO CONTROL SITE RUNOFF, SPILLAGE OR LEAKS, WASTE DISPOSAL, OR DRAINAGE FROM RAW MATERIAL STORAGE.
- "CLEAN WATER ACT" ("CWA") MEANS THE FEDERAL WATER POLLUTION CONTROL ACT ENACTED BY PUBLIC LAW 92-500 AS AMENDED BY PUBLIC LAWS 95-217, 95-576, 96-493, AND 97-111; 33 USC 1251 ET SEQ.
- "CONSTRUCTION SITE" IS THE LOCATION OF THE CONSTRUCTION ACTIVITY.
- "NON-STORM WATER DISCHARGE" MEANS ANY DISCHARGE TO STORM DRAIN SYSTEMS THAT IS NOT COMPOSED ENTIRELY OF STORM WATER EXCEPT DISCHARGE PURSUANT TO AN NPDES PERMIT AND DISCHARGES RESULTING FROM FIRE FIGHTING ACTIVITIES.
- "SIGNIFICANT MATERIALS" INCLUDES, BUT IS NOT LIMITED TO RAW MATERIALS; FUELS; MATERIALS SUCH AS SOLVENTS, DETERGENTS, AND PLASTIC FILLS; FINISHED MATERIALS SUCH AS METALLIC PRODUCTS; RAW MATERIALS USED IN FOOD PROCESSING OR PRODUCTION HAZARDOUS SUBSTANCES DESIGNATED UNDER SECTION 101(14) OF THE COMPREHENSIVE ENVIRONMENTAL RESPONSE, COMPENSATION, AND LIABILITY ACT (CERCLA); ANY CHEMICAL DATA USED TO COMPLETE THE NOTICE OF INTENT FOR CONSTRUCTION ACTIVITY FOR A PERIOD OF AT LEAST THREE YEARS. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE STATE WITH THE EXCEPTION OF NONCOMPLIANCE REPORTING. DISCHARGERS ARE NOT REQUIRED TO SUBMIT THE RECORDS EXCEPT UPON SPECIFIC REQUEST BY THE STATE DEQ DIVISION OF WATER QUALITY.
- DISCHARGERS WHO CANNOT CERTIFY COMPLIANCE MUST NOTIFY THE STATE DEQ DIVISION OF WATER QUALITY. THIS NOTIFICATION SHALL IDENTIFY THE TYPE OR TYPES OF NONCOMPLIANCE, DESCRIBE THE ACTIONS NECESSARY TO ACHIEVE COMPLIANCE, AND INCLUDE A TIME SCHEDULE, SUBJECT TO THE MODIFICATIONS BY THE STATE DEQ DIVISION OF WATER QUALITY, INDICATING WHEN COMPLIANCE WILL BE ACHIEVED. NONCOMPLIANCE REPORTS MUST BE SUBMITTED WITHIN 30 DAYS OF THE IDENTIFICATION OF THE NONCOMPLIANCE.
- "SIGNIFICANT QUANTITIES" IS THE VOLUME, CONCENTRATIONS, OR MASS OF A POLLUTANT IN STORM WATER DISCHARGE THAT CAN CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR RUINANCE; ADVERSELY IMPACT HUMAN HEALTH OR THE ENVIRONMENT; AND CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY APPLICABLE WATER QUALITY STANDARDS FOR THE RECEIVING WATER.
- "STORM WATER" MEANS STORM WATER RUNOFF, SNOW MELT RUNOFF, SURFACE RUNOFF AND DRAINAGE. IT EXCLUDES INFILTRATION AND RUNOFF FROM AGRICULTURAL LAND.
- "POLLUTION" MEANS THE "MAN-MADE OR MAN-INDUCED ALTERATION OF THE CHEMICAL, PHYSICAL, BIOLOGICAL, AND RADIOLOGICAL INTEGRITY OF WATER" (CLEAN WATER ACT SECTION 502(19)). POLLUTION ALSO MEANS "AN ALTERATION OF THE QUALITY OF THE WATERS OF THE STATE BY WASTE TO A DEGREE WHICH UNREASONABLY AFFECTS EITHER... THE WATERS FOR BENEFICIAL USES... OR FACILITIES WHICH SERVE THESE BENEFICIAL USES." (CALIFORNIA WATER CODE SECTION 13050(1)).
- "CONTAMINATION" MEANS "AN IMPAIRMENT OF THE QUALITY OF THE WATERS OF THE STATE BY WASTE TO A DEGREE WHICH CREATES A HAZARD TO THE PUBLIC HEALTH THROUGH POISONING OR THROUGH THE SPREAD OF DISEASE... INCLUDING ANY EQUIVALENT EFFECT RESULTING FROM THE DISPOSAL OF WASTE, WHETHER OR NOT WATERS OF THE STATE ARE AFFECTED."
- "NUISANCE" MEANS "ANYTHING WHICH MEETS ALL OF THE FOLLOWING REQUIREMENTS: (1) IS INJURIOUS TO HEALTH, OR IS INDECENT OR OFFENSIVE TO THE SENSES, OR AN OBSTRUCTION TO THE FREE USE OF PROPERTY, SO AS TO INTERFERE WITH THE COMFORTABLE ENJOYMENT OF LIFE AND PROPERTY; (2) AFFECTS AT THE SAME TIME AN ENTIRE COMMUNITY OR NEIGHBORHOOD, OR ANY CONSIDERABLE NUMBER OF PERSONS, ALTHOUGH THE EXTENT OF THE ANNOYANCE OR DAMAGE INFLICTED UPON INDIVIDUALS MAY BE UNEQUAL; (3) OCCURS DURING OR AS A RESULT OF THE TREATMENT OR DISPOSAL OF WASTES."
- "LOCAL AGENCY" MEANS ANY AGENCY THAT IS INVOLVED WITH REVIEW, APPROVAL, OR OVERSIGHT OF THE CONSTRUCTION SITES (a) CONSTRUCTION ACTIVITY, (b) EROSION AND SEDIMENT CONTROLS, (c) STORM WATER DISCHARGE.

**RESPONSIBLE PARTY**

JOSH HUGHES  
2853 WEST 2330 SOUTH  
SYRACUSE, UT 84075  
TEL: (801) 940-6057

**PINNACLE**  
Engineering & Land Surveying, Inc.  
Layton • West Bountiful • Mount Pleasant • St. George  
2770 North 350 West, Suite #108 Phone: (801) 773-1910  
Layton, UT 84041 Fax: (801) 773-1925

**SPRING HAVEN ESTATES**  
STORM WATER POLLUTION PREVENTION PLAN  
FOR: JOSH HUGHES  
~1840 SOUTH 3475 WEST  
SYRACUSE, UT  
15-018

STEPHEN P. BOYD  
LICENSED PROFESSIONAL ENGINEER  
UTAH

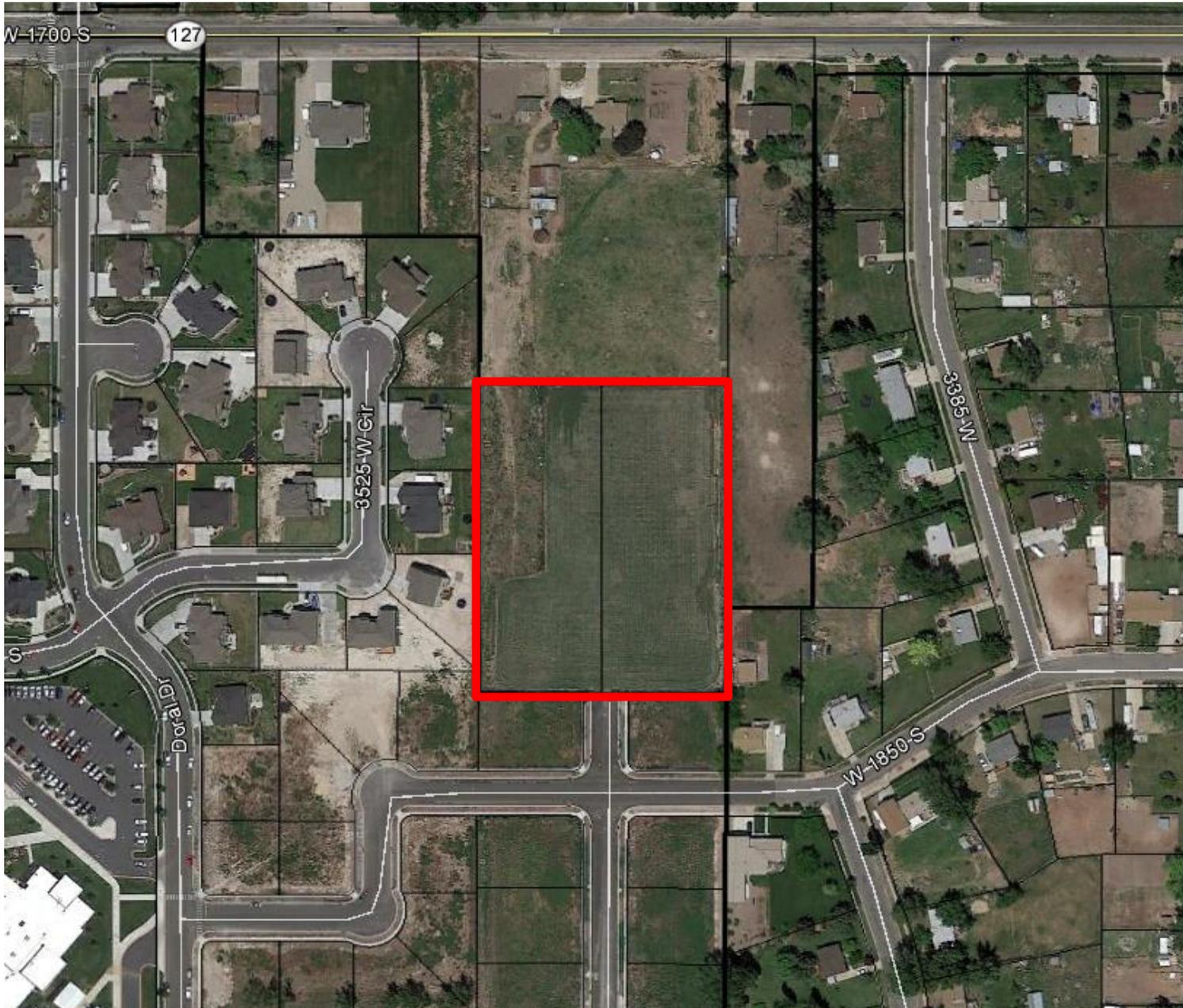
| REVISION | DATE     | BY     | DESCRIPTION                  |
|----------|----------|--------|------------------------------|
| R1       | 04/20/15 | JFH/KM | CHANGED BLOWOFF TO FH        |
| R2       | 05/20/15 | SPB    | REMOVED NEW CHAIN LINK FENCE |
| R3       | 05/20/15 | SD     | DESIGNED BY                  |
| R4       | 05/20/15 | SD/SB  | DRAWN BY                     |
| R5       | 06/10/15 | SB/SD  | APPROVED BY                  |
| R6       | 06/20/15 | SJF    | APPROVED BY                  |
| R7       |          |        |                              |
| R8       |          |        |                              |
| R9       |          |        |                              |

**CALL BLUESTAKES**  
1-800-662-4111  
AT LEAST 48 HOURS BEFORE DIGGING

**SHEET 6 OF 6**



# Spring Haven Subdivision 1840 S 3475 W





# CITY COUNCIL AGENDA

July 28, 2015

## Agenda Item # c.vi

## Final Subdivision Plan Trails Edge Phase 3-5 3250 W 700 S

### Factual Summation

|                                |                 |
|--------------------------------|-----------------|
| Zone:                          | R-3 Residential |
| Applicant:                     | Mark Sandberg   |
| Phase 3                        |                 |
| Acreage                        | 4.466           |
| Net Developable Acreage        | 3.573           |
| Allowed lots                   | 19              |
| Proposed lots                  | 15              |
| Phase 4                        |                 |
| Acreage                        | 3.555           |
| Net Developable Acreage        | 2.844           |
| Allowed lots                   | 15              |
| Proposed lots                  | 14              |
| Phase 5                        |                 |
| Acreage                        | 5.961           |
| Net Developable Acres:         | 4.769           |
| Allowed Lots (5.44 units/acre) | 25              |
| Proposed Lots                  | 19              |

### Public Meeting Outline

|                                 |                 |
|---------------------------------|-----------------|
| General Plan Amendment Approval |                 |
| Planning Commission             | April 15, 2014  |
| City Council                    | May 13, 2014    |
| Rezone R-3 Approval             |                 |
| Planning Commission             | June 3, 2014    |
| City Council                    | June 10, 2014   |
| Rezone R-1 Approval             |                 |
| Planning Commission             | July 1, 2013    |
| City Council                    | July 8, 2014    |
| Sketch Plan Approval            | June 17, 2014   |
| Preliminary Plan Approval       | August 19, 2014 |
| Final Plan Approval             | July 21, 2015   |

### Attachments

- Aerial
- Final Plan
- Staff Reviews

### Planning Commission Recommendation

The Planning Commission moved to recommend approval to the City Council of the Trails Edge Phase 3-5 Final Plan, Mark Sandberg, property located at approximately 3250 W 700 S, subject to all applicable requirements of the City's municipal codes and City staff reviews with a unanimous vote on July 21, 2015.



## **Trail's Edge Subdivision Phases 3 - 5**

700 South & 3300 West

Engineer Final Plan Review

*Completed by Brian Bloemen on June 29, 2015*

Below are the engineering comments for the final plan review of the Trail's Edge Subdivision Phases 3-5.

1. Per City code Lot 503 cannot have a dwelling constructed on it until the road no longer is a dead end street and the temporary cul-de-sac has been removed.

If you have any further comments or questions please feel free to contact me at 801-614-9630.

Sincerely,

Brian Bloemen, P.E.  
City Engineer



TO: Community Development, Attention: Jenny Schow  
FROM: Jo Hamblin, Fire Marshal  
RE: Trail's Edge Subdivision Final revisions phase 3, 4, and 5

DATE: July 15, 2015

These plans have been reviewed for Fire Department requirements only. Other departments must review these plans and will have their requirements. All requirements have been met and are acceptable, the Fire Department does not have any concerns at this time. This review by the Fire Department must not be construed as final approval from Syracuse City.

Sincerely,

Jo Hamblin  
Deputy Chief/ Fire Marshal  
Syracuse City Fire Department

---

1869 South 3000 West, Syracuse, Utah 84075  
801-614-9614 (Station)  
801-776-1976 (Fax)



SYRACUSE  
EST. CITY 1935

## Planner Final Subdivision Review

**Subdivision:** Trails Edge Phase 3-5  
**Completed By:** Jenny Schow, City Planner

**Date:** June 23, 2015  
**Updated:** 7-15-15

### 8-6-10 Final Plat

#### Please review and amend the following items:

1. Include the site triangle on the typical setback detail.
2. Amend 3200 West to 3250 West on Phase 3 and 5
3. Amend Lot 311 to 567 South
4. Amend Lot 502 to 451 South 3250 West
5. Amend Lot 503 to 417 South
6. Amend Lot 504 to 433 South 3350 West
7. Amend Lot 506 to 441 South 3350 West and 444 S 3250 W
8. Amend Lot 515 to 438 South 3350 W
9. Amend Lot 516 to 421 South 3200 W

#### Items required for Preconstruction:

1. Construction Drawing Prints and PDF files
2. Schedule a preconstruction meeting
3. Bond estimate using the City template
4. Final Inspection Fees as calculated in the approved bond estimate
5. Offsite Improvement Agreement
6. BMP Facilities Maintenance Agreement (Parcel A)
7. Streetlight Agreement
8. SWPPP NOI
9. SWPPP City Permit
10. Fugitive Dust Control Plan

#### Items required for Recording:

1. Escrow Agreement
2. Water Shares
3. Title Report - must be updated within 30 days or recording
4. Recording fees: \$37/page +\$1/lot and any common space as well as \$1/land-owner signatures over two



# TRAIL'S EDGE SUBDIVISION

## PHASE 3

3350 WEST 700 SOUTH  
SYRACUSE CITY, UTAH

**FOR APPROVAL  
FOR CONSTRUCTION**

DATE PRINTED  
July 10, 2015



### INDEX OF DRAWINGS

|        |                                   |
|--------|-----------------------------------|
| 1 OF 1 | SUBDIVISION PLAT                  |
| C-001  | NOTES                             |
| C-100  | SITE PLAN                         |
| C-200  | GRADING AND DRAINAGE PLAN         |
| C-300  | UTILITY PLAN                      |
| C-400  | EROSION CONTROL PLAN              |
| C-500  | DETAILS                           |
| PP-1   | 3200 WEST STREET PLAN AND PROFILE |
| PP-2   | 3300 WEST STREET PLAN AND PROFILE |

#### UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

#### NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

#### NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

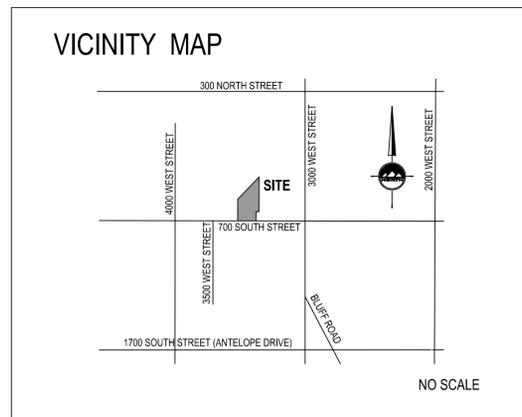
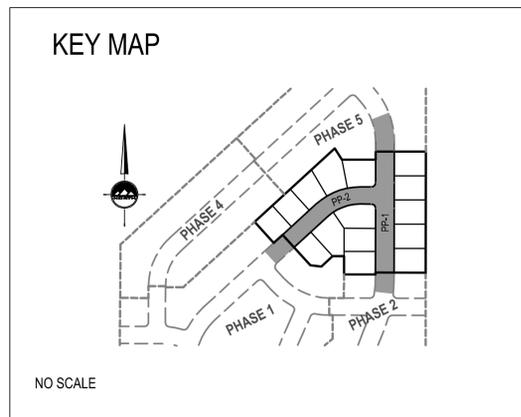
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

#### CITY ENGINEER ACCEPTANCE OF IMPROVEMENT PLANS

THE IMPROVEMENT PLANS FOR THIS SUBDIVISION HAVE BEEN REVIEWED BY THE CITY ENGINEER FOR GENERAL CONFORMANCE WITH THE REQUIREMENTS OF THE CITY SUBDIVISION ORDINANCE. THIS SET OF CITY APPROVED DRAWINGS SHALL BE USED FOR CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS. THE DEVELOPERS ENGINEER, WHOSE STAMP IS ON THESE DRAWINGS, IS RESPONSIBLE FOR THE ENGINEERING DESIGN, DRAFTING AND RELATED FIELD INFORMATION. THE CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR THE DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE. FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, COORDINATION OF HIS OR HER WORK WITH THAT OF ALL OTHER TRADES, AND THE SATISFACTORY PERFORMANCE OF HIS OR HER WORK.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
CITY ENGINEER

**DEVELOPER**  
MSA MARK SANDBERG  
1882 WOODHAVEN DRIVE  
HENDERSON, NEVADA 89074  
702-205-4627



- #### GENERAL NOTES
1. ALL WORK SHALL CONFORM WITH SYRACUSE CITY STANDARDS & SPECIFICATIONS.
  2. ALL UTILITIES SHALL BE INSTALLED PER SYRACUSE CITY STANDARDS & SPECIFICATIONS.
  3. CALL BLUE STAKES 48 HOURS PRIOR TO DIGGING.
  4. BENCHMARK ELEVATION = SOUTH QUARTER CORNER OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN. ELEV. = 4245.76

#### ENGINEER/SURVEYOR:

**EN SIGN**  
THE STANDARD IN ENGINEERING  
WWW.ENSIGNUTAH.COM

**LAYTON**  
1485 West Hillfield Rd.  
Suite 204  
Layton UT 84041  
Phone: 801.547.1100  
Fax: 801.593.6315

**SALT LAKE CITY**  
Phone: 801.256.0529

**TOOELE**  
Phone: 435.843.3590

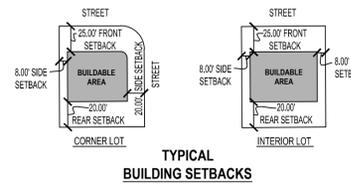
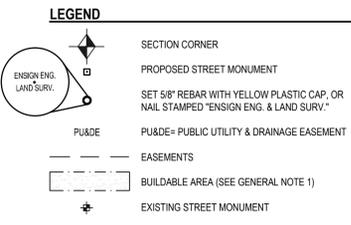
**CEDAR CITY**  
Phone: 435.865.1453

**RICHFIELD**  
Phone: 435.590.0187

**TRAIL'S EDGE SUBDIVISION PHASE 3  
FOR REVIEW - JULY 10, 2015**

| CURVE TABLE |         |         |           |             |         |
|-------------|---------|---------|-----------|-------------|---------|
| CURVE       | RADIUS  | LENGTH  | DELTA     | BEARING     | CHORD   |
| C1          | 15.00'  | 23.56'  | 90°00'00" | S45°04'52"W | 21.21'  |
| C2          | 230.00' | 44.83'  | 11°10'06" | S84°29'49"W | 44.76'  |
| C3          | 230.00' | 78.16'  | 19°28'16" | S69°10'38"W | 77.79'  |
| C4          | 230.00' | 47.30'  | 11°46'58" | S53°33'01"W | 47.22'  |
| C5          | 170.00' | 25.51'  | 8°35'57"  | N51°57'30"E | 25.49'  |
| C6          | 170.00' | 100.36' | 33°49'23" | N73°10'10"E | 98.90'  |
| C7          | 15.00'  | 23.56'  | 90°00'00" | S44°55'08"E | 21.21'  |
| C8          | 230.00' | 170.29' | 42°25'20" | S68°52'12"W | 166.43' |
| C9          | 170.00' | 125.87' | 42°25'20" | S68°52'12"W | 123.01' |
| C10         | 200.00' | 148.08' | 42°25'20" | S68°52'12"W | 144.72' |

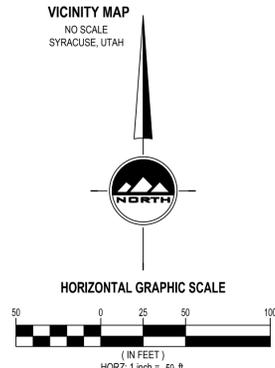
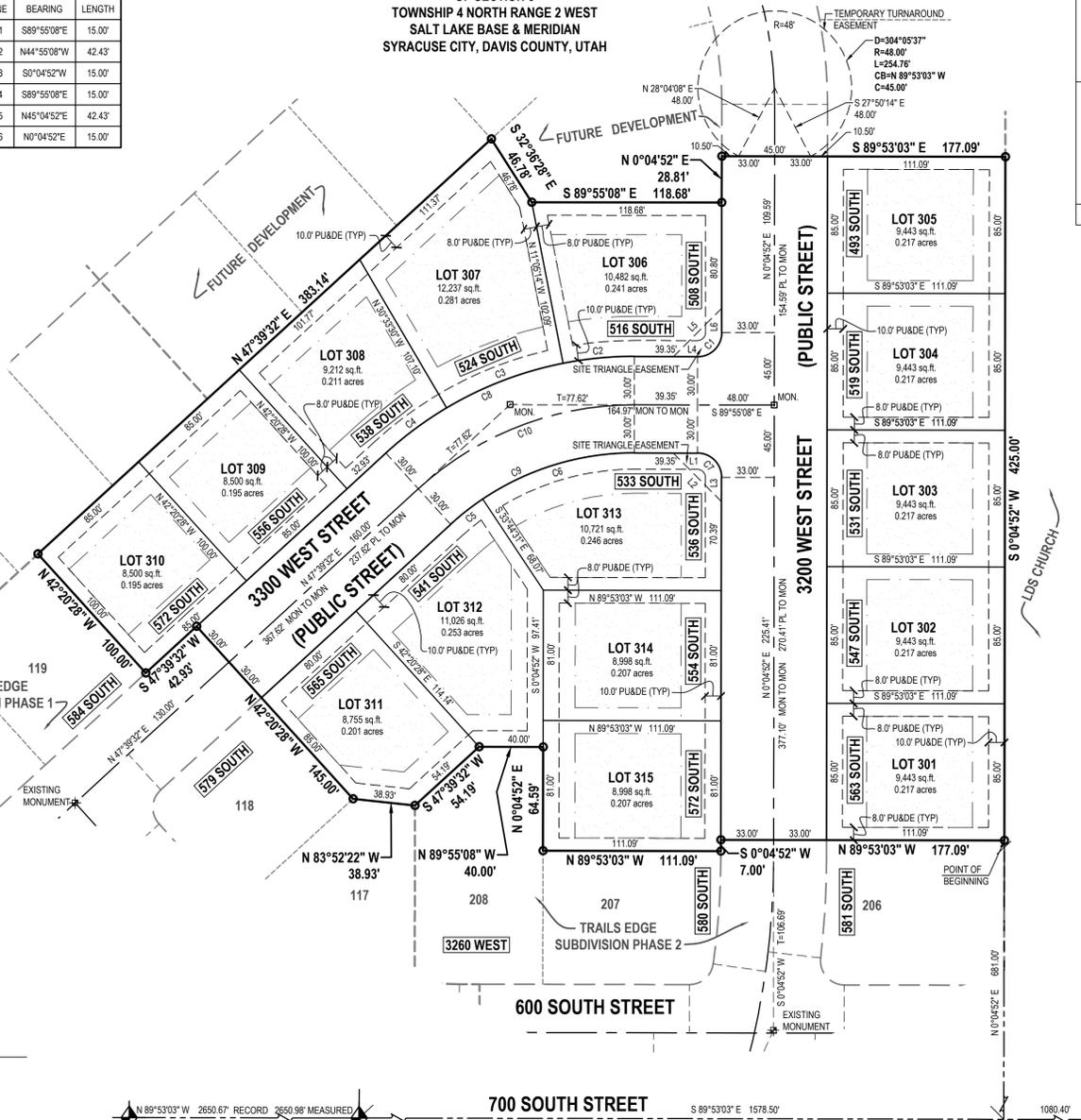
| LINE TABLE |             |        |
|------------|-------------|--------|
| LINE       | BEARING     | LENGTH |
| L1         | S89°55'08"E | 15.00' |
| L2         | N44°55'08"W | 42.43' |
| L3         | S0°04'52"W  | 15.00' |
| L4         | S89°55'08"E | 15.00' |
| L5         | N45°04'52"E | 42.43' |
| L6         | N0°04'52"E  | 15.00' |



- GENERAL NOTES:**
- PROPERTY IS ZONED R-3
    - FRONT YARD SETBACK IS 25'
    - REAR YARD SETBACK IS 20'
    - SIDE YARD SETBACK IS 8'
    - CORNER LOT SIDE YARD SETBACK IS 20'
  - ALL PUBLIC UTILITY AND DRAINAGE EASEMENTS (PU & DE) ARE 10' FRONT, 8' SIDE AND 10' REAR UNLESS OTHERWISE NOTED HEREON.
  - LOWEST FINISH FLOOR ELEVATION FOR ANY HOME IS 4260.00 (DAVIS COUNTY SURVEYORS' OFFICE DATUM).

### TRAIL'S EDGE SUBDIVISION PHASE 3

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 5 TOWNSHIP 4 NORTH RANGE 2 WEST SALT LAKE BASE & MERIDIAN SYRACUSE CITY, DAVIS COUNTY, UTAH



NOTE: UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REMOVE ALL OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE P.U.E. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE P.U.E. AT THE LOT OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE P.U.E. OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE P.U.E. WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE P.U.E.

**DEVELOPER**  
TRAIL'S EDGE LLC  
1882 WOODHAVEN DRIVE  
HENDERSON, NEVADA, 89074  
702-205-4627

#### SURVEYOR'S CERTIFICATE

I, **KEITH R. RUSSELL**, do hereby certify that I am a Licensed Land Surveyor, and that I hold certificate No. **164386**, as prescribed under laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as **TRAIL'S EDGE SUBDIVISION PHASE 3**, and that the same has been correctly surveyed and staked on the ground as shown on this plat. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

#### BOUNDARY DESCRIPTION

Beginning at the Northeast Corner of Lot 206, Trail's Edge Subdivision Phase 2, said point being South 89°53'03" East 1578.50 feet along the section line and North 0°04'52" East 681.00 feet from the South Quarter Corner of Section 5, Township 4 North, Range 2 West, Salt Lake Base and Meridian, and running:

Thence North 89°53'03" West 177.09 feet along the north line to a Northwest Corner of Trail's Edge Subdivision Phase 2;  
 Thence South 0°04'52" West 7.00 feet along a west line to an interior corner of Trail's Edge Subdivision Phase 2;  
 Thence North 89°53'03" West 111.09 feet along a north line to an interior corner of Trail's Edge Subdivision Phase 2;  
 Thence North 0°04'52" East 54.59 feet along the west line to a Northeast Corner of Trail's Edge Subdivision Phase 2;  
 Thence North 89°55'08" East 40.00 feet along a north line to an angle point in the north line of Trail's Edge Subdivision Phase 2;  
 Thence South 47°39'32" West 54.19 feet along a north line to a Northwest Corner of Trail's Edge Subdivision Phase 2, also being a Northeast Corner of Trail's Edge Subdivision Phase 1;  
 Thence North 83°52'22" West 38.93 feet along the north line to an angle point in the north line of Trail's Edge Subdivision Phase 1;  
 Thence North 89°53'03" West 111.09 feet along a north line to a Northeast Corner of Trail's Edge Subdivision Phase 1;  
 Thence South 47°39'32" West 42.93 feet along a north line to an interior corner of Trail's Edge Subdivision Phase 1;  
 Thence North 42°25'20" West 100.00 feet along a north line to a Northeast Corner of Trail's Edge Subdivision Phase 2, also being a Northeast Corner of Trail's Edge Subdivision Phase 1;  
 Thence North 47°39'32" East 383.14 feet;  
 Thence South 32°36'28" East 48.78 feet;  
 Thence South 89°55'08" East 118.68 feet;  
 Thence North 0°04'52" East 28.81 feet;  
 Thence South 89°53'03" East 177.09 feet;  
 Thence South 0°04'52" West 425.00 feet to the point of beginning.

Contains 194,535 square feet, 4.466 acres, 15 lots.

Date **7-10-15**  
Keith R. Russell  
License No. 164386



#### OWNER'S DEDICATION

Known all men by these presents that I, the undersigned owner of the above described tract of land, having caused same to be subdivided, hereafter known as the

### TRAIL'S EDGE SUBDIVISION PHASE 3

do hereby dedicate for perpetual use of the public all streets as shown on this plat as Public Streets intended for Public use.

In witness whereof I have hereunto set my hand this \_\_\_\_\_ day of \_\_\_\_\_ A.D. 20\_\_\_\_

Trail's Edge, a Limited Liability Company  
Gregory Higley  
Manager

#### LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH J.S.S.  
County of Davis

On the \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_, personally appeared before me, the undersigned Notary Public, in and for said County of Davis, in the State of Utah, who after being duly sworn, acknowledged to me that He is the Manager of Trail's Edge LLC, a Limited Liability Company and that He signed the Owner's Dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein mentioned and acknowledged to me that said Limited Liability Company executed the same.

MY COMMISSION EXPIRES: \_\_\_\_\_  
RESIDING IN \_\_\_\_\_ COUNTY.

### TRAIL'S EDGE SUBDIVISION PHASE 3

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 5 TOWNSHIP 4 NORTH RANGE 2 WEST SALT LAKE BASE & MERIDIAN SYRACUSE CITY, DAVIS COUNTY, UTAH

#### DAVIS COUNTY RECORDER

ENTRY NO. \_\_\_\_\_ FEE \_\_\_\_\_  
PAID \_\_\_\_\_ FILED FOR RECORD AND  
RECORDED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_  
AT \_\_\_\_\_ IN BOOK \_\_\_\_\_ OF OFFICIAL RECORDS  
PAGE \_\_\_\_\_

#### SHEET 1 OF 1

PROJECT NUMBER: L2138  
MANAGER: K. RUSSELL  
DRAWN BY: J. MOSS  
CHECKED BY: K. RUSSELL  
DATE: 9/16/14

DAVIS COUNTY RECORDER  
BY \_\_\_\_\_ DEPUTY RECORDER

| UTILITY COMPANY APPROVAL |            |
|--------------------------|------------|
| ROCKY MOUNTAIN POWER     | DATE _____ |
| QUESTAR GAS              | DATE _____ |
| CENTURY LINK             | DATE _____ |



LAYTON  
1485 West Hillfield Rd. Suite 204  
Layton UT 84041  
Phone: 801.547.1100  
Fax: 801.593.6315  
WWW.ENSGNUTAH.COM

SALT LAKE CITY  
Phone: 801.255.0529

PLEASANT GROVE  
Phone: 801.796.8145

TOOELE  
Phone: 435.843.3990

**CITY ATTORNEY'S APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
BY THE SYRACUSE CITY ATTORNEY.

SYRACUSE CITY ATTORNEY

**PLANNING COMMISSION APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
BY THE CITY PLANNING COMMISSION APPROVAL

CHARMAN, SYRACUSE CITY PLANNING COMMISSION

**CITY ENGINEER'S APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
BY THE SYRACUSE CITY ENGINEER

SYRACUSE CITY ENGINEER

**CITY COUNCIL APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
BY THE SYRACUSE CITY COUNCIL

CITY RECORDER CITY MAYOR

**GENERAL NOTES**

- ALL WORK TO CONFORM TO SYRACUSE CITY STANDARDS, DRAWINGS, AND APWA STANDARD PLANS AND SPECIFICATIONS. WHERE CITY STANDARDS OR PROJECT DRAWINGS DO NOT COVER THE WORK, THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND PLANS, ETC.
- ALL EXISTING MANHOLES, WATER VALVES, CLEAN OUTS, ETC., SHALL BE ADJUSTED TO FINISH GRADE.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
- CONTRACTOR TO NOTIFY SYRACUSE CITY AND ENSIGN ENGINEERING 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION REQUIRED FOR THIS PROJECT.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE SYRACUSE CITY OR DAVIS COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, AT ALL CHANGES IN DIRECTION, AND IN CURB AND SIDEWALK AT EQUAL INTERVALS NOT TO EXCEED 50 FEET. SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/2 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING.
- CONCRETE WATERWAYS, CURB WALLS, MOW STRIPS, CURB AND GUTTER, ETC., WILL TYPICALLY BE SCORED (1/2 THE DEPTH) AT INTERVALS NOT TO EXCEED 10 FEET, AND HAVE FULL DEPTH EXPANSION JOINTS THAT EQUAL SPACING NOT TO EXCEED 50 FEET.
- UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (95 % DENSITY) SUB GRADE.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED, ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- ALL JOINTS (CONTROL JOINTS, CONSTRUCTION JOINTS, EXPANSION JOINTS, ETC.), WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT (SEE SPECIFICATION).
- SAW CUT EDGE OF EXISTING ASPHALT AND INSTALL ASPHALT TO NEW CURB AND GUTTER PER SYRACUSE CITY STANDARDS AND SPECIFICATIONS.
- ALL EXISTING ASPHALT WILL BE SAW CUT IN NEAT STRAIGHT LINES BY THE CONTRACTOR PRIOR TO PAVING TO MATCH.
- EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95 % OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2 % ABOVE NOR 3 % BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUB GRADE AREAS WITHIN THE BUILDING PAD AREA, AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTORS MUST START AT THE LOW END OF ALL GRAVITY FED LINES AND WORK UPHILL.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH SYRACUSE CITY STANDARDS AND SPECIFICATIONS AND DETAILS.
- SEWER LINES SHALL BE SDR-35 PVC PIPE.
- SEWER LATERALS SHALL BE CONSTRUCTED SUCH THAT CONNECTION IS MADE TO THE UPPER QUADRANT OF THE SEWER MAIN PER SYRACUSE CITY STANDARDS AND DETAILS.
- CONTRACTOR IS TO SUBMIT SITE PLAN TO QUESTAR GAS CO. FOR DESIGN OF GAS LINE SERVICE TO LOTS. ACTUAL CONSTRUCTION OF SERVICE TO BE DONE BY QUESTAR GAS COMPANY.
- ALL NEW SECONDARY WATER SHALL BE DONE IN ACCORDANCE WITH SYRACUSE CITY STANDARDS AND SPECIFICATIONS.
- ALL NEW CULINARY WATER CONSTRUCTION SHALL CONFORM TO SYRACUSE CITY STANDARD SPECIFICATIONS AND DETAILS.
- CONTRACTOR TO LOOP NEW WATERLINE AROUND GRAVITY UTILITIES IF CONFLICT DOES OCCUR. (NOTIFY ENGINEER OF THE PROBLEM).
- ALL CULINARY AND SECONDARY WATERLINE PIPE AND FITTINGS TO BE C900 DR-14.
- ALL THRUST BLOCKS SHALL BE POURED IN PLACE AGAINST UNDISTURBED SOIL AS PER SPECIFICATIONS. ALL VALVES, FITTINGS, AND APPURTENANCES TO BE BLOCKED. THRUST BLOCKS SHALL BE SIZED FOR 200 PSI WORKING PRESSURE PER BEARING PRESSURE FROM SOILS REPORT.
- ALL STORM DRAIN PIPING SHALL BE CLASS III RCP UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- EXISTING SEWER MAIN TO REMAIN IN SERVICE UNTIL NEW MAIN HAS BEEN INSTALLED, TESTED, AND ALL SERVICES HAVE BEEN RECONNECTED.
- THE CONTRACTOR SHALL PLACE TEMPORARY STREET ASPHALT SURFACES IF THE WORK IS ACCOMPLISHED AT A TIME WHEN PERMANENT ASPHALT SURFACING MATERIAL IS NOT AVAILABLE. AT THE TIME PERMANENT ASPHALT BECOMES AVAILABLE, THE CONTRACTOR SHALL FURNISH AND PLACE ASPHALT PER SYRACUSE CITY STANDARDS. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR PERIOD OF TWO YEARS FROM THE DATE OF COMPLETION.
- ALL CONCRETE VALVE BOXES WILL BE POURED IN PLACE AGAINST UNDISTURBED SOIL AND BUILT WITH A DUCTILE IRON RING AND COVER POSITIONED OVER THE VALVE OPERATING UNIT CENTERED OVER THE MAN WAY OPENING.
- CONTRACTOR TO LAYOUT AND POTHOLE FOR ALL POTENTIAL CONFLICTS WITH UTILITY LINES ON OR OFF SITE AS REQUIRED PRIOR TO ANY CONSTRUCTION, AND THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY POT HOLING A MINIMUM OF 300 FEET AHEAD OF PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. IF A CONFLICT ARISES RESULTING FROM THE CONTRACTORS NEGLIGENCE TO POTHOLE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW PIPE DURING CONSTRUCTION.
- HANDICAP ACCESSIBILITY: ALL CONSTRUCTION SHALL MEET THE CURRENT ADA HANDICAP ACCESSIBILITY REQUIREMENTS AND STANDARDS. FOR ANY DISCREPANCIES BETWEEN THE PLANS AND CURRENT ADA STANDARD REQUIREMENTS, CURRENT ADA STANDARD REQUIREMENTS WILL GOVERN.
- 700 SOUTH IS CURRENTLY UNDER MORATORIUM. THE FULL WIDTH OF 700 SOUTH FROM STATION 2+90 TO 10+10 SHALL BE MILLED TO A DEPTH OF 2" AND REPLACED WITH NEW ASPHALT. ALL TRENCHES SHALL BE REPAIRED WITH IMPORT AND CAPPED WITH 12" OF BASE ON 4" OF ASPHALT. THE EXISTING ROAD HAS A N.R. 5. MASTIC SEALER (ONLY) WHICH WILL ALSO NEED TO BE REPLACED ALONG WITH THE STRIPING. MILL TO BE INSTALLED UPON COMPLETION OF PHASE 2 ROAD IMPROVEMENTS IN 700 SOUTH STREET.
- SIDEWALKS SHALL BE 6" THICK THROUGH DRIVEWAYS.
- INSTALL SNAKEPIT PEDESTALS PER SYRACUSE CITY STANDARDS ON CULINARY AND SECONDARY WATER MAINS.
- INSTALL A 5' NON-CLIMBABLE FENCE FROM THE SOUTHEAST CORNER OF LOT 301 TO THE NORTHEAST CORNER OF LOT 305. THE DEVELOPER IS TO PROVIDE A LANDSCAPE CERTIFICATE FOR LOTS 301-305 TO ACCOMMODATE THE REQUIRED LANDSCAPE BUFFER ON SAID LOTS PER SYRACUSE CITY CODE 10.30.060.

**CITY ENGINEER ACCEPTANCE OF IMPROVEMENT PLANS**

THE IMPROVEMENT PLANS FOR THIS SUBDIVISION HAVE BEEN REVIEWED BY THE CITY ENGINEER FOR GENERAL CONFORMANCE WITH THE REQUIREMENTS OF THE CITY SUBDIVISION ORDINANCE. THIS SET OF CITY APPROVED DRAWINGS SHALL BE USED FOR CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS. THE DEVELOPERS ENGINEER, WHOSE STAMP IS ON THESE DRAWINGS, IS RESPONSIBLE FOR THE ENGINEERING DESIGN, DRAFTING AND RELATED FIELD INFORMATION. THE CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR: THE DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE; FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION; COORDINATION OF HIS OR HER WORK WITH THAT OF ALL OTHER TRADES; AND THE SATISFACTORY PERFORMANCE OF HIS OR HER WORK.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
CITY ENGINEER

**NOTICE TO CONTRACTOR**

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

**UTILITY DISCLAIMER**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**TRAFFIC CONTROL AND SAFETY NOTES**

- BARRICAADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT MANUAL IF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE CITY TRAFFIC ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
- TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

**ABBREVIATIONS**

|       |                                            |         |                                      |
|-------|--------------------------------------------|---------|--------------------------------------|
| APWA  | AMERICAN PUBLIC WORKS ASSOCIATION          | NO      | NUMBER                               |
| AR    | ACCESSIBLE ROUTE                           | OC      | ON CENTER                            |
| ASTM  | AMERICAN SOCIETY FOR TESTING AND MATERIALS | OCW     | ON CENTER EACH WAY                   |
| AWWA  | AMERICAN WATER WORKS ASSOCIATION           | OHP     | OVERHEAD POWER                       |
| BOS   | BOTTOM OF STEP                             | PC      | POINT OF CURVATURE OR PRESSURE CLASS |
| BVC   | BEGIN VERTICAL CURVE                       | PCC     | POINT OF COMPOUND CURVATURE          |
| C     | CURVE                                      | PI      | POINT OF INTERSECTION                |
| CB    | CATCH BASIN                                | PIP     | PLASTIC IRRIGATION PIPE              |
| CF    | CURB FACE                                  | PIV     | POST INDICATOR VALVE                 |
| CO    | CLEAN OUT                                  | PRC     | POINT OF REVERSE CURVATURE           |
| COMM  | COMMUNICATION                              | PRO     | PROPOSED                             |
| CONC  | CONCRETE                                   | PT      | POINT OF TANGENCY                    |
| CONT  | CONTINUOUS                                 | PVC     | POINT OF VERTICAL CURVATURE          |
| DIA   | DIAMETER                                   | PVI     | POINT OF VERTICAL INTERSECTION       |
| DIP   | DUCTILE IRON PIPE                          | PVT     | POINT OF VERTICAL TANGENCY           |
| ELEC  | ELECTRICAL                                 | R       | RADIUS                               |
| ELEV  | ELEVATION                                  | RD      | ROOF DRAIN                           |
| EOA   | EDGE OF ASPHALT                            | ROW     | RIGHT OF WAY                         |
| EVC   | END OF VERTICAL CURVE                      | S       | SLOPE                                |
| EW    | EACH WAY                                   | SAN SWR | SANITARY SEWER                       |
| EXIST | EXISTING                                   | SD      | STORM DRAIN                          |
| FF    | FINISH FLOOR                               | SEC     | SECONDARY                            |
| LD    | LAND DRAIN                                 | SS      | SANITARY SEWER                       |
| FH    | FIRE HYDRANT                               | STA     | STATION                              |
| FL    | FLOW LINE OR FLANGE                        | SW      | SIDEWALK                             |
| GB    | GRADE BREAK                                | SWL     | SECONDARY WATER LINE                 |
| GV    | GATE VALVE                                 | TBC     | TOP BACK OF CURB                     |
| HC    | HANDICAP                                   | TOG     | TOP OF GRATE                         |
| HP    | HIGH POINT                                 | TOA     | TOP OF ASPHALT                       |
| IRR   | IRRIGATION                                 | TOC     | TOP OF CONCRETE                      |
| K     | RATE OF VERTICAL CURVATURE                 | TOF     | TOP OF FOUNDATION                    |
| LD    | LAND DRAIN                                 | TOW     | TOP OF WALL                          |
| LF    | LINEAR FEET                                | TOS     | TOP OF STEP                          |
| LP    | LOW POINT                                  | TYP     | TYPICAL                              |
| MH    | MANHOLE                                    | VC      | VERTICAL CURVE                       |
| MIN   | MINIMUM                                    | WIV     | WALL INDICATOR VALVE                 |
| MJ    | MECHANICAL JOINT                           | WL      | WATER LINE                           |
| NG    | NATURAL GROUND                             |         |                                      |

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

**LEGEND**

|  |                                     |  |                                  |
|--|-------------------------------------|--|----------------------------------|
|  | SECTION CORNER                      |  | EXISTING TREE                    |
|  | EXISTING MONUMENT                   |  | DENSE VEGETATION                 |
|  | PROPOSED MONUMENT                   |  | EXISTING EDGE OF ASPHALT         |
|  | EXISTING REBAR AND CAP              |  | PROPOSED EDGE OF ASPHALT         |
|  | SET ENSIGN REBAR AND CAP            |  | EXISTING STRIPING                |
|  | EXISTING WATER METER                |  | PROPOSED STRIPING                |
|  | PROPOSED WATER METER                |  | EXISTING FENCE                   |
|  | EXISTING WATER MANHOLE              |  | PROPOSED FENCE                   |
|  | PROPOSED WATER MANHOLE              |  | EXISTING FLOW LINE               |
|  | EXISTING WATER BOX                  |  | PROPOSED FLOW LINE               |
|  | EXISTING WATER VALVE                |  | GRADE BREAK                      |
|  | PROPOSED WATER VALVE                |  | EXISTING STORM DRAIN LINE        |
|  | EXISTING FIRE HYDRANT               |  | PROPOSED STORM DRAIN LINE        |
|  | PROPOSED FIRE HYDRANT               |  | ROOF DRAIN LINE                  |
|  | PROPOSED FIRE DEPARTMENT CONNECTION |  | CATCHMENTS                       |
|  | EXISTING SECONDARY WATER VALVE      |  | HIGHWATER LINE                   |
|  | PROPOSED SECONDARY WATER VALVE      |  | EXISTING SANITARY SEWER          |
|  | EXISTING IRRIGATION BOX             |  | PROPOSED SAN. SWR. SERVICE LINE  |
|  | EXISTING IRRIGATION VALVE           |  | EXISTING LAND DRAIN LINE         |
|  | PROPOSED IRRIGATION VALVE           |  | PROPOSED LAND DRAIN SERVICE LINE |
|  | EXISTING SANITARY SEWER MANHOLE     |  | EXISTING CULINARY WATER LINE     |
|  | PROPOSED SANITARY SEWER MANHOLE     |  | PROPOSED CULINARY WATER LINE     |
|  | EXISTING SANITARY CLEAN OUT         |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING STORM DRAIN CLEAN OUT BOX  |  | PROPOSED STORM DRAIN LINE        |
|  | PROPOSED STORM DRAIN CLEAN OUT BOX  |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING STORM DRAIN INLET BOX      |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING STORM DRAIN CATCH BASIN    |  | PROPOSED STORM DRAIN LINE        |
|  | PROPOSED STORM DRAIN CATCH BASIN    |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING STORM DRAIN COMBO BOX      |  | PROPOSED STORM DRAIN LINE        |
|  | PROPOSED STORM DRAIN COMBO BOX      |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING STORM DRAIN CLEAN OUT      |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING STORM DRAIN CULVERT        |  | PROPOSED STORM DRAIN LINE        |
|  | PROPOSED STORM DRAIN CULVERT        |  | PROPOSED STORM DRAIN LINE        |
|  | TEMPORARY SAG INLET PROTECTION      |  | PROPOSED STORM DRAIN LINE        |
|  | TEMPORARY IN-LINE INLET PROTECTION  |  | PROPOSED STORM DRAIN LINE        |
|  | ROOF DRAIN                          |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING ELECTRICAL MANHOLE         |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING ELECTRICAL BOX             |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING TRANSFORMER                |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING UTILITY POLE               |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING LIGHT                      |  | PROPOSED STORM DRAIN LINE        |
|  | PROPOSED LIGHT                      |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING GAS METER                  |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING GAS MANHOLE                |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING GAS VALVE                  |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING TELEPHONE MANHOLE          |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING TELEPHONE BOX              |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING TRAFFIC SIGNAL BOX         |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING CABLE BOX                  |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING BOLLARD                    |  | PROPOSED STORM DRAIN LINE        |
|  | PROPOSED BOLLARD                    |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING SIGN                       |  | PROPOSED STORM DRAIN LINE        |
|  | PROPOSED SIGN                       |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING SPOT ELEVATION             |  | PROPOSED STORM DRAIN LINE        |
|  | PROPOSED SPOT ELEVATION             |  | PROPOSED STORM DRAIN LINE        |
|  | EXISTING FLOW DIRECTION             |  | PROPOSED STORM DRAIN LINE        |

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.



LAYTON  
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TOOELE  
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CEDAR CITY  
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RICHFIELD  
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COLORADO SPRINGS  
Phone: 719.476.0119

**WWW.ENSIGNENG.COM**

FOR:  
MSA MARK SANDBERG  
1882 WOODHAVEN DRIVE  
HENDERSON, NEVADA 89074

CONTACT:  
MARK SANDBERG  
PHONE: 702-205-4627  
FAX:

**TRAIL'S EDGE SUBDIVISION**  
**PHASE 3**  
**3200 WEST 700 SOUTH STREET**  
**SYRACUSE, UTAH**



| NO. | DATE | REVISION   | BY  |
|-----|------|------------|-----|
| 1   | 5-15 | FOR REVIEW | MJS |
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**NOTES**

PROJECT NUMBER: L2138 PRINT DATE: 7/9/15  
DRAWN BY: MELLMER CHECKED BY: M.STATEN  
PROJECT MANAGER: KRUSSELL

**C-001**

**811**  
Know what's below.  
Call before you dig.

CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

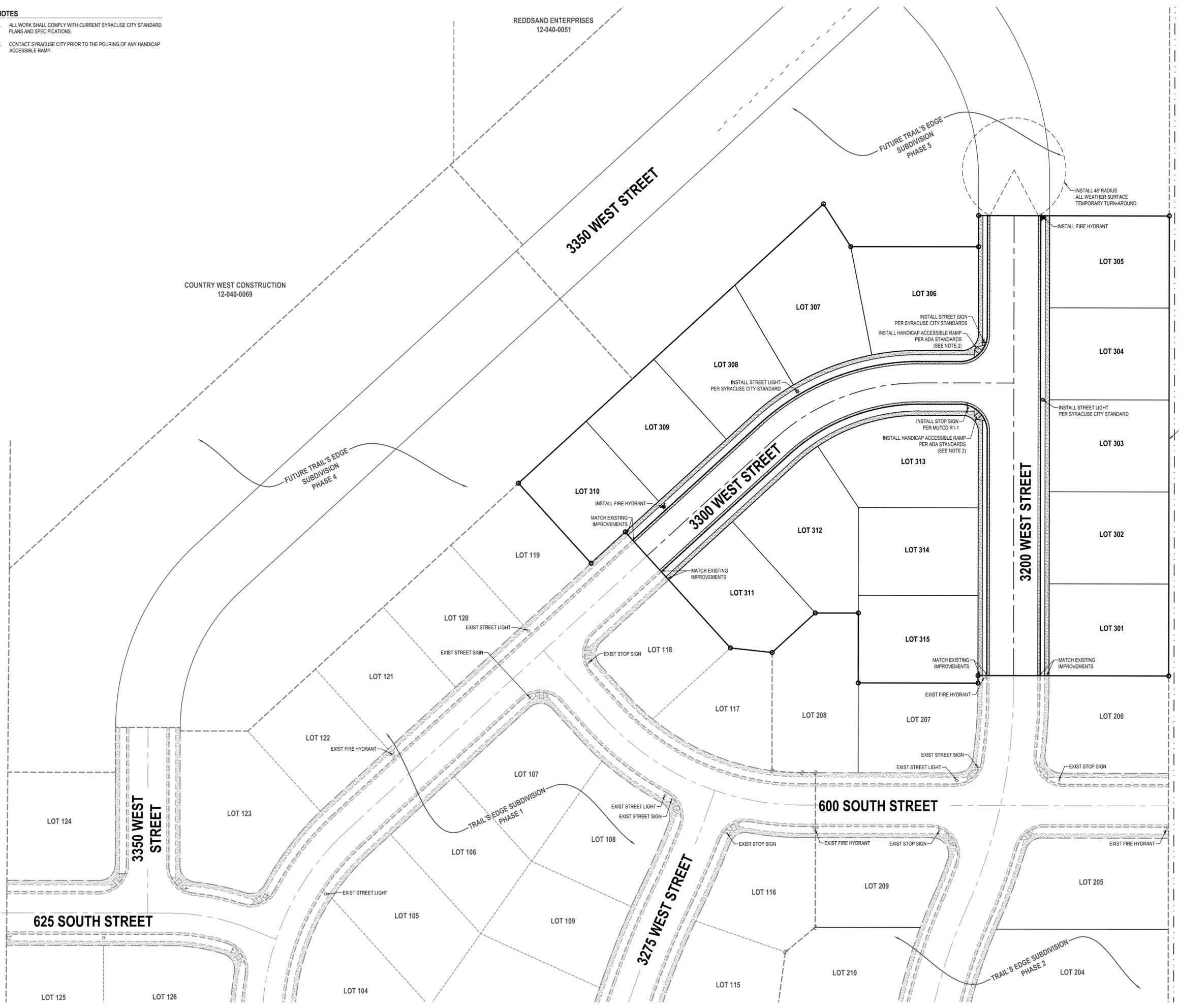
**BENCHMARK**

BENCHMARK IS THE SOUTH QUARTER  
CORNER OF SECTION 5, TOWNSHIP 4 NORTH,  
RANGE 2 WEST, SALT LAKE BASE & MERIDIAN  
ELEVATION = 4245.76

- NOTES**
1. ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
  2. CONTACT SYRACUSE CITY PRIOR TO THE POURING OF ANY HANDICAP ACCESSIBLE RAMP.

REDD SAND ENTERPRISES  
12-040-0051

COUNTRY WEST CONSTRUCTION  
12-040-0069



**EN SIGN**  
THE STANDARD IN ENGINEERING

LAYTON  
1485 W. Hill Field Rd., Ste. 204  
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FOR:  
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CONTACT:  
MARK SANDBERG  
PHONE: 702-205-4627  
FAX:

**TRAIL'S EDGE SUBDIVISION  
PHASE 3  
3200 WEST 700 SOUTH STREET  
SYRACUSE, UTAH**

LDS CHURCH



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**SITE PLAN**

PROJECT NUMBER  
L2138

PRINT DATE  
7/9/15

DRAWN BY  
M.ELMER

CHECKED BY  
M.STATEN

PROJECT MANAGER  
K.RUSSELL

**C-100**



**811**  
Know what's below.  
Call before you dig.

**BENCHMARK**  
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ELEVATION = 4245.76

**NOTES**

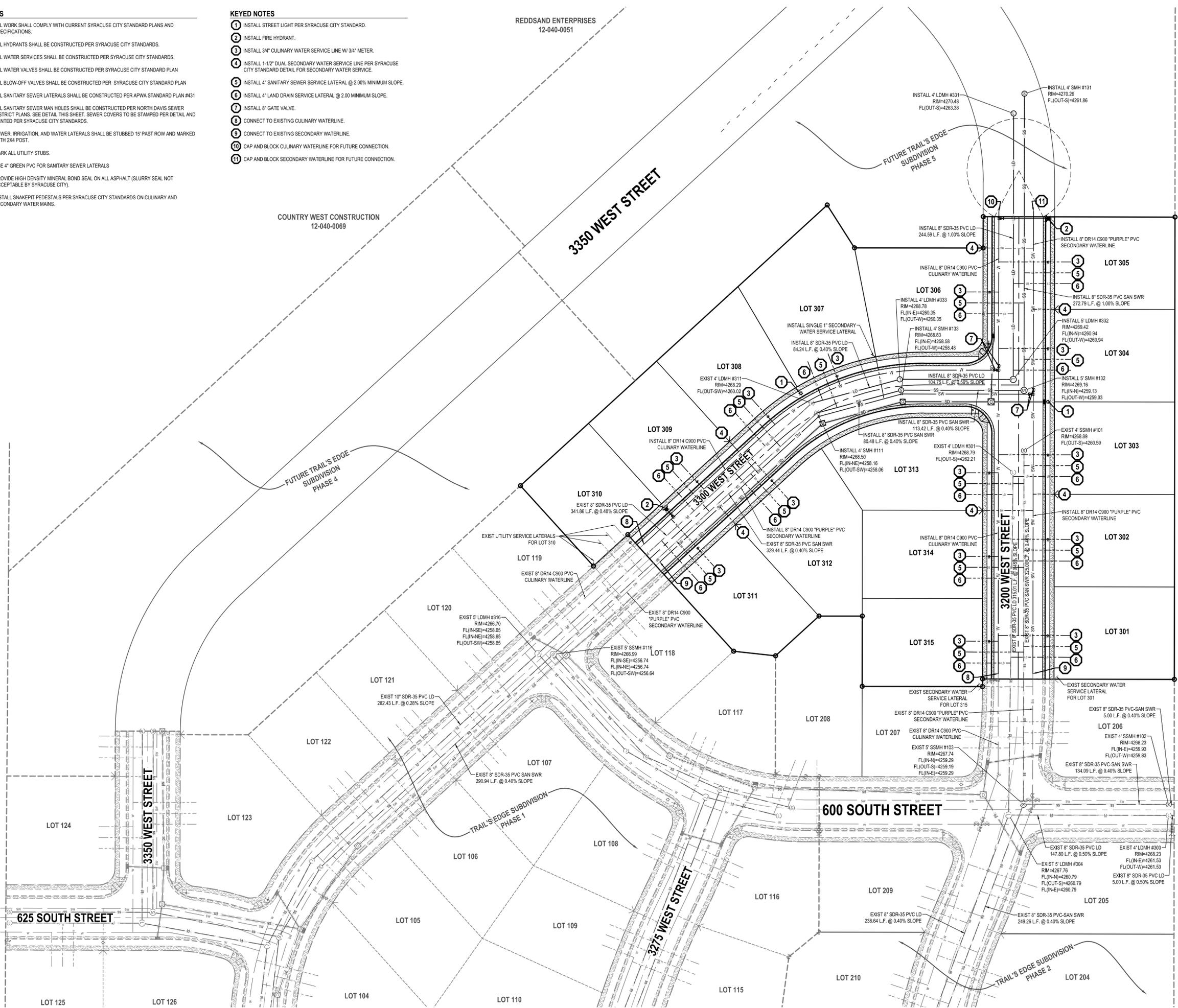
1. ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
2. ALL HYDRANTS SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARDS.
3. ALL WATER SERVICES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARDS.
4. ALL WATER VALVES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD PLAN
5. ALL BLOW-OFF VALVES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD PLAN
6. ALL SANITARY SEWER LATERALS SHALL BE CONSTRUCTED PER APWA STANDARD PLAN #431
7. ALL SANITARY SEWER MAN HOLES SHALL BE CONSTRUCTED PER NORTH DAVIS SEWER DISTRICT PLANS. SEE DETAIL THIS SHEET. SEWER COVERS TO BE STAMPED PER DETAIL AND VENTED PER SYRACUSE CITY STANDARDS.
8. SEWER, IRRIGATION, AND WATER LATERALS SHALL BE STUBBED 15' PAST ROW AND MARKED WITH 2X4 POST.
9. MARK ALL UTILITY STUBS.
10. USE 4" GREEN PVC FOR SANITARY SEWER LATERALS
11. PROVIDE HIGH DENSITY MINERAL BOND SEAL ON ALL ASPHALT (SLURRY SEAL NOT ACCEPTABLE BY SYRACUSE CITY).
12. INSTALL SNAKEPIT PEDESTALS PER SYRACUSE CITY STANDARDS ON CULINARY AND SECONDARY WATER MAINS.

**KEYED NOTES**

1. INSTALL STREET LIGHT PER SYRACUSE CITY STANDARD.
2. INSTALL FIRE HYDRANT.
3. INSTALL 3/4" CULINARY WATER SERVICE LINE W/ 3/4" METER.
4. INSTALL 1-1/2" DUAL SECONDARY WATER SERVICE LINE PER SYRACUSE CITY STANDARD DETAIL FOR SECONDARY WATER SERVICE.
5. INSTALL 4" SANITARY SEWER SERVICE LATERAL @ 2.00% MINIMUM SLOPE.
6. INSTALL 4" LAND DRAIN SERVICE LATERAL @ 2.00 MINIMUM SLOPE.
7. INSTALL 8" GATE VALVE.
8. CONNECT TO EXISTING CULINARY WATERLINE.
9. CONNECT TO EXISTING SECONDARY WATERLINE.
10. CAP AND BLOCK CULINARY WATERLINE FOR FUTURE CONNECTION.
11. CAP AND BLOCK SECONDARY WATERLINE FOR FUTURE CONNECTION.

REDDSD ENTERPRISES  
12-040-0051

COUNTRY WEST CONSTRUCTION  
12-040-0069



**EN SIGN**  
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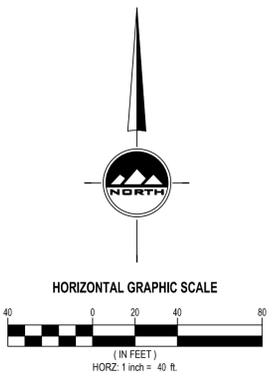


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**UTILITY PLAN**

PROJECT NUMBER: L2138  
PRINT DATE: 7/9/15  
DRAWN BY: MELMER  
CHECKED BY: M.STATEN  
PROJECT MANAGER: KRUSSELL

**C-300**



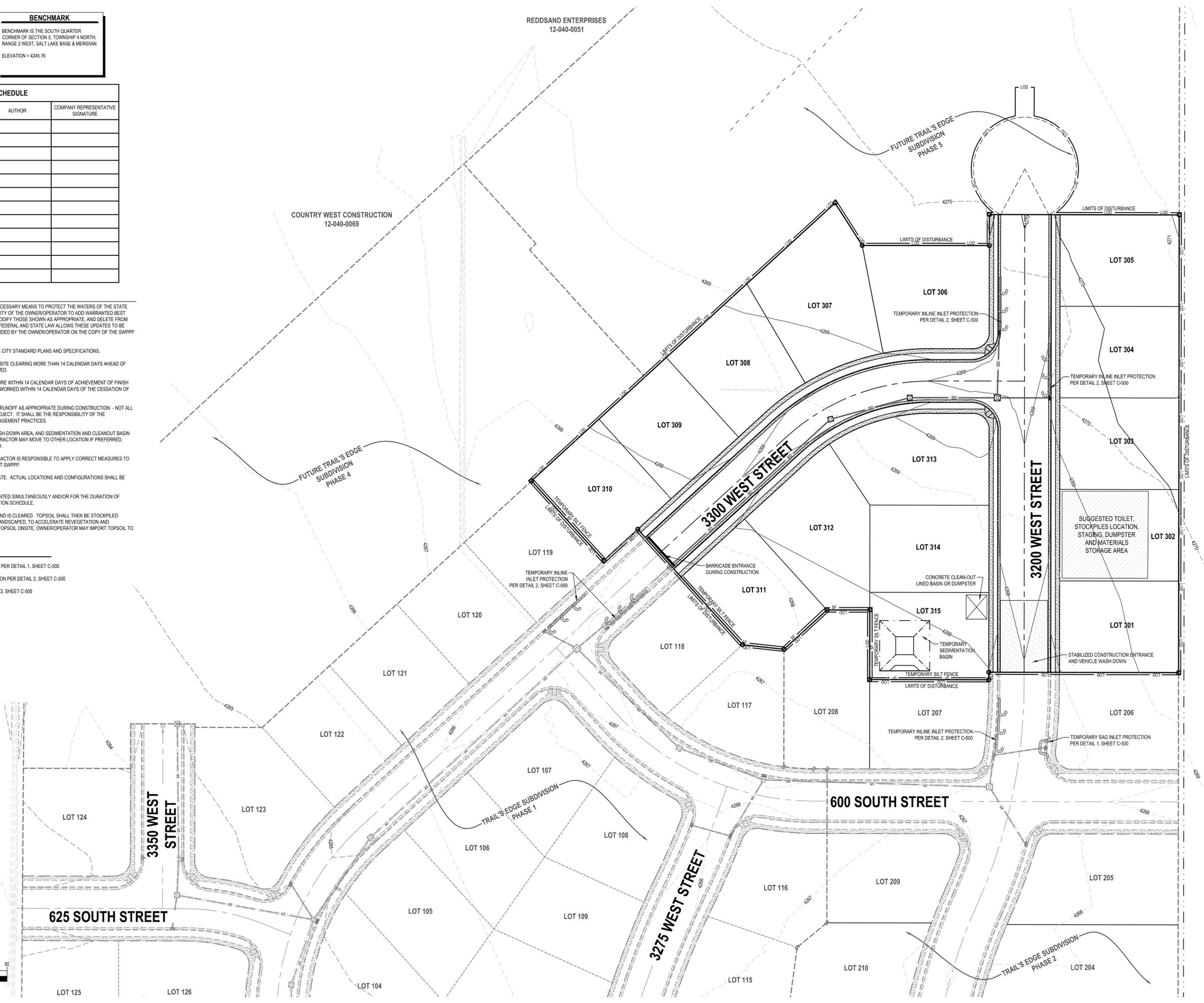
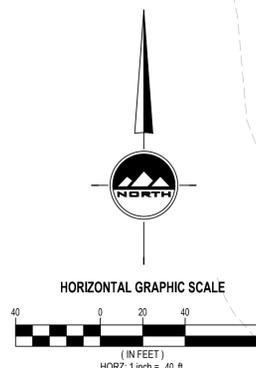


**BENCHMARK**  
 BENCHMARK IS THE SOUTH QUARTER CORNER OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN  
 ELEVATION = 4245.76

| REVISION SCHEDULE |      |        |                                  |
|-------------------|------|--------|----------------------------------|
| NUMBER            | DATE | AUTHOR | COMPANY REPRESENTATIVE SIGNATURE |
| 1                 |      |        |                                  |
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| 12                |      |        |                                  |

- NOTES**
- THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY. MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
  - ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
  - DISTURBED LAND SHALL BE KEPT TO A MINIMUM - NO SITE CLEARING MORE THAN 14 CALENDAR DAYS AHEAD OF CONSTRUCTION IN ANY GIVEN AREA SHALL BE ALLOWED.
  - RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
  - DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION - NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES.
  - STABILIZED CONSTRUCTION ENTRANCE, VEHICLE WASH-DOWN AREA, AND SEDIMENTATION AND CLEANOUT BASIN HAVE BEEN SHOWN AT SUGGESTED LOCATION. CONTRACTOR MAY MOVE TO OTHER LOCATION IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
  - NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT POLLUTION OF STORM WATER PER PROJECT SWPPP.
  - PLAN LOCATIONS SHOWN FOR BMP'S ARE APPROXIMATE. ACTUAL LOCATIONS AND CONFIGURATIONS SHALL BE FIELD-DETERMINED BY THE OWNER/OPERATOR.
  - NOT ALL BMP'S SHOWN CAN OR SHOULD BE IMPLEMENTED SIMULTANEOUSLY AND/OR FOR THE DURATION OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
  - EXISTING TOPSOIL IS TO BE HARVESTED WHEN GROUND IS CLEARED. TOPSOIL SHALL THEN BE STOCKPILED ON-SITE FOR USE IN AREAS NOT OTHERWISE TO BE LANDSCAPED, TO ACCELERATE REVEGETATION AND STABILIZATION. AS AN ALTERNATE TO STOCKPILING TOPSOIL ONSITE, OWNER/OPERATOR MAY IMPORT TOPSOIL TO AREAS TO BE STABILIZED FROM OFFSITE.

- LEGEND**
- TEMPORARY SAG INLET PROTECTION PER DETAIL 1, SHEET C-500
  - TEMPORARY IN-LINE INLET PROTECTION PER DETAIL 2, SHEET C-500
  - SF TEMPORARY SILT FENCE PER DETAIL 3, SHEET C-500
  - PROPOSED CONCRETE
  - EXISTING CONCRETE
  - LIMITS OF DISTURBANCE
  - GRADE BREAK
  - EXISTING 5' CONTOUR
  - EXISTING 1' CONTOUR
  - PROPOSED 5' CONTOUR
  - PROPOSED 1' CONTOUR



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[WWW.ENSGNENG.COM](http://WWW.ENSGNENG.COM)

FOR:  
 MSA MARK SANDBERG  
 1882 WOODHAVEN DRIVE  
 HENDERSON, NEVADA 89074

CONTACT:  
 MARK SANDBERG  
 PHONE: 702-205-4627  
 FAX:

**TRAIL'S EDGE SUBDIVISION  
 PHASE 3  
 3200 WEST 700 SOUTH STREET  
 SYRACUSE, UTAH**

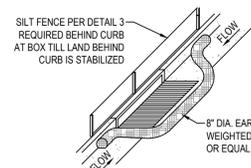


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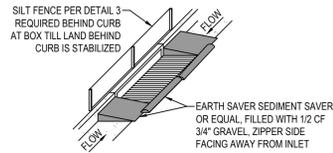
**EROSION CONTROL PLAN**

PROJECT NUMBER: L2138  
 PRINT DATE: 7/9/15  
 DRAWN BY: MELMER  
 CHECKED BY: M.STATEN  
 PROJECT MANAGER: KRUSSELL

**C-400**



**WATTLE OPTION**



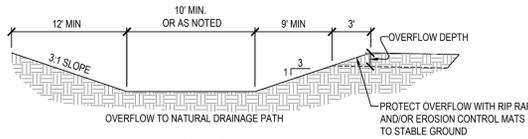
**SANDBAG OPTION**

**NOTES:**

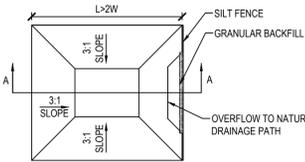
1. PLACE WATTLES OR GRAVEL BAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT-LADEN WATER FROM GETTING BETWEEN CURB AND WATTLEBAG.
2. PLACE WATTLES OR GRAVEL BAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE.
3. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BI-WEEKLY, OR PER SWPPP REQUIREMENTS, WHICHEVER IS MORE STRINGENT, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED.
4. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 50% OF GRAVEL BAG OR WATTLE HEIGHT.
5. CONTRACTOR MAY SUBMIT AN ALTERNATIVE METHOD OF INLET PROTECTION. THE ALTERNATIVE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE ENGINEER OF RECORD.
6. BEFORE PLACEMENT OF CURB, STABILIZATION OF LAND BEHIND CURB, AND/OR PAVING, MAINTAIN TOP OF INLET AT 6" ABOVE GRADE, AND SURROUND WITH SILT FENCE FOR SEDIMENTATION AROUND BOX. MAINTAIN SILT FENCE BEHIND BOX UNTIL LAND BEHIND CURB IS STABILIZED.

**1 SAG INLET PROTECTION**

SCALE: NONE



**A-A SECTION**



**PLAN VIEW**

**NOTES:**

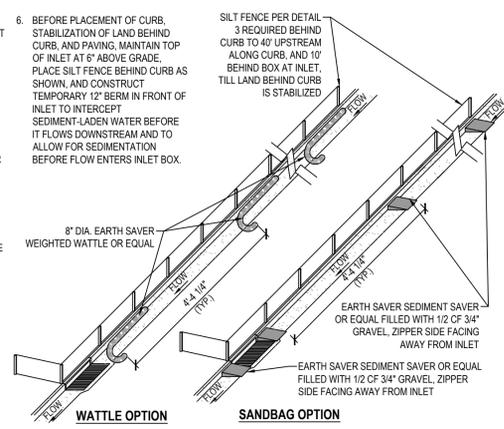
1. CLEAN OUT BASIN WHEN CAPACITY IS REDUCED BY HALF.
2. SIZE BASIN PER MINIMUM DIMENSIONS SHOWN, AND PER DIMENSIONS IN PLAN, WHICHEVER IS GREATER.
3. SAFETY FENCING IS REQUIRED FOR DEPTH GREATER THAN THREE FEET.
4. WHERE 2:1 RATIO OF LENGTH TO WIDTH IS NOT AVAILABLE, CONSTRUCT BERM(S) FOR BAFFLE(S) BETWEEN INLET AND OUTLET TO ACHIEVE 2:1 FLOW LENGTH RATIO.
5. WHERE TEMPORARY SEDIMENTATION WILL BE CONVERTED TO A PERMANENT DETENTION POND, PROTECT OUTLET PER DETAIL 8, TEMPORARY BASIN OUTLET PROTECTION.

**5 TEMPORARY SEDIMENTATION BASIN**

SCALE: NONE

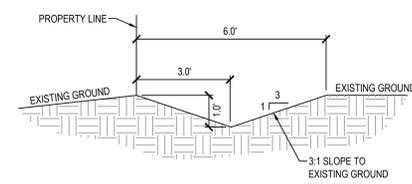
**NOTES:**

1. PLACE WATTLES OR GRAVEL BAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT-LADEN WATER FROM GETTING BETWEEN CURB AND WATTLEBAG.
2. PLACE WATTLES OR GRAVEL BAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE.
3. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BI-WEEKLY, OR PER SWPPP REQUIREMENTS, WHICHEVER IS MORE STRINGENT, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED.
4. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 50% OF GRAVEL BAG OR WATTLE HEIGHT.
5. CONTRACTOR MAY SUBMIT AN ALTERNATIVE METHOD OF INLET PROTECTION. THE ALTERNATIVE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE ENGINEER OF RECORD.



**2 IN-LINE INLET PROTECTION**

SCALE: NONE

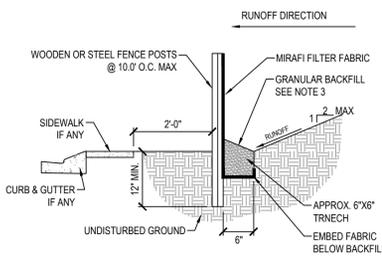


**NOTES:**

1. PROTECT CHANNEL FROM EROSION AS NECESSARY WITH RIP RAP, EROSION CONTROL MATS AND/OR ROCK CHECK DAMS.
2. SEDIMENT TRAPS REQUIRED AT 200' SPACING OR AS SHOWN ON PLANS, WHICHEVER IS MORE STRINGENT.
3. FOR SWALES STEEPER THAN 5%, STABILIZE SWALES WITH RIP RAP LINING IN SWALE AND ROCK CHECK DAMS SPACED AT EVERY THREE FEET OF DROP IN FLOWLINE.

**6 DRAINAGE SWALE**

SCALE: NONE

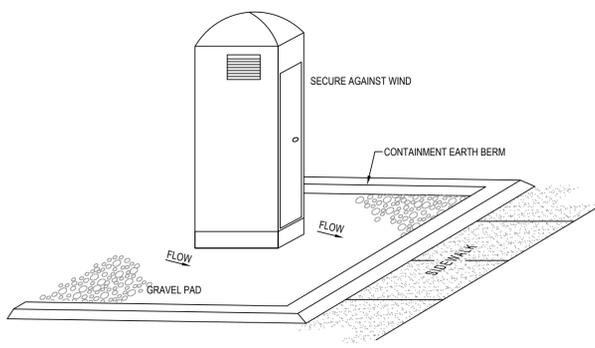


**NOTES:**

1. EXCAVATE 6" X 6" TRENCH ALONG LIMITS OF DISTURBANCE AS SHOWN ON CONSTRUCTION DRAWINGS.
2. POSTS SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
3. LAY TOE-IN FABRIC FLAP IN BOTTOM OF TRENCH, BACKFILL TRENCH WITH FREE DRAINING GRANULAR MATERIAL. COMPACT TRENCH TO SATISFACTION OF THE ENGINEER OF RECORD.
4. SILT FENCE GEOTEXTILE SHALL MEET AASHTO M288-92 REQUIREMENTS.
5. REMOVE & DISPOSE OF SEDIMENT WHEN ACCUMULATION IS 50% OF EXPOSED FENCE HEIGHT.
6. 10' MAX. SPACING BETWEEN STAKES.
7. SILT FENCES SHALL BE INSTALLED ALONG CONTOURS, NOT UP AND DOWN SLOPES, WITH 10' OVERLAP AT BREAKS.

**3 TEMPORARY SILT FENCE**

SCALE: NONE

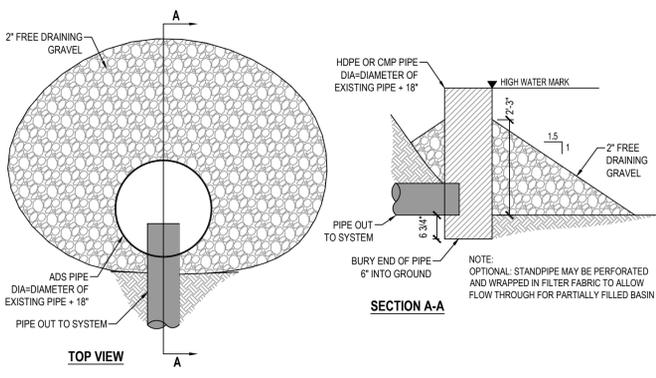


**7 PORTABLE TOILET**

SCALE: NONE

**4 TEMPORARY VEHICLE WASHDOWN & STABILIZED CONSTRUCTION ENTRANCE**

SCALE: NONE



**8 TEMPORARY BASIN OUTLET PROTECTION**

SCALE: NONE

**ENSIGN**  
THE STANDARD IN ENGINEERING

LAYTON  
1485 W. Hill Field Rd., Ste. 204  
Layton, UT 84041  
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SALT LAKE CITY  
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FOR:  
MISA MARK SANDBERG  
1882 WOODHAVEN DRIVE  
HENDERSON, NEVADA 89074

CONTACT:  
MARK SANDBERG  
PHONE: 702-205-4627  
FAX:

**TRAIL'S EDGE SUBDIVISION  
PHASE 3  
3200 WEST 700 SOUTH STREET  
SYRACUSE, UTAH**



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**DETAILS**

PROJECT NUMBER: L2138  
PRINT DATE: 7/8/15  
DRAWN BY: M.ELMER  
CHECKED BY: M.STATON  
PROJECT MANAGER: K.RUSSELL

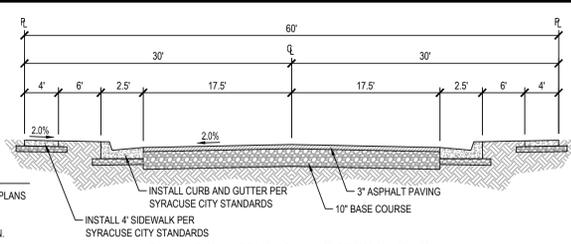
**C-500**



CALL BLUESTAKES @ 1800.624.4111 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

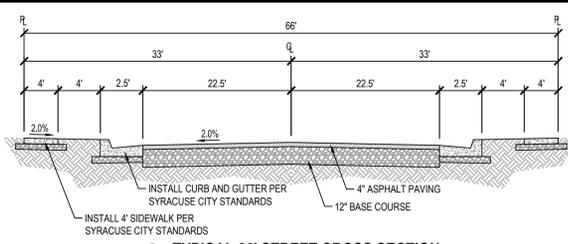
**NOTES**

- ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
- FIELD VERIFY ALL EXISTING ELEVATIONS PRIOR TO ANY CONSTRUCTION.
- EXTEND UTILITY LATERALS TO 10' BEYOND PROPERTY LINE.



**TYPICAL 60' STREET CROSS SECTION (3300 WEST STREET)**  
SCALE: NONE

- NOTES:
- ROAD BASE REQUIRED 6\"/>



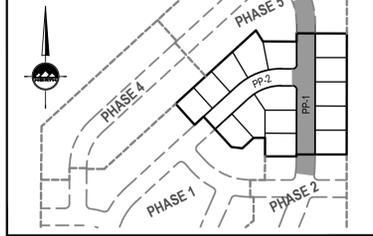
**TYPICAL 66' STREET CROSS SECTION (3200 WEST STREET)**  
SCALE: NONE

- NOTES:
- ROAD BASE REQUIRED 6\"/>

**KEYED NOTES**

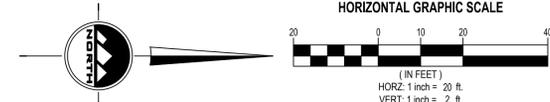
- INSTALL STREET LIGHT PER SYRACUSE CITY STANDARD.
- INSTALL FIRE HYDRANT.
- INSTALL 3/4\"/>

**KEY MAP**  
NOT TO SCALE



**NOTICE TO CONTRACTOR**

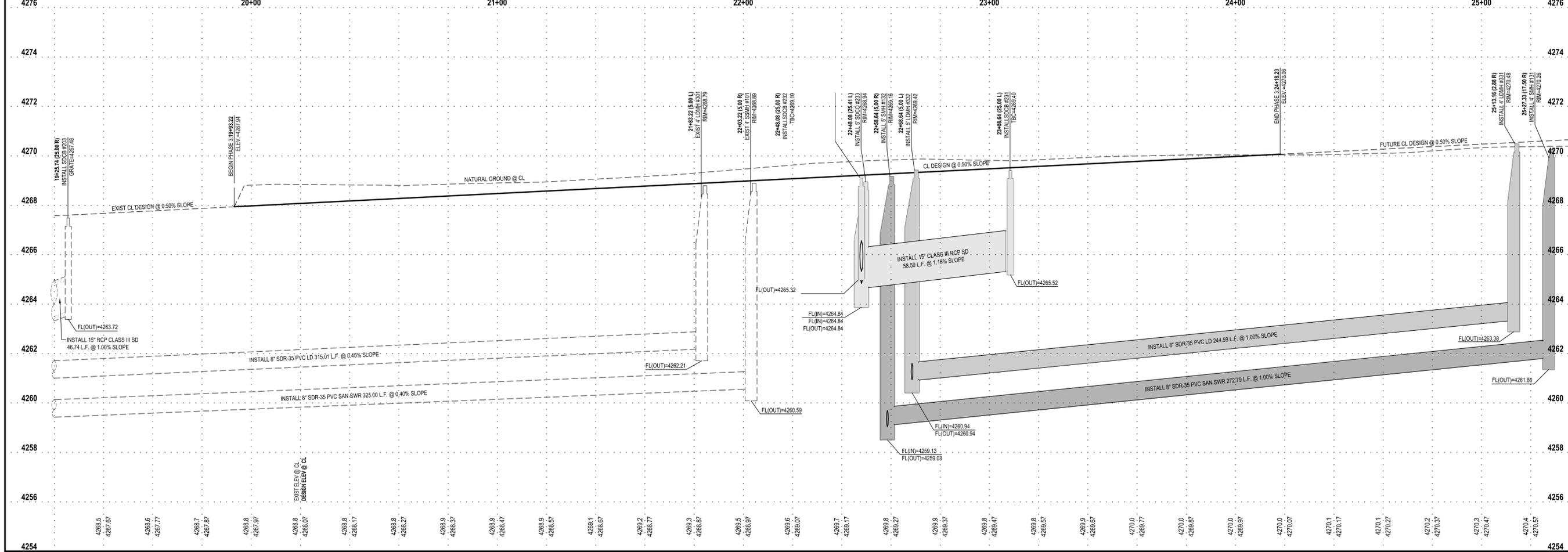
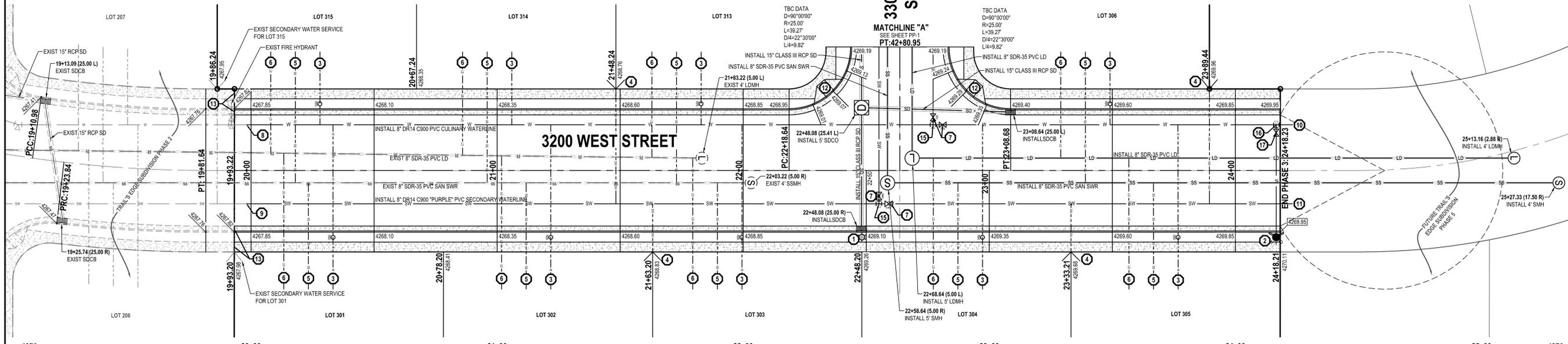
The intent of the installation of curb and gutter along 3200 WEST STREET is to match the existing asphalt paving such that proper drainage of both the existing and proposed asphalt into the proposed curb and gutter is accomplished. It is the RESPONSIBILITY OF THE CONTRACTOR to verify that drainage into the proposed curb and gutter of all run-off water from the street is accomplished prior to the placement of any concrete. Notice to Ensign Engineering of variations from the design drawings is required prior to any placement of the proposed curb and gutter.



**600 SOUTH STREET**

**3300 WEST STREET**

**3200 WEST STREET**



**ENSIGN**  
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SALT LAKE CITY  
Phone: 801.255.0529

TOOELE  
Phone: 435.843.3590

CEDAR CITY  
Phone: 435.865.1453

RICHFIELD  
Phone: 435.896.2983

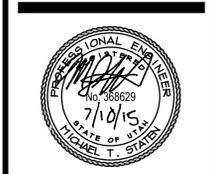
COLORADO SPRINGS  
Phone: 719.476.0119

[WWW.ENSIGNENG.COM](http://WWW.ENSIGNENG.COM)

FOR:  
MSA MARK SANDBERG  
1882 WOODHAVEN DRIVE  
HENDERSON, NEVADA 89074

CONTACT:  
MARK SANDBERG  
PHONE: 702-265-4627  
FAX:

**TRAIL'S EDGE SUBDIVISION  
PHASE 3  
3200 WEST 700 SOUTH STREET  
SYRACUSE, UTAH**



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**3200 WEST STREET  
PLAN AND PROFILE**

PROJECT NUMBER: L2138  
PRINT DATE: 7/9/15  
DRAWN BY: M.ELMER  
CHECKED BY: M.STATEN  
PROJECT MANAGER: K.RUSSELL

**PP-1**



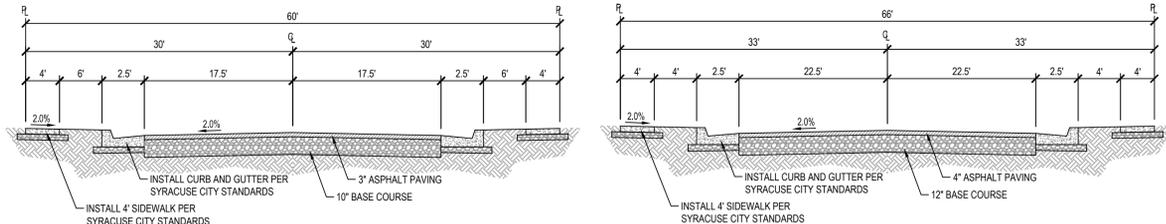
CALL BLUESTAKES @ 1-800-692-4111 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

**NOTES**

- ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
- FIELD VERIFY ALL EXISTING ELEVATIONS PRIOR TO ANY CONSTRUCTION.
- EXTEND UTILITY LATERALS TO 10' BEYOND PROPERTY LINE.

**NOTICE TO CONTRACTOR**

The intent of the installation of curb and gutter along 3300 WEST STREET is to match the existing asphalt paving such that proper drainage of both the existing and proposed asphalt into the proposed curb and gutter is accomplished. It is the RESPONSIBILITY OF THE CONTRACTOR to verify that drainage into the proposed curb and gutter of all run-off water from the street is accomplished prior to the placement of any concrete. Notice to Ensign Engineering of variations from the design drawings is required prior to any placement of the proposed curb and gutter.



**TYPICAL 60' STREET CROSS SECTION (3300 WEST STREET)**  
SCALE: NONE

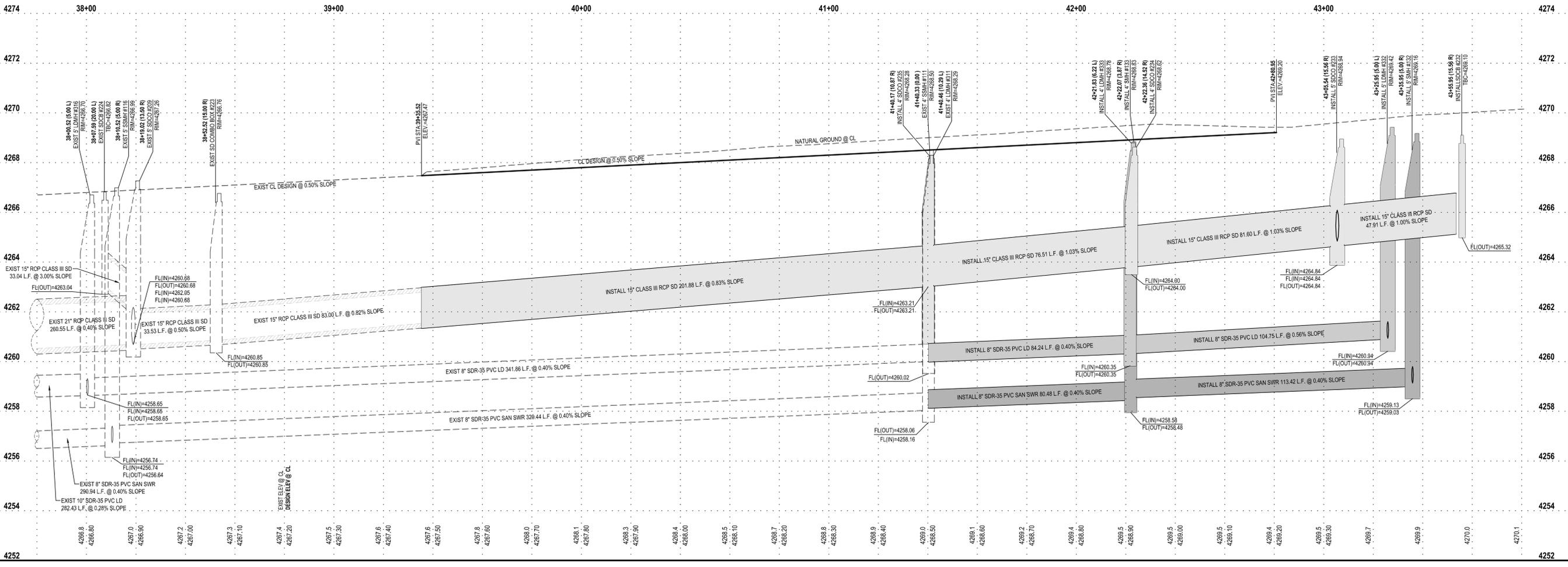
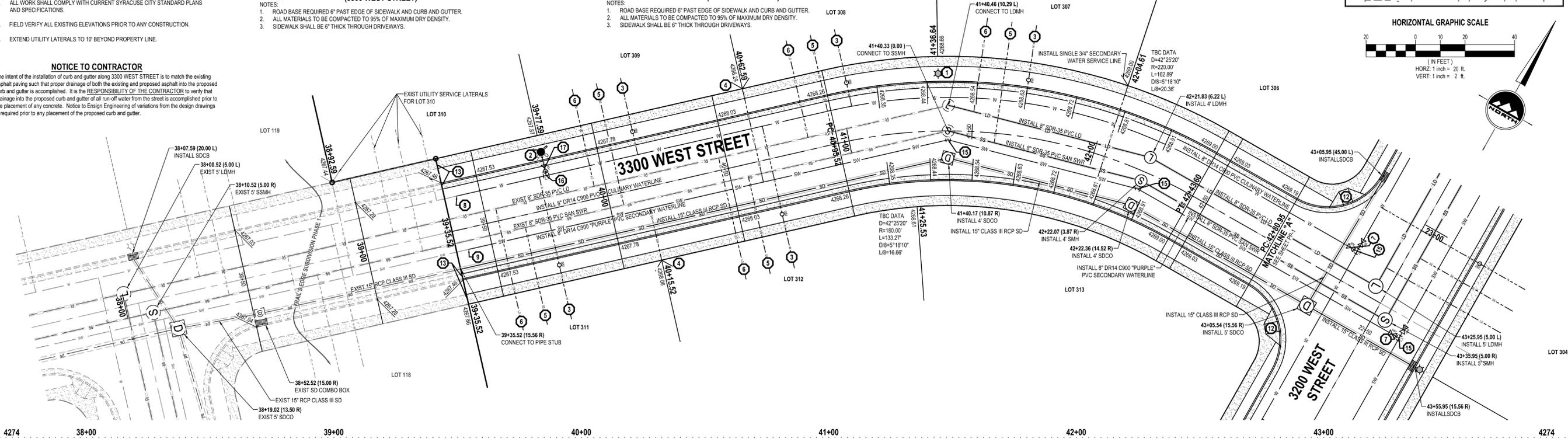
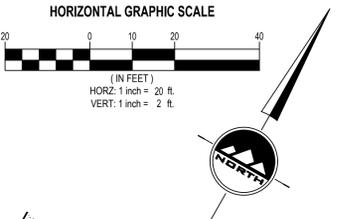
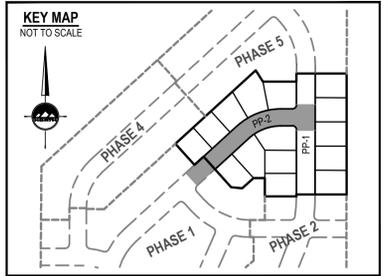
- NOTES:
- ROAD BASE REQUIRED 6" PAST EDGE OF SIDEWALK AND CURB AND GUTTER.
  - ALL MATERIALS TO BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY.
  - SIDEWALK SHALL BE 6" THICK THROUGH DRIVEWAYS.

**TYPICAL 66' STREET CROSS SECTION (3200 WEST STREET)**  
SCALE: NONE

- NOTES:
- ROAD BASE REQUIRED 6" PAST EDGE OF SIDEWALK AND CURB AND GUTTER.
  - ALL MATERIALS TO BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY.
  - SIDEWALK SHALL BE 6" THICK THROUGH DRIVEWAYS.

**KEYED NOTES**

- INSTALL STREET LIGHT PER SYRACUSE CITY STANDARD.
- INSTALL FIRE HYDRANT.
- INSTALL 3/4" CULINARY WATER SERVICE LINE W/ 3/4" METER.
- INSTALL 1-1/2" DUAL SECONDARY WATER SERVICE LINE PER CITY STDS.
- INSTALL 4" SANITARY SEWER SERVICE LATERAL @ 2.00% MINIMUM SLOPE.
- INSTALL 4" LAND DRAIN SERVICE LATERAL @ 2.00% MINIMUM SLOPE.
- INSTALL 8" GATE VALVE.
- CONNECT TO EXISTING CULINARY WATERLINE.
- CONNECT TO EXISTING SECONDARY WATERLINE.
- CAP AND BLOCK CULINARY WATERLINE FOR FUTURE CONNECTION.
- CAP AND BLOCK SECONDARY WATERLINE FOR FUTURE CONNECTION.
- INSTALL HANDICAP ACCESSIBLE RAMP PER CURRENT ADA REQUIREMENTS. CONTACT THE CITY PRIOR TO THE POURING OF ANY RAMP.
- MATCH EXISTING IMPROVEMENTS.
- INSTALL 6" TEE.
- INSTALL 8" 22.5' BEND.
- INSTALL 8" 6X6" TEE.
- INSTALL 6" GATE VALVE.



**ENSIGN**  
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FOR:  
MISA MARK SANDBERG  
1882 WOODHAVEN DRIVE  
HENDERSON, NEVADA 89014

CONTACT:  
MARK SANDBERG  
PHONE: 702-205-4627  
FAX:

**TRAIL'S EDGE SUBDIVISION**  
**PHASE 3**  
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**3300 WEST STREET PLAN AND PROFILE**

PROJECT NUMBER: L2138  
PRINT DATE: 7/9/15  
DRAWN BY: MELMER  
CHECKED BY: M.STATEN  
PROJECT MANAGER: KRUSSELL

**PP-2**



# TRAIL'S EDGE SUBDIVISION

## PHASE 4

3350 WEST 700 SOUTH  
SYRACUSE CITY, UTAH

**FOR APPROVAL  
FOR CONSTRUCTION**

DATE PRINTED  
July 10, 2015



### INDEX OF DRAWINGS

|        |                                   |
|--------|-----------------------------------|
| 1 OF 1 | SUBDIVISION PLAT                  |
| C-001  | NOTES                             |
| C-100  | SITE PLAN                         |
| C-200  | GRADING AND DRAINAGE PLAN         |
| C-300  | UTILITY PLAN                      |
| C-400  | EROSION CONTROL PLAN              |
| C-500  | DETAILS                           |
| PP-1   | 3350 WEST STREET PLAN AND PROFILE |
| PP-2   | 3350 WEST STREET PLAN AND PROFILE |

#### UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

#### NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

#### NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

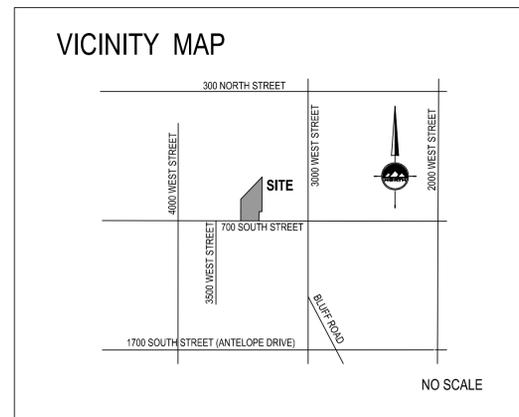
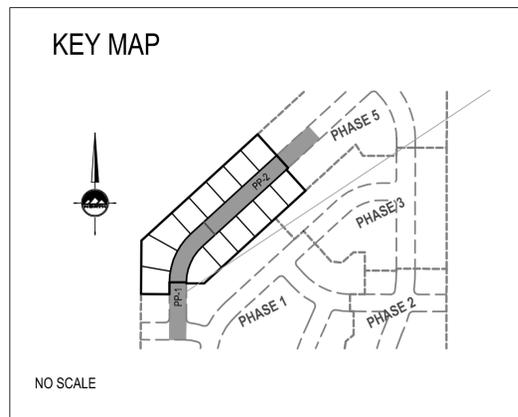
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

#### CITY ENGINEER ACCEPTANCE OF IMPROVEMENT PLANS

THE IMPROVEMENT PLANS FOR THIS SUBDIVISION HAVE BEEN REVIEWED BY THE CITY ENGINEER FOR GENERAL CONFORMANCE WITH THE REQUIREMENTS OF THE CITY SUBDIVISION ORDINANCE. THIS SET OF CITY APPROVED DRAWINGS SHALL BE USED FOR CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS. THE DEVELOPER'S ENGINEER, WHOSE STAMP IS ON THESE DRAWINGS, IS RESPONSIBLE FOR THE ENGINEERING DESIGN, DRAFTING AND RELATED FIELD INFORMATION. THE CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR THE DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE. FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, COORDINATION OF HIS OR HER WORK WITH THAT OF ALL OTHER TRADES, AND THE SATISFACTORY PERFORMANCE OF HIS OR HER WORK.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
CITY ENGINEER

**DEVELOPER**  
MSA MARK SANDBERG  
1882 WOODHAVEN DRIVE  
HENDERSON, NEVADA 89074  
702-205-4627



### GENERAL NOTES

- ALL WORK SHALL CONFORM WITH SYRACUSE CITY STANDARDS & SPECIFICATIONS.
- ALL UTILITIES SHALL BE INSTALLED PER SYRACUSE CITY STANDARDS & SPECIFICATIONS.
- CALL BLUE STAKES 48 HOURS PRIOR TO DIGGING.
- BENCHMARK ELEVATION = SOUTH QUARTER CORNER OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN. ELEV. = 4245.76

### ENGINEER/SURVEYOR:

**EN SIGN**  
THE STANDARD IN ENGINEERING  
www.ensignutah.com

**LAYTON**  
1485 West Hillfield Rd.  
Suite 204  
Layton UT 84041  
Phone: 801.547.1100  
Fax: 801.593.6315

**SALT LAKE CITY**  
Phone: 801.256.0529

**TOOELE**  
Phone: 435.843.3590

**CEDAR CITY**  
Phone: 435.865.1453

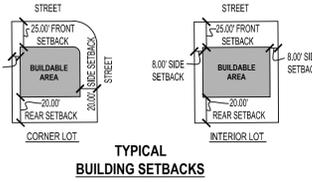
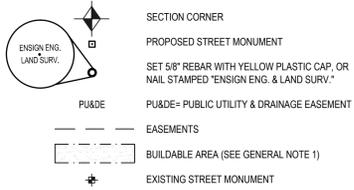
**RICHFIELD**  
Phone: 435.590.0187

**TRAIL'S EDGE SUBDIVISION PHASE 4**  
**FOR REVIEW - JULY 10, 2015**

**GENERAL NOTES:**

- PROPERTY IS ZONED R-3
  - FRONT YARD SETBACK IS 25'
  - REAR YARD SETBACK IS 20'
  - SIDE YARD SETBACK IS 8'
  - CORNER LOT SIDE YARD SETBACK IS 20' ON ROAD SIDE AND 10' FRONT, 8' SIDE AND 10' REAR UNLESS OTHERWISE NOTED HEREON.
- ALL PUBLIC UTILITY AND DRAINAGE EASEMENTS (PU & DE) ARE 10' FRONT, 8' SIDE AND 10' REAR UNLESS OTHERWISE NOTED HEREON.
- LOWEST FINISH FLOOR ELEVATION FOR ANY HOME IS 4260.00 (DAVIS COUNTY SURVEYOR'S OFFICE DATUM).

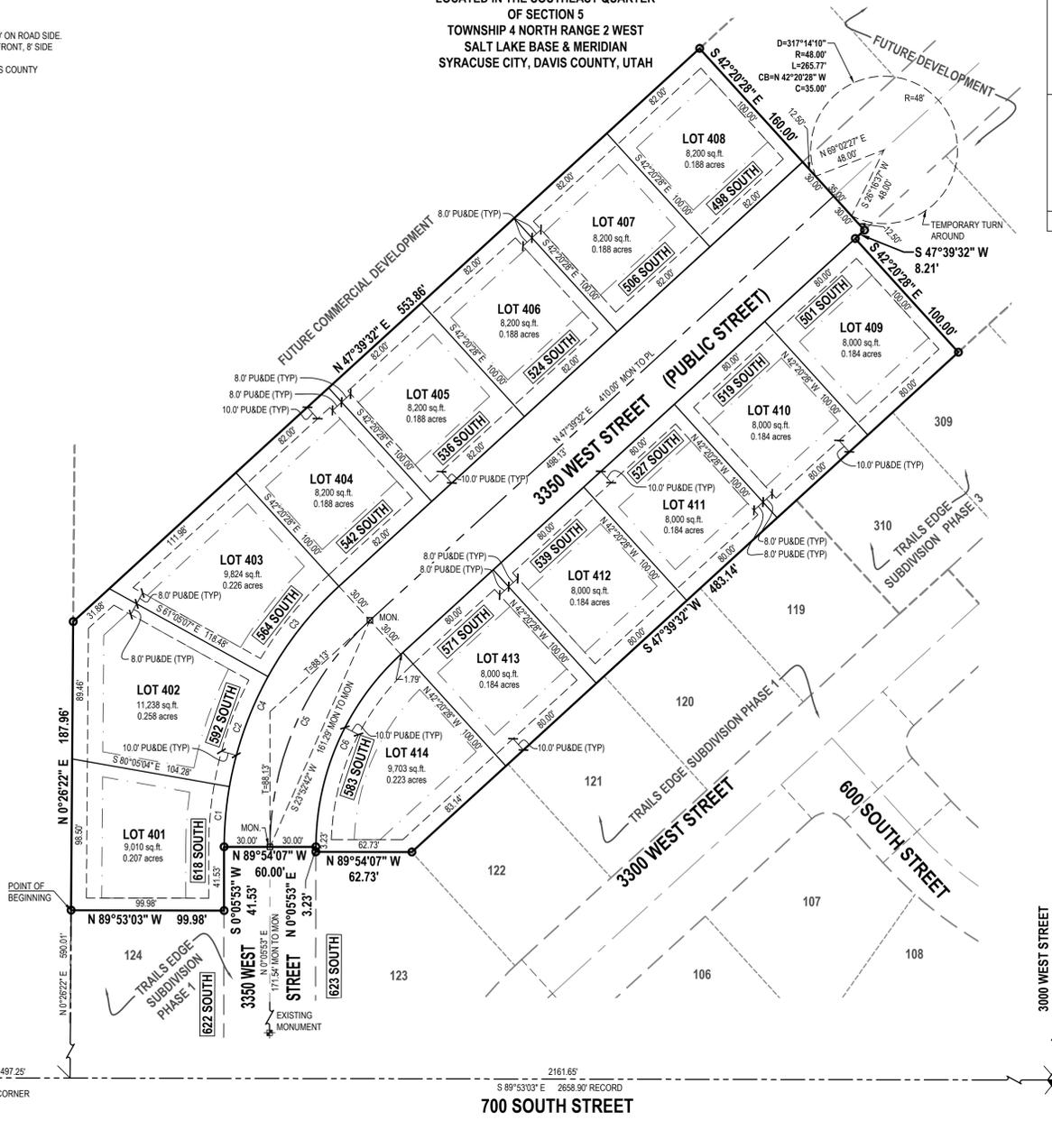
**LEGEND**



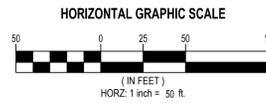
| CURVE TABLE |         |         |           |             |         |
|-------------|---------|---------|-----------|-------------|---------|
| CURVE       | RADIUS  | LENGTH  | DELTA     | BEARING     | CHORD   |
| C1          | 230.00' | 39.41'  | 9°49'03"  | S5°00'24"W  | 39.36'  |
| C2          | 230.00' | 76.27'  | 18°59'57" | S19°24'54"W | 75.92'  |
| C3          | 230.00' | 75.24'  | 18°44'39" | S38°17'12"W | 74.91'  |
| C4          | 230.00' | 76.27'  | 18°59'58" | S19°24'54"W | 75.92'  |
| C5          | 200.00' | 166.02' | 47°33'39" | S23°52'42"W | 161.29' |
| C6          | 170.00' | 141.12' | 47°33'39" | N23°52'42"E | 137.10' |

**TRAIL'S EDGE SUBDIVISION PHASE 4**

LOCATED IN THE SOUTHEAST QUARTER  
OF SECTION 5  
TOWNSHIP 4 NORTH RANGE 2 WEST  
SALT LAKE BASE & MERIDIAN  
SYRACUSE CITY, DAVIS COUNTY, UTAH



VICINITY MAP  
NO SCALE  
SYRACUSE, UTAH



NOTE:  
UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE P.U.E. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE P.U.E. AT THE LOT OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE P.U.E. OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE P.U.E. WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE P.U.E.

DEVELOPER  
TRAIL'S EDGE LLC  
1882 WOODHAVEN DRIVE  
HENDERSON, NEVADA, 89074  
702-205-4627

**SURVEYOR'S CERTIFICATE**

I, **KEITH R. RUSSELL**, do hereby certify that I am a Licensed Land Surveyor, and that I hold certificate No. **164386**, as prescribed under laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as **TRAIL'S EDGE SUBDIVISION PHASE 4**, and that the same has been correctly surveyed and staked on the ground as shown on this plat. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

**BOUNDARY DESCRIPTION**

Beginning at a Northwest Corner of Trail's Edge Subdivision Phase 1, said point being South 89°53'03" East 497.25 feet along the section line to the Southwest Corner of Trail's Edge Subdivision Phase 1 and North 0°26'22" East 590.01 feet along the west line to a Northwest Corner of Trail's Edge Subdivision Phase 1 from the South Quarter Corner of Section 5, Township 4 North, Range 2 West, Salt Lake Base and Meridian, and running:  
Thence North 0°26'22" East 187.96 feet;  
Thence North 47°39'32" East 553.86 feet;  
Thence South 42°20'28" East 160.00 feet;  
Thence South 47°39'32" West 5.21 feet;  
Thence South 42°20'28" East 100.00 feet to the north line of Trail's Edge Subdivision Phase 3;  
Thence South 47°39'32" West 483.14 feet along the north line of Trail's Edge Subdivision Phase 3 to and along to an angle point in the north line of Trail's Edge Subdivision Phase 1;  
Thence North 89°54'07" West 62.73 feet along the north line to an interior corner of Trail's Edge Subdivision Phase 1;  
Thence North 0°05'53" East 3.23 feet along the east line to a Northeast Corner of Trail's Edge Subdivision Phase 1;  
Thence North 89°54'07" West 60.00 feet along the north line to a Northwest Corner of Trail's Edge Subdivision Phase 1;  
Thence South 0°05'53" West 61.53 feet along the west line to an interior corner of Trail's Edge Subdivision Phase 1;  
Thence North 89°53'03" West 99.98 feet along the north line of Trail's Edge Subdivision Phase 1 to the point of beginning.  
Contains 155,336 square feet, 3.566 acres, 14 lots.

Date 7-10-15  
Keith R. Russell  
License no. 164386



**OWNER'S DEDICATION**

Known all men by these presents that I, the undersigned owner of the above described tract of land, having caused same to be subdivided, hereafter known as

**TRAIL'S EDGE SUBDIVISION PHASE 4**

do hereby dedicate for perpetual use of the public all streets as shown on this plat as Public Streets intended for Public use.

In witness whereof I have hereunto set my hand this \_\_\_\_\_ day of \_\_\_\_\_ A.D. 20\_\_

Trail's Edge, a Limited Liability company  
Gregory Higley  
Manager

**LIMITED LIABILITY COMPANY ACKNOWLEDGMENT**

STATE OF UTAH J.S.S.  
County of Davis

On the \_\_\_\_\_ day of \_\_\_\_\_ A.D. 20\_\_ personally appeared before me, the undersigned Notary Public, in and for said County of Davis, in the State of Utah, who after being duly sworn, acknowledged to me that He is the Manager of Trail's Edge LLC, a Limited Liability Company and that He signed the Owner's Dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein mentioned and acknowledged to me that said Limited Liability Company executed the same.

MY COMMISSION EXPIRES: \_\_\_\_\_  
RESIDING IN \_\_\_\_\_ COUNTY.

**TRAIL'S EDGE SUBDIVISION PHASE 4**

LOCATED IN THE SOUTHEAST QUARTER  
OF SECTION 5  
TOWNSHIP 4 NORTH RANGE 2 WEST  
SALT LAKE BASE & MERIDIAN  
SYRACUSE CITY, DAVIS COUNTY, UTAH

**DAVIS COUNTY RECORDER**

ENTRY NO. \_\_\_\_\_ FEE \_\_\_\_\_  
PAID \_\_\_\_\_ FILED FOR RECORD AND  
RECORDED THIS DAY OF \_\_\_\_\_ 20\_\_  
AT \_\_\_\_\_ IN BOOK \_\_\_\_\_ OF OFFICIAL RECORDS  
PAGE \_\_\_\_\_

**SHEET 1 OF 1**

PROJECT NUMBER: L2138  
MANAGER: K. RUSSELL  
DRAWN BY: J. MOSS  
CHECKED BY: K. RUSSELL  
DATE: 5/20/15

DAVIS COUNTY RECORDER  
BY \_\_\_\_\_  
DEPUTY RECORDER

**UTILITY COMPANY APPROVAL**

ROCKY MOUNTAIN POWER DATE \_\_\_\_\_  
QUESTAR GAS DATE \_\_\_\_\_  
CENTURY LINK DATE \_\_\_\_\_



LAYTON  
1485 West Hillfield Rd. Suite 204  
Layton UT 84041  
Phone: 801.547.1100  
Fax: 801.593.6315  
WWW.ENSIGNUTAH.COM

SALT LAKE CITY  
Phone: 801.255.0529

PLEASANT GROVE  
Phone: 801.796.8145

TOOELE  
Phone: 435.843.3590

**CITY ATTORNEY'S APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_  
BY THE SYRACUSE CITY ATTORNEY.

SYRACUSE CITY ATTORNEY

**PLANNING COMMISSION APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_  
BY THE CITY PLANNING COMMISSION APPROVAL

CHARMAN, SYRACUSE CITY PLANNING COMMISSION

**CITY ENGINEER'S APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_  
BY THE SYRACUSE CITY ENGINEER

SYRACUSE CITY ENGINEER

**CITY COUNCIL APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_  
BY THE SYRACUSE CITY COUNCIL

CITY RECORDER CITY MAYOR

**GENERAL NOTES**

- ALL WORK TO CONFORM TO SYRACUSE CITY STANDARDS, DRAWINGS, AND APWA STANDARD PLANS AND SPECIFICATIONS. WHERE CITY STANDARDS OR PROJECT DRAWINGS DO NOT COVER THE WORK, THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND PLANS, ETC.
- ALL EXISTING MANHOLES, WATER VALVES, CLEAN OUTS, ETC., SHALL BE ADJUSTED TO FINISH GRADE.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
- CONTRACTOR TO NOTIFY SYRACUSE CITY AND ENSIGN ENGINEERING 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION REQUIRED FOR THIS PROJECT.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE SYRACUSE CITY OR DAVIS COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, AT ALL CHANGES IN DIRECTION, AND IN CURB AND SIDEWALK AT EQUAL INTERVALS NOT TO EXCEED 50 FEET. SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/2 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING.
- CONCRETE WATERWAYS, CURB WALLS, MOW STRIPS, CURB AND GUTTER, ETC., WILL TYPICALLY BE SCORED (1/2 THE DEPTH) AT INTERVALS NOT TO EXCEED 10 FEET, AND HAVE FULL DEPTH EXPANSION JOINTS THAT EQUAL SPACING NOT TO EXCEED 50 FEET.
- UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (95 % DENSITY) SUB GRADE.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED, ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- ALL JOINTS (CONTROL JOINTS, CONSTRUCTION JOINTS, EXPANSION JOINTS, ETC.), WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT (SEE SPECIFICATION).
- SAW CUT EDGE OF EXISTING ASPHALT AND INSTALL ASPHALT TO NEW CURB AND GUTTER PER SYRACUSE CITY STANDARDS AND SPECIFICATIONS.
- ALL EXISTING ASPHALT WILL BE SAW CUT IN NEAT STRAIGHT LINES BY THE CONTRACTOR PRIOR TO PAVING TO MATCH.
- EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95 % OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2 % ABOVE NOR 3 % BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUB GRADE AREAS WITHIN THE BUILDING PAD AREA, AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTORS MUST START AT THE LOW END OF ALL GRAVITY FED LINES AND WORK UPHILL.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH SYRACUSE CITY STANDARDS AND SPECIFICATIONS AND DETAILS.
- SEWER LINES SHALL BE SDR-35 PVC PIPE.
- SEWER LATERALS SHALL BE CONSTRUCTED SUCH THAT CONNECTION IS MADE TO THE UPPER QUADRANT OF THE SEWER MAIN PER SYRACUSE CITY STANDARDS AND DETAILS.
- CONTRACTOR IS TO SUBMIT SITE PLAN TO QUESTAR GAS CO. FOR DESIGN OF GAS LINE SERVICE TO LOTS. ACTUAL CONSTRUCTION OF SERVICE TO BE DONE BY QUESTAR GAS COMPANY.
- ALL NEW SECONDARY WATER SHALL BE DONE IN ACCORDANCE WITH SYRACUSE CITY STANDARDS AND SPECIFICATIONS.
- ALL NEW CULINARY WATER CONSTRUCTION SHALL CONFORM TO SYRACUSE CITY STANDARD SPECIFICATIONS AND DETAILS.
- CONTRACTOR TO LOOP NEW WATERLINE AROUND GRAVITY UTILITIES IF CONFLICT DOES OCCUR. (NOTIFY ENGINEER OF THE PROBLEM).
- ALL CULINARY AND SECONDARY WATERLINE PIPE AND FITTINGS TO BE C900 DR-14.
- ALL THRUST BLOCKS SHALL BE POURED IN PLACE AGAINST UNDISTURBED SOIL AS PER SPECIFICATIONS. ALL VALVES, FITTINGS, AND APPURTENANCES TO BE BLOCKED. THRUST BLOCKS SHALL BE SIZED FOR 200 PSI WORKING PRESSURE PER BEARING PRESSURE FROM SOILS REPORT.
- ALL STORM DRAIN PIPING SHALL BE CLASS III RCP UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- EXISTING SEWER MAIN TO REMAIN IN SERVICE UNTIL NEW MAIN HAS BEEN INSTALLED, TESTED, AND ALL SERVICES HAVE BEEN RECONNECTED.
- THE CONTRACTOR SHALL PLACE TEMPORARY STREET ASPHALT SURFACES IF THE WORK IS ACCOMPLISHED AT A TIME WHEN PERMANENT ASPHALT SURFACING MATERIAL IS NOT AVAILABLE. AT THE TIME PERMANENT ASPHALT BECOMES AVAILABLE, THE CONTRACTOR SHALL FURNISH AND PLACE ASPHALT PER SYRACUSE CITY STANDARDS. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR PERIOD OF TWO YEARS FROM THE DATE OF COMPLETION.
- ALL CONCRETE VALVE BOXES WILL BE POURED IN PLACE AGAINST UNDISTURBED SOIL AND BUILT WITH A DUCTILE IRON RING AND COVER POSITIONED OVER THE VALVE OPERATING UNIT CENTERED OVER THE MAN WAY OPENING.
- CONTRACTOR TO LAYOUT AND POTHOLE FOR ALL POTENTIAL CONFLICTS WITH UTILITY LINES ON OR OFF SITE AS REQUIRED PRIOR TO ANY CONSTRUCTION, AND THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY POT HOLING A MINIMUM OF 300 FEET AHEAD OF PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. IF A CONFLICT ARISES RESULTING FROM THE CONTRACTORS NEGLIGENCE TO POTHOLE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW PIPE DURING CONSTRUCTION.
- HANDICAP ACCESSIBILITY: ALL CONSTRUCTION SHALL MEET THE CURRENT ADA HANDICAP ACCESSIBILITY REQUIREMENTS AND STANDARDS. FOR ANY DISCREPANCIES BETWEEN THE PLANS AND CURRENT ADA STANDARD REQUIREMENTS, CURRENT ADA STANDARD REQUIREMENTS WILL GOVERN.
- 700 SOUTH IS CURRENTLY UNDER MORATORIUM. THE FULL WIDTH OF 700 SOUTH FROM STATION 2+90 TO 10+10 SHALL BE MILLED TO A DEPTH OF 2" AND REPLACED WITH NEW ASPHALT. ALL TRENCHES SHALL BE REPAIRED WITH IMPORT AND CAPPED WITH 12" OF BASE ON 4" OF ASPHALT. THE EXISTING ROAD HAS A N.R. 5. MASTIC SEALER (ONV) WHICH WILL ALSO NEED TO BE REPLACED ALONG WITH THE STRIPING. MILL TO BE INSTALLED UPON COMPLETION OF PHASE 2 ROAD IMPROVEMENTS IN 700 SOUTH STREET.
- SIDEWALKS SHALL BE 6" THICK THROUGH DRIVEWAYS.
- INSTALL SNAKEPIT PEDESTALS PER SYRACUSE CITY STANDARDS ON CULINARY AND SECONDARY WATER MAINS.

**CITY ENGINEER ACCEPTANCE OF IMPROVEMENT PLANS**

THE IMPROVEMENT PLANS FOR THIS SUBDIVISION HAVE BEEN REVIEWED BY THE CITY ENGINEER FOR GENERAL CONFORMANCE WITH THE REQUIREMENTS OF THE CITY SUBDIVISION ORDINANCE. THIS SET OF CITY APPROVED DRAWINGS SHALL BE USED FOR CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS. THE DEVELOPERS ENGINEER, WHOSE STAMP IS ON THESE DRAWINGS, IS RESPONSIBLE FOR THE ENGINEERING DESIGN, DRAFTING AND RELATED FIELD INFORMATION. THE CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR: THE DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE; FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION; COORDINATION OF HIS OR HER WORK WITH THAT OF ALL OTHER TRADES; AND THE SATISFACTORY PERFORMANCE OF HIS OR HER WORK.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
CITY ENGINEER

**NOTICE TO CONTRACTOR**

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

**UTILITY DISCLAIMER**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**TRAFFIC CONTROL AND SAFETY NOTES**

- BARRICAADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT MANUAL IF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE CITY TRAFFIC ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
- TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

**ABBREVIATIONS**

|       |                                            |         |                                      |
|-------|--------------------------------------------|---------|--------------------------------------|
| APWA  | AMERICAN PUBLIC WORKS ASSOCIATION          | NO      | NUMBER                               |
| AR    | ACCESSIBLE ROUTE                           | OC      | ON CENTER                            |
| ASTM  | AMERICAN SOCIETY FOR TESTING AND MATERIALS | OCW     | ON CENTER EACH WAY                   |
| AWWA  | AMERICAN WATER WORKS ASSOCIATION           | OHP     | OVERHEAD POWER                       |
| BOS   | BOTTOM OF STEP                             | PC      | POINT OF CURVATURE OR PRESSURE CLASS |
| BVC   | BEGIN VERTICAL CURVE                       | PCC     | POINT OF COMPOUND CURVATURE          |
| C     | CURVE                                      | PI      | POINT OF INTERSECTION                |
| CB    | CATCH BASIN                                | PIP     | PLASTIC IRRIGATION PIPE              |
| CF    | CURB FACE                                  | PIV     | POST INDICATOR VALVE                 |
| CO    | CLEAN OUT                                  | PRC     | POINT OF REVERSE CURVATURE           |
| COMM  | COMMUNICATION                              | PRO     | PROPOSED                             |
| CONC  | CONCRETE                                   | PT      | POINT OF TANGENCY                    |
| CONT  | CONTINUOUS                                 | PVC     | POINT OF VERTICAL CURVATURE          |
| DIA   | DIAMETER                                   | PVI     | POINT OF VERTICAL INTERSECTION       |
| DIP   | DUCTILE IRON PIPE                          | PVT     | POINT OF VERTICAL TANGENCY           |
| ELEC  | ELECTRICAL                                 | R       | RADIUS                               |
| ELEV  | ELEVATION                                  | RD      | ROOF DRAIN                           |
| EOA   | EDGE OF ASPHALT                            | ROW     | RIGHT OF WAY                         |
| EVC   | END OF VERTICAL CURVE                      | S       | SLOPE                                |
| EW    | EACH WAY                                   | SAN SWR | SANITARY SEWER                       |
| EXIST | EXISTING                                   | SD      | STORM DRAIN                          |
| FF    | FINISH FLOOR                               | SEC     | SECONDARY                            |
| LD    | LAND DRAIN                                 | SS      | SANITARY SEWER                       |
| FH    | FIRE HYDRANT                               | STA     | STATION                              |
| FL    | FLOW LINE OR FLANGE                        | SW      | SIDEWALK                             |
| GB    | GRADE BREAK                                | SWL     | SECONDARY WATER LINE                 |
| GV    | GATE VALVE                                 | TBC     | TOP BACK OF CURB                     |
| HC    | HANDICAP                                   | TOG     | TOP OF GRATE                         |
| HP    | HIGH POINT                                 | TOA     | TOP OF ASPHALT                       |
| IRR   | IRRIGATION                                 | TOC     | TOP OF CONCRETE                      |
| K     | RATE OF VERTICAL CURVATURE                 | TOF     | TOP OF FOUNDATION                    |
| LD    | LAND DRAIN                                 | TOW     | TOP OF WALL                          |
| LF    | LINEAR FEET                                | TOS     | TOP OF STEP                          |
| LP    | LOW POINT                                  | TYP     | TYPICAL                              |
| MH    | MANHOLE                                    | VC      | VERTICAL CURVE                       |
| MIN   | MINIMUM                                    | WIV     | WALL INDICATOR VALVE                 |
| MJ    | MECHANICAL JOINT                           | WL      | WATER LINE                           |
| NG    | NATURAL GROUND                             |         |                                      |

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

**LEGEND**

|  |                                     |  |                                    |
|--|-------------------------------------|--|------------------------------------|
|  | SECTION CORNER                      |  | EXISTING TREE                      |
|  | EXISTING MONUMENT                   |  | DENSE VEGETATION                   |
|  | PROPOSED MONUMENT                   |  | EXISTING EDGE OF ASPHALT           |
|  | EXISTING REBAR AND CAP              |  | PROPOSED EDGE OF ASPHALT           |
|  | SET ENSIGN REBAR AND CAP            |  | EXISTING STRIPING                  |
|  | EXISTING WATER METER                |  | PROPOSED STRIPING                  |
|  | PROPOSED WATER METER                |  | EXISTING FENCE                     |
|  | EXISTING WATER MANHOLE              |  | PROPOSED FENCE                     |
|  | PROPOSED WATER MANHOLE              |  | EXISTING FLOW LINE                 |
|  | EXISTING WATER BOX                  |  | PROPOSED FLOW LINE                 |
|  | EXISTING WATER VALVE                |  | GRADE BREAK                        |
|  | PROPOSED WATER VALVE                |  | EXISTING STORM DRAIN LINE          |
|  | EXISTING FIRE HYDRANT               |  | PROPOSED STORM DRAIN LINE          |
|  | PROPOSED FIRE HYDRANT               |  | ROOF DRAIN LINE                    |
|  | PROPOSED FIRE DEPARTMENT CONNECTION |  | CATCHMENTS                         |
|  | EXISTING SECONDARY WATER VALVE      |  | HIGHWATER LINE                     |
|  | PROPOSED SECONDARY WATER VALVE      |  | EXISTING SANITARY SEWER            |
|  | EXISTING IRRIGATION BOX             |  | PROPOSED SAN. SWR. SERVICE LINE    |
|  | EXISTING IRRIGATION VALVE           |  | EXISTING LAND DRAIN LINE           |
|  | PROPOSED IRRIGATION VALVE           |  | PROPOSED LAND DRAIN SERVICE LINE   |
|  | EXISTING SANITARY SEWER MANHOLE     |  | EXISTING CULINARY WATER LINE       |
|  | PROPOSED SANITARY SEWER MANHOLE     |  | PROPOSED CULINARY WATER LINE       |
|  | EXISTING SANITARY CLEAN OUT         |  | PROPOSED STORM DRAIN LINE          |
|  | EXISTING STORM DRAIN CLEAN OUT BOX  |  | PROPOSED STORM DRAIN INLET BOX     |
|  | PROPOSED STORM DRAIN CLEAN OUT BOX  |  | EXISTING STORM DRAIN CATCH BASIN   |
|  | EXISTING STORM DRAIN INLET BOX      |  | PROPOSED STORM DRAIN CATCH BASIN   |
|  | EXISTING STORM DRAIN CATCH BASIN    |  | EXISTING STORM DRAIN COMBO BOX     |
|  | PROPOSED STORM DRAIN CATCH BASIN    |  | PROPOSED STORM DRAIN COMBO BOX     |
|  | EXISTING STORM DRAIN COMBO BOX      |  | EXISTING STORM DRAIN CLEAN OUT     |
|  | PROPOSED STORM DRAIN COMBO BOX      |  | EXISTING STORM DRAIN CULVERT       |
|  | EXISTING STORM DRAIN CLEAN OUT      |  | PROPOSED STORM DRAIN CULVERT       |
|  | EXISTING STORM DRAIN CULVERT        |  | TEMPORARY SAG INLET PROTECTION     |
|  | PROPOSED STORM DRAIN CULVERT        |  | TEMPORARY IN-LINE INLET PROTECTION |
|  | TEMPORARY SAG INLET PROTECTION      |  | ROOF DRAIN                         |
|  | TEMPORARY IN-LINE INLET PROTECTION  |  | EXISTING ELECTRICAL MANHOLE        |
|  | ROOF DRAIN                          |  | EXISTING ELECTRICAL BOX            |
|  | EXISTING ELECTRICAL MANHOLE         |  | EXISTING TRANSFORMER               |
|  | EXISTING ELECTRICAL BOX             |  | EXISTING UTILITY POLE              |
|  | EXISTING TRANSFORMER                |  | EXISTING LIGHT                     |
|  | EXISTING UTILITY POLE               |  | PROPOSED LIGHT                     |
|  | EXISTING LIGHT                      |  | EXISTING GAS METER                 |
|  | PROPOSED LIGHT                      |  | EXISTING GAS MANHOLE               |
|  | EXISTING GAS METER                  |  | EXISTING GAS VALVE                 |
|  | EXISTING GAS MANHOLE                |  | EXISTING TELEPHONE MANHOLE         |
|  | EXISTING GAS VALVE                  |  | EXISTING TELEPHONE BOX             |
|  | EXISTING TELEPHONE MANHOLE          |  | EXISTING TRAFFIC SIGNAL BOX        |
|  | EXISTING TELEPHONE BOX              |  | EXISTING CABLE BOX                 |
|  | EXISTING TRAFFIC SIGNAL BOX         |  | EXISTING BOLLARD                   |
|  | EXISTING CABLE BOX                  |  | PROPOSED BOLLARD                   |
|  | EXISTING BOLLARD                    |  | EXISTING SIGN                      |
|  | PROPOSED BOLLARD                    |  | PROPOSED SIGN                      |
|  | EXISTING SIGN                       |  | EXISTING SPOT ELEVATION            |
|  | PROPOSED SIGN                       |  | PROPOSED TBC ELEVATION             |
|  | EXISTING SPOT ELEVATION             |  | EXISTING FLOW DIRECTION            |
|  | PROPOSED TBC ELEVATION              |  |                                    |
|  | EXISTING FLOW DIRECTION             |  |                                    |

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.



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RICHFIELD  
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COLORADO SPRINGS  
Phone: 719.476.0119

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PHONE: 702-205-4627  
FAX:

**TRAIL'S EDGE SUBDIVISION**  
**PHASE 4**  
**3200 WEST 700 SOUTH STREET**  
**SYRACUSE, UTAH**



| NO. | DATE   | REVISION   | BY  |
|-----|--------|------------|-----|
| 1   | 5-6-15 | FOR REVIEW | MJS |
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**NOTES**

PROJECT NUMBER: L2138      PRINT DATE: 7/9/15  
 DRAWN BY: M.ELLMER      CHECKED BY: M.STATEN  
 PROJECT MANAGER: K.RUSSELL

**C-001**



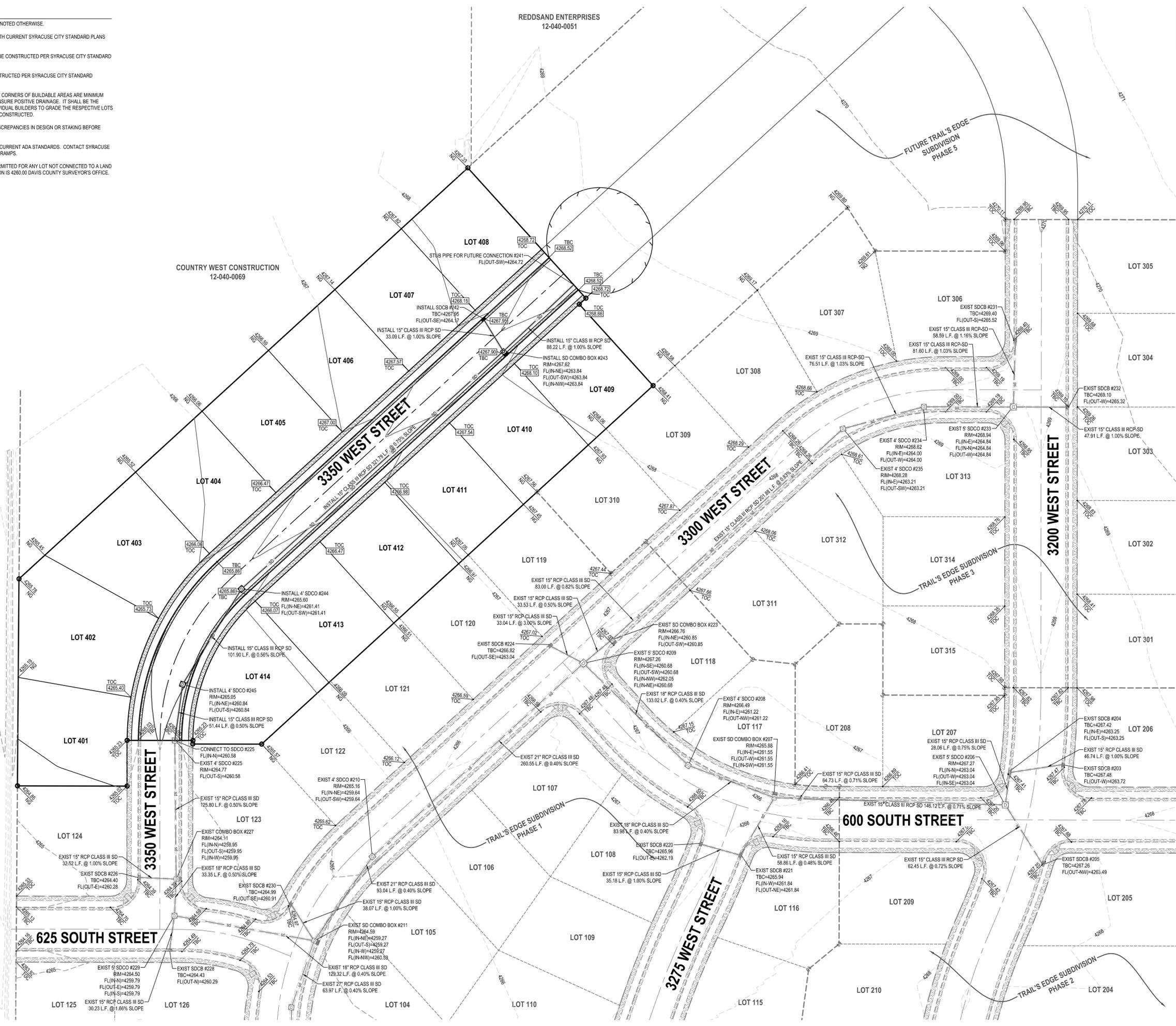
**811**  
Know what's below.  
Call before you dig.

CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

**BENCHMARK**

BENCHMARK IS THE SOUTH QUARTER  
CORNER OF SECTION 5, TOWNSHIP 4 NORTH,  
RANGE 2 WEST, SALT LAKE BASE & MERIDIAN  
ELEVATION = 4245.76

- NOTES**
1. ALL GRADES TO TBC UNLESS NOTED OTHERWISE.
  2. ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
  3. COMBINATION BOXES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD DRAWINGS.
  4. INLET BOXES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD DRAWINGS.
  5. SPOT ELEVATIONS SHOWN AT CORNERS OF BUILDABLE AREAS ARE MINIMUM ELEVATIONS REQUIRED TO ENSURE POSITIVE DRAINAGE. IT SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL BUILDERS TO GRADE THE RESPECTIVE LOTS TO DRAIN WHEN HOMES ARE CONSTRUCTED.
  6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR PIPE.
  7. ALL ADA RAMPS SHALL MEET CURRENT ADA STANDARDS. CONTACT SYRACUSE CITY PRIOR TO POURING ANY RAMPS.
  8. BASEMENTS WILL NOT BE PERMITTED FOR ANY LOT NOT CONNECTED TO A LAND DRAIN. BASE FLOOR ELEVATION IS 4260.00 DAVIS COUNTY SURVEYOR'S OFFICE.



REDDISAND ENTERPRISES  
12-040-0051

COUNTRY WEST CONSTRUCTION  
12-040-0069

**EN SIGN**  
THE STANDARD IN ENGINEERING

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FAX:

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PHASE 4  
3200 WEST 700 SOUTH STREET  
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| NO. | DATE   | REVISION   | BY  |
|-----|--------|------------|-----|
| 1   | 5-6-15 | FOR REVIEW | MJS |
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**GRADING AND DRAINAGE PLAN**

PROJECT NUMBER: L2138  
PRINT DATE: 7/9/15  
DRAWN BY: MELMER  
CHECKED BY: M.STATEN  
PROJECT MANAGER: KRUSSELL

**C-200**

**811**  
Know what's below.  
Call before you dig.

CALL BLUESTAKES @ 811 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

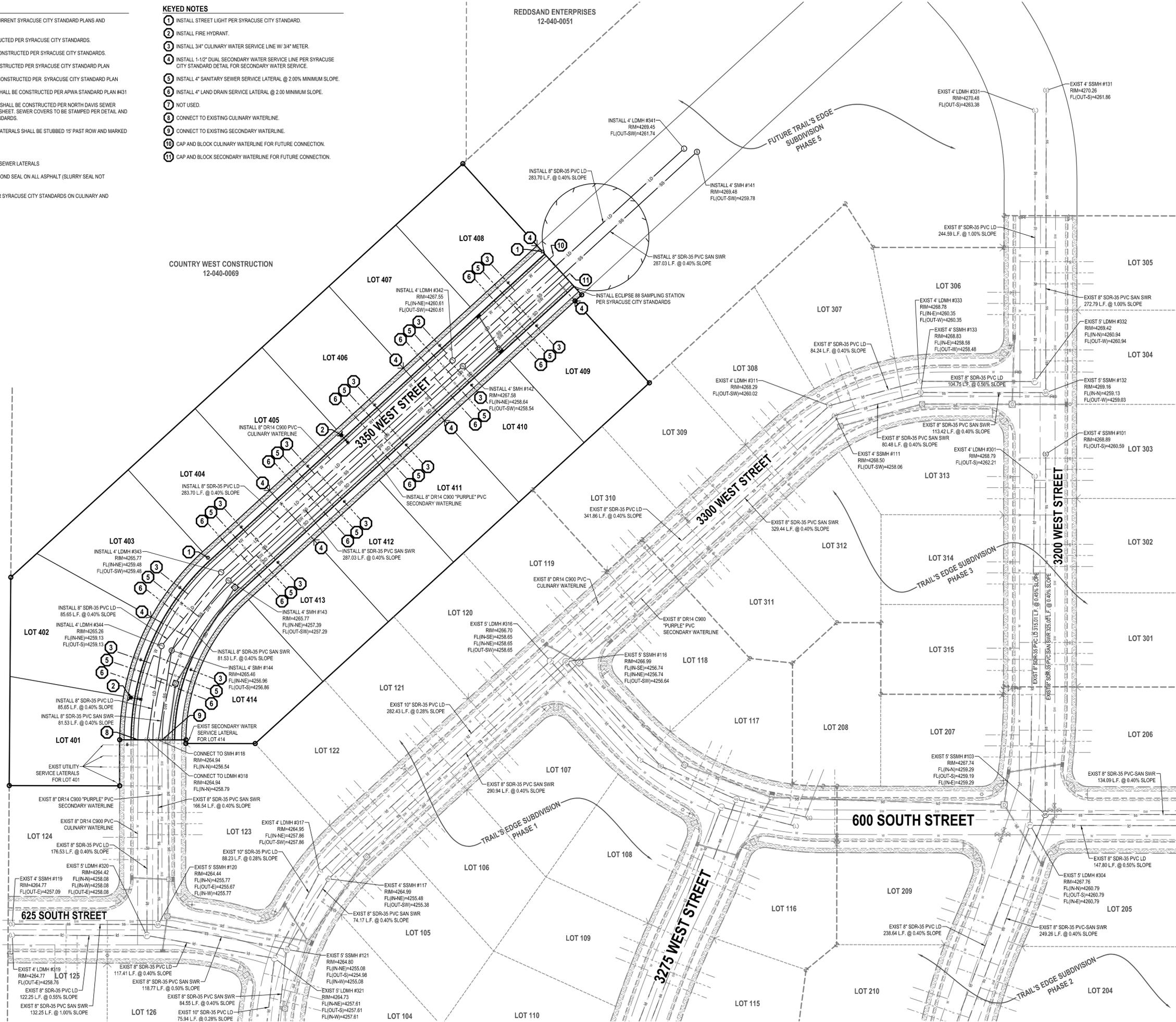
**BENCHMARK**  
BENCHMARK IS THE SOUTH QUARTER CORNER OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN  
ELEVATION = 4245.76

**NOTES**

1. ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
2. ALL HYDRANTS SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARDS.
3. ALL WATER SERVICES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARDS.
4. ALL WATER VALVES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD PLAN
5. ALL BLOW-OFF VALVES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD PLAN
6. ALL SANITARY SEWER LATERALS SHALL BE CONSTRUCTED PER APWA STANDARD PLAN #431
7. ALL SANITARY SEWER MAN HOLES SHALL BE CONSTRUCTED PER NORTH DAVIS SEWER DISTRICT PLANS. SEE DETAIL THIS SHEET. SEWER COVERS TO BE STAMPED PER DETAIL AND VENTED PER SYRACUSE CITY STANDARDS.
8. SEWER, IRRIGATION, AND WATER LATERALS SHALL BE STUBBED 15' PAST ROW AND MARKED WITH 2X4 POST.
9. MARK ALL UTILITY STUBS.
10. USE 4" GREEN PVC FOR SANITARY SEWER LATERALS
11. PROVIDE HIGH DENSITY MINERAL BOND SEAL ON ALL ASPHALT (SLURRY SEAL NOT ACCEPTABLE BY SYRACUSE CITY).
12. INSTALL SNAKEBIT PEDESTALS PER SYRACUSE CITY STANDARDS ON CULINARY AND SECONDARY WATER MAINS.

**KEYED NOTES**

1. INSTALL STREET LIGHT PER SYRACUSE CITY STANDARD.
2. INSTALL FIRE HYDRANT.
3. INSTALL 3/4" CULINARY WATER SERVICE LINE W/ 3/4" METER.
4. INSTALL 1-1/2" DUAL SECONDARY WATER SERVICE LINE PER SYRACUSE CITY STANDARD DETAIL FOR SECONDARY WATER SERVICE.
5. INSTALL 4" SANITARY SEWER SERVICE LATERAL @ 2.00% MINIMUM SLOPE.
6. INSTALL 4" LAND DRAIN SERVICE LATERAL @ 2.00 MINIMUM SLOPE.
7. NOT USED.
8. CONNECT TO EXISTING CULINARY WATERLINE.
9. CONNECT TO EXISTING SECONDARY WATERLINE.
10. CAP AND BLOCK CULINARY WATERLINE FOR FUTURE CONNECTION.
11. CAP AND BLOCK SECONDARY WATERLINE FOR FUTURE CONNECTION.



REDDSAID ENTERPRISES  
12-040-0051

COUNTRY WEST CONSTRUCTION  
12-040-0069

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FAX:

**TRAIL'S EDGE SUBDIVISION  
PHASE 4  
3200 WEST 700 SOUTH STREET  
SYRACUSE, UTAH**



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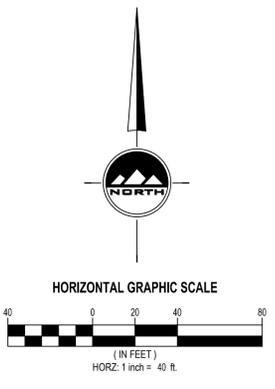
**UTILITY PLAN**

PROJECT NUMBER: L2138  
PRINT DATE: 7/9/15

DRAWN BY: MELMER  
CHECKED BY: M.STATEN

PROJECT MANAGER: KRUSSELL

**C-300**





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BENCHMARK IS THE SOUTH QUARTER  
CORNER OF SECTION 5, TOWNSHIP 4 NORTH,  
RANGE 2 WEST, SALT LAKE BASE & MERIDIAN  
ELEVATION = 4245.76

| REVISION SCHEDULE |      |        |                                  |
|-------------------|------|--------|----------------------------------|
| NUMBER            | DATE | AUTHOR | COMPANY REPRESENTATIVE SIGNATURE |
| 1                 |      |        |                                  |
| 2                 |      |        |                                  |
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| 12                |      |        |                                  |

- NOTES**
1. THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMPs) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
  2. ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
  3. DISTURBED LAND SHALL BE KEPT TO A MINIMUM - NO SITE CLEARING MORE THAN 14 CALENDAR DAYS AHEAD OF CONSTRUCTION IN ANY GIVEN AREA SHALL BE ALLOWED.
  4. RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
  5. DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION - NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES.
  6. STABILIZED CONSTRUCTION ENTRANCE, VEHICLE WASH-DOWN AREA, AND SEDIMENTATION AND CLEANOUT BASIN HAVE BEEN SHOWN AT SUGGESTED LOCATION. CONTRACTOR MAY MOVE TO OTHER LOCATION IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
  7. NOT ALL POSSIBLE BMPs HAVE BEEN SHOWN. CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT POLLUTION OF STORM WATER PER PROJECT SWPPP.
  8. PLAN LOCATIONS SHOWN FOR BMPs ARE APPROXIMATE. ACTUAL LOCATIONS AND CONFIGURATIONS SHALL BE FIELD-DETERMINED BY THE OWNER/OPERATOR.
  9. NOT ALL BMPs SHOWN CAN OR SHOULD BE IMPLEMENTED SIMULTANEOUSLY AND/OR FOR THE DURATION OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
  10. EXISTING TOPSOIL IS TO BE HARVESTED WHEN GROUND IS CLEARED. TOPSOIL SHALL THEN BE STOCKPILED ON-SITE FOR USE IN AREAS NOT OTHERWISE TO BE LANDSCAPED, TO ACCELERATE REVEGETATION AND STABILIZATION. AS AN ALTERNATE TO STOCKPILING TOPSOIL ONSITE, OWNER/OPERATOR MAY IMPORT TOPSOIL TO AREAS TO BE STABILIZED FROM OFFSITE.

**LEGEND**

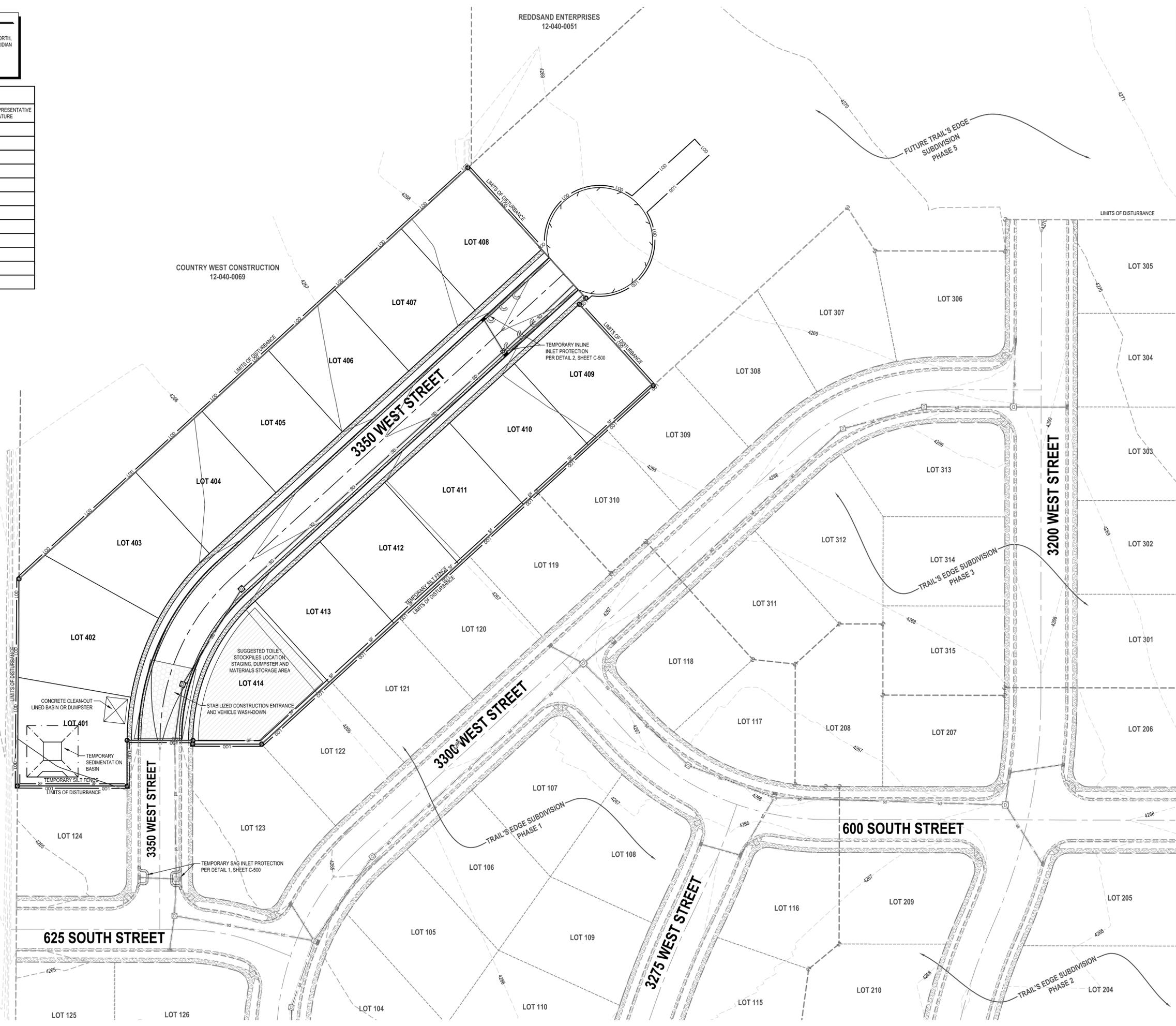
-  TEMPORARY SAG INLET PROTECTION PER DETAIL 1, SHEET C-500
-  TEMPORARY IN-LINE INLET PROTECTION PER DETAIL 2, SHEET C-500
-  TEMPORARY SILT FENCE PER DETAIL 3, SHEET C-500
-  PROPOSED CONCRETE
-  EXISTING CONCRETE
-  LIMITS OF DISTURBANCE
-  GRADE BREAK
-  EXISTING 5' CONTOUR
-  EXISTING 1' CONTOUR
-  PROPOSED 5' CONTOUR
-  PROPOSED 1' CONTOUR



**HORIZONTAL GRAPHIC SCALE**



(IN FEET)  
HORZ: 1 inch = 40 ft.





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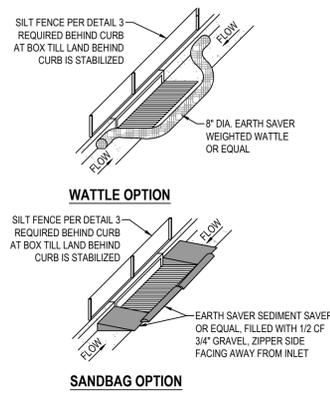


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**EROSION CONTROL  
PLAN**

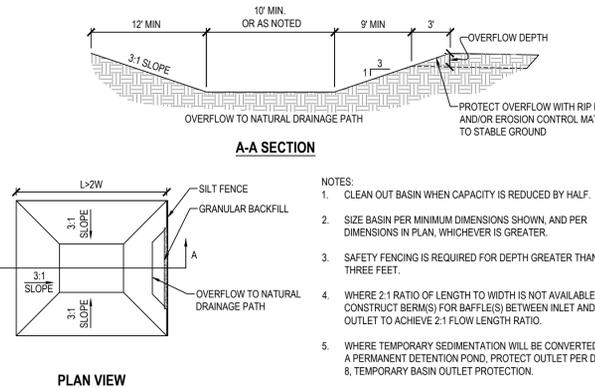
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|------------------------------|------------------------|
| PROJECT NUMBER<br>L2138      | PRINT DATE<br>7/9/15   |
| DRAWN BY<br>M.ELMER          | CHECKED BY<br>M.STATON |
| PROJECT MANAGER<br>K.RUSSELL |                        |

C-400

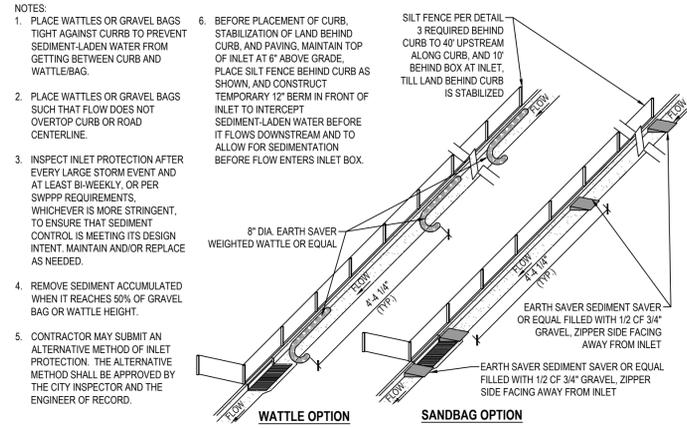


- NOTES:
1. PLACE WATTLES OR GRAVEL BAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT-LADEN WATER FROM GETTING BETWEEN CURB AND WATTLEBAG.
  2. PLACE WATTLES OR GRAVEL BAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE.
  3. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BI-WEEKLY, OR PER SWPPP REQUIREMENTS, WHICHEVER IS MORE STRINGENT, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED.
  4. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 50% OF GRAVEL BAG OR WATTLE HEIGHT.
  5. CONTRACTOR MAY SUBMIT AN ALTERNATIVE METHOD OF INLET PROTECTION. THE ALTERNATIVE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE ENGINEER OF RECORD.
  6. BEFORE PLACEMENT OF CURB, STABILIZATION OF LAND BEHIND CURB, AND/OR PAVING, MAINTAIN TOP OF INLET AT 6" ABOVE GRADE, AND SURROUND WITH SILT FENCE FOR SEDIMENTATION AROUND BOX. MAINTAIN SILT FENCE BEHIND BOX UNTIL LAND BEHIND CURB IS STABILIZED.

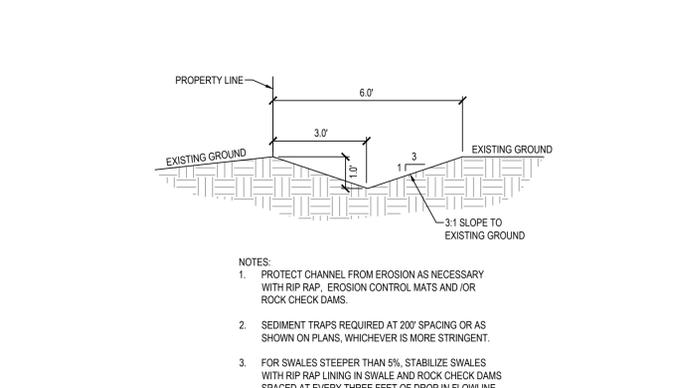
1 SAG INLET PROTECTION SCALE: NONE



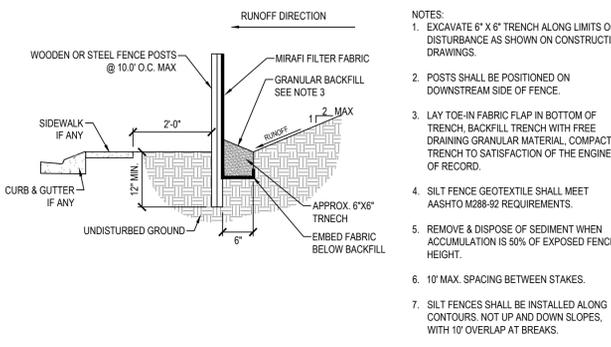
5 TEMPORARY SEDIMENTATION BASIN SCALE: NONE



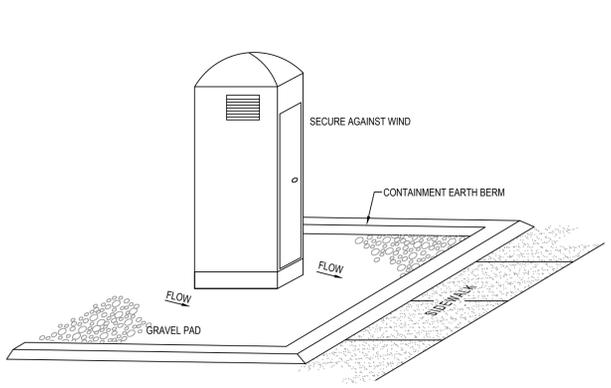
2 IN-LINE INLET PROTECTION SCALE: NONE



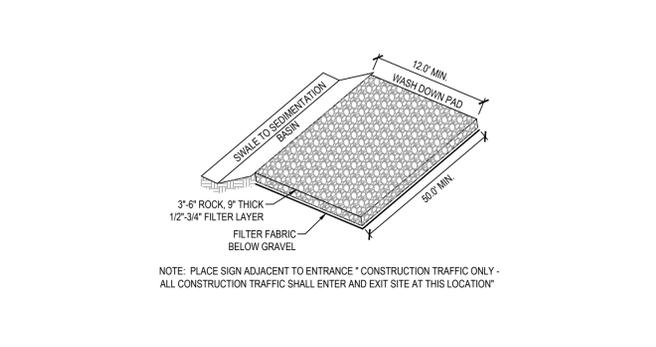
6 DRAINAGE SWALE SCALE: NONE



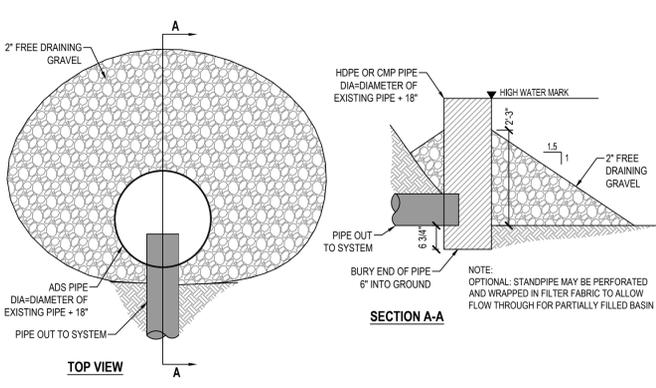
3 TEMPORARY SILT FENCE SCALE: NONE



7 PORTABLE TOILET SCALE: NONE



4 TEMPORARY VEHICLE WASHDOWN & STABILIZED CONSTRUCTION ENTRANCE SCALE: NONE



8 TEMPORARY BASIN OUTLET PROTECTION SCALE: NONE

**ENSIGN**  
THE STANDARD IN ENGINEERING

LAYTON  
1485 W. Hill Field Rd., Ste. 204  
Layton, UT 84041  
Phone: 801.547.1100

SALT LAKE CITY  
Phone: 801.255.0529

TOOELE  
Phone: 435.843.3590

CEDAR CITY  
Phone: 435.865.1453

RICHFIELD  
Phone: 435.896.2983

COLORADO SPRINGS  
Phone: 719.476.0119

[WWW.ENSIGNENG.COM](http://WWW.ENSIGNENG.COM)

FOR:  
MSA MARK SANDBERG  
1882 WOODHAVEN DRIVE  
HENDERSON, NEVADA 89074

CONTACT:  
MARK SANDBERG  
PHONE: 702-205-4627  
FAX:

**TRAIL'S EDGE SUBDIVISION  
PHASE 4  
3200 WEST 700 SOUTH STREET  
SYRACUSE, UTAH**



| NO. | DATE   | REVISION   | BY  |
|-----|--------|------------|-----|
| 1   | 5-8-15 | FOR REVIEW | MTS |
| 2   |        |            |     |
| 3   |        |            |     |
| 4   |        |            |     |
| 5   |        |            |     |
| 6   |        |            |     |
| 7   |        |            |     |
| 8   |        |            |     |

**DETAILS**

PROJECT NUMBER: L2138  
PRINT DATE: 7/9/15  
DRAWN BY: M.ELMER  
CHECKED BY: M.STATEN  
PROJECT MANAGER: K.RUSSELL

**C-500**





CALL BLUESTAKES  
@ 1-800-862-4111 AT LEAST 48  
HOURS PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

**NOTES**

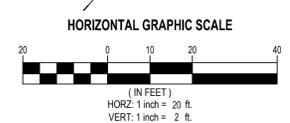
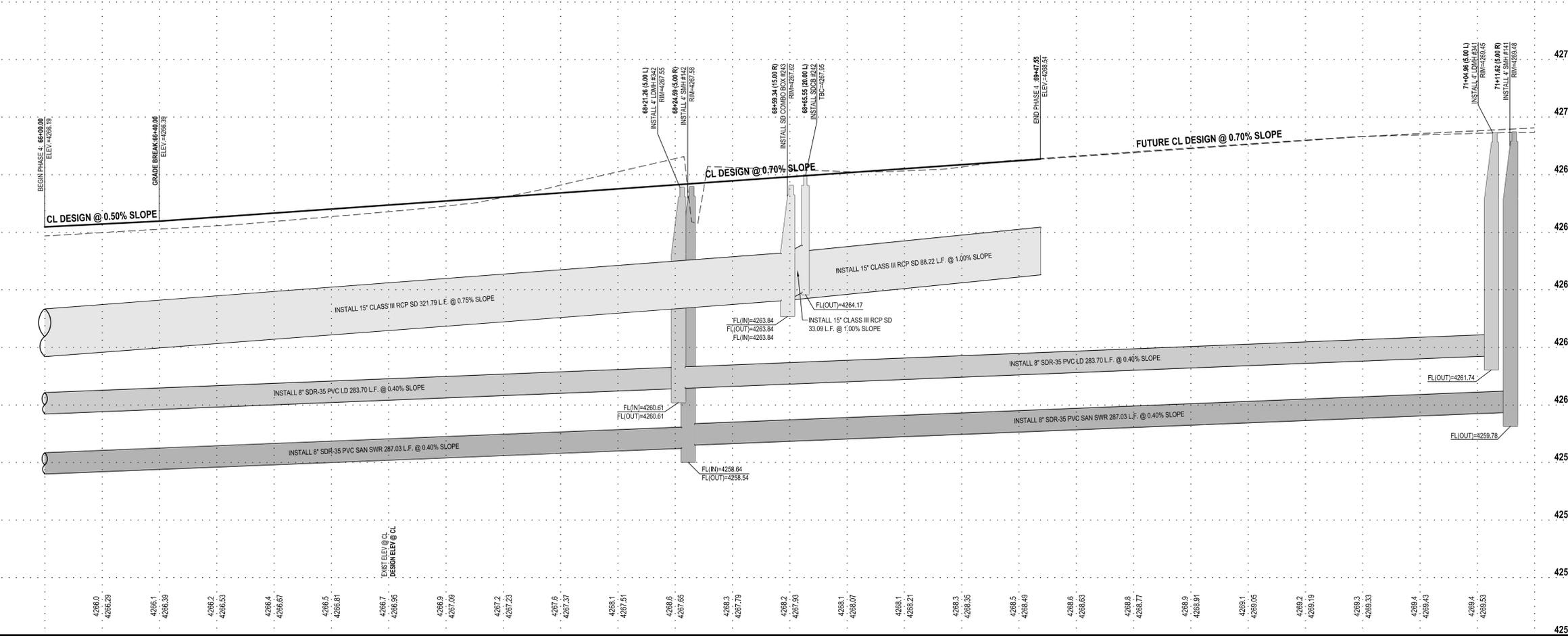
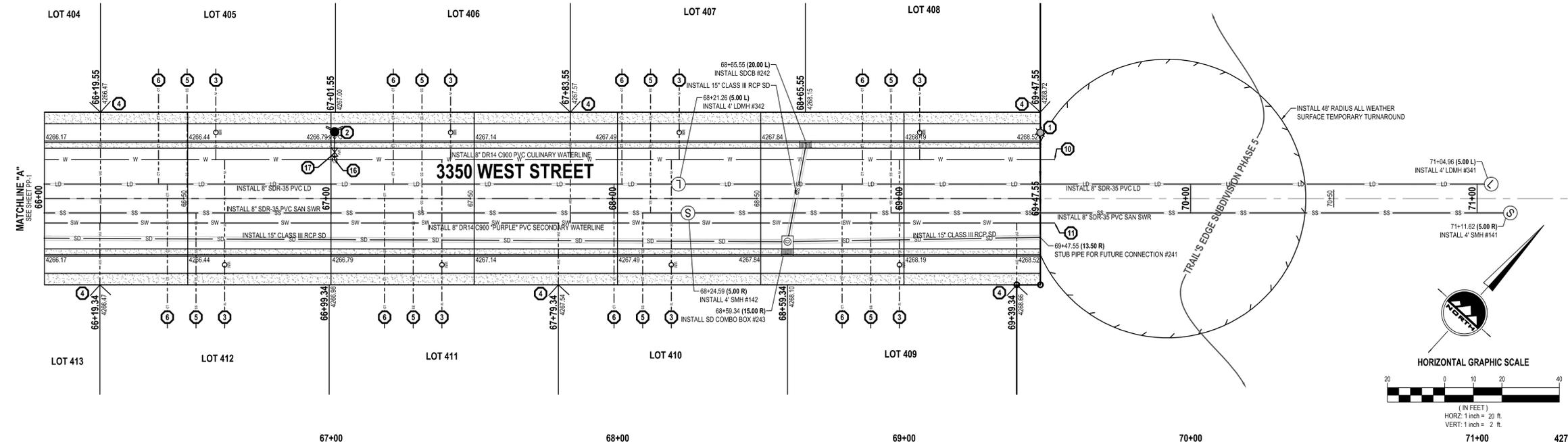
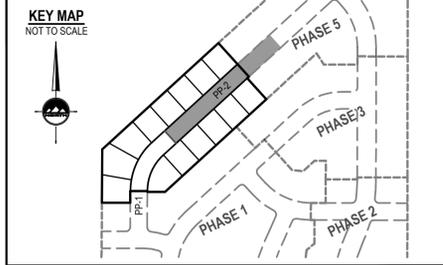
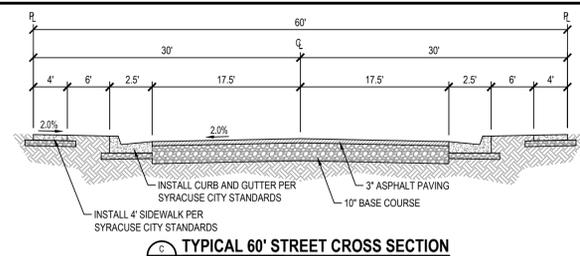
1. ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
2. FIELD VERIFY ALL EXISTING ELEVATIONS PRIOR TO ANY CONSTRUCTION.
3. EXTEND UTILITY LATERALS TO 10' BEYOND PROPERTY LINE.

**NOTICE TO CONTRACTOR**

The intent of the installation of curb and gutter along 3350 WEST STREET is to match the existing asphalt paving such that proper drainage of both the existing and proposed asphalt into the proposed curb and gutter is accomplished. It is the RESPONSIBILITY OF THE CONTRACTOR to verify that drainage into the proposed curb and gutter of all run-off water from the street is accomplished prior to the placement of any concrete. Notice to Ensign Engineering of variations from the design drawings is required prior to any placement of the proposed curb and gutter.

**KEYED NOTES**

1. INSTALL STREET LIGHT PER SYRACUSE CITY STANDARD.
2. INSTALL FIRE HYDRANT.
3. INSTALL 3/4" CULINARY WATER SERVICE LINE W/ 3/4" METER.
4. INSTALL 1-1/2" DUAL SECONDARY WATER SERVICE LINE PER CITY STDS.
5. INSTALL 4" SANITARY SEWER SERVICE LATERAL @ 2.00% MINIMUM SLOPE.
6. INSTALL 4" LAND DRAIN SERVICE LATERAL @ 2.00% MINIMUM SLOPE.
7. INSTALL 8" GATE VALVE.
8. CONNECT TO EXISTING CULINARY WATERLINE.
9. CONNECT TO EXISTING SECONDARY WATERLINE.
10. CAP AND BLOCK CULINARY WATERLINE FOR FUTURE CONNECTION.
11. CAP AND BLOCK SECONDARY WATERLINE FOR FUTURE CONNECTION.
12. INSTALL HANDICAP ACCESSIBLE RAMP PER CURRENT ADA REQUIREMENTS. CONTACT THE CITY PRIOR TO THE POURING OF ANY RAMP.
13. MATCH EXISTING IMPROVEMENTS.
14. INSTALL 8" TEE.
15. INSTALL 8" 22.5° BEND.
16. INSTALL 8"X6" TEE.
17. INSTALL 6" GATE VALVE.



**ENSIGN**  
THE STANDARD IN ENGINEERING

LAYTON  
1485 W. Hill Field Rd., Ste. 204  
Layton, UT 84041  
Phone: 801.547.1100

SALT LAKE CITY  
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Phone: 719.476.0119

[WWW.ENSIGNENG.COM](http://WWW.ENSIGNENG.COM)

FOR:  
MSA MARK SANDBERG  
1882 WOODHAVEN DRIVE  
HENDERSON, NEVADA 89074

CONTACT:  
MARK SANDBERG  
PHONE: 702.205.4627  
FAX:

**TRAIL'S EDGE SUBDIVISION  
PHASE 4  
3200 WEST 700 SOUTH STREET  
SYRACUSE, UTAH**



| NO. | DATE   | REVISION   | BY  |
|-----|--------|------------|-----|
| 1   | 5-6-15 | FOR REVIEW | MTS |
| 2   |        |            |     |
| 3   |        |            |     |
| 4   |        |            |     |
| 5   |        |            |     |
| 6   |        |            |     |
| 7   |        |            |     |
| 8   |        |            |     |

**3350 WEST STREET  
PLAN AND PROFILE**

PROJECT NUMBER: L2138  
PRINT DATE: 7/9/15  
DRAWN BY: M. ELMER  
CHECKED BY: M. STATEN  
PROJECT MANAGER: KRUSSELL



# TRAIL'S EDGE SUBDIVISION

## PHASE 5

3350 WEST 700 SOUTH  
SYRACUSE CITY, UTAH

**FOR APPROVAL  
FOR CONSTRUCTION**

DATE PRINTED  
7-10-2015



### INDEX OF DRAWINGS

|        |                                   |
|--------|-----------------------------------|
| 1 OF 1 | SUBDIVISION PLAT                  |
| C-001  | NOTES                             |
| C-100  | SITE PLAN                         |
| C-200  | GRADING AND DRAINAGE PLAN         |
| C-300  | UTILITY PLAN                      |
| C-400  | EROSION CONTROL PLAN              |
| C-500  | DETAILS                           |
| PP-1   | 3350 WEST STREET PLAN AND PROFILE |
| PP-2   | 3350 WEST STREET PLAN AND PROFILE |
| PP-3   | 3200 WEST STREET PLAN AND PROFILE |

#### UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

#### NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

#### NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

#### CITY ENGINEER ACCEPTANCE OF IMPROVEMENT PLANS

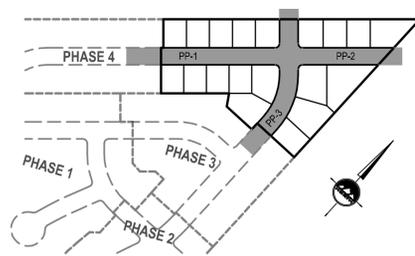
THE IMPROVEMENT PLANS FOR THIS SUBDIVISION HAVE BEEN REVIEWED BY THE CITY ENGINEER FOR GENERAL CONFORMANCE WITH THE REQUIREMENTS OF THE CITY SUBDIVISION ORDINANCE. THIS SET OF CITY APPROVED DRAWINGS SHALL BE USED FOR CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS. THE DEVELOPER'S ENGINEER, WHOSE STAMP IS ON THESE DRAWINGS, IS RESPONSIBLE FOR THE ENGINEERING DESIGN, DRAFTING AND RELATED FIELD INFORMATION. THE CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR THE DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE. FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, COORDINATION OF HIS OR HER WORK WITH THAT OF ALL OTHER TRADES, AND THE SATISFACTORY PERFORMANCE OF HIS OR HER WORK.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
CITY ENGINEER

#### DEVELOPER

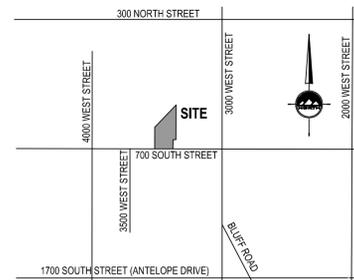
MSA MARK SANDBERG  
1882 WOODHAVEN DRIVE  
HENDERSON, NEVADA 89074  
702-205-4627

#### KEY MAP



NO SCALE

#### VICINITY MAP



NO SCALE

#### GENERAL NOTES

1. ALL WORK SHALL CONFORM WITH SYRACUSE CITY STANDARDS & SPECIFICATIONS.
2. ALL UTILITIES SHALL BE INSTALLED PER SYRACUSE CITY STANDARDS & SPECIFICATIONS.
3. CALL BLUE STAKES 48 HOURS PRIOR TO DIGGING.
4. BENCHMARK ELEVATION = SOUTH QUARTER CORNER OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN. ELEV. = 4245.76

#### ENGINEER/SURVEYOR:



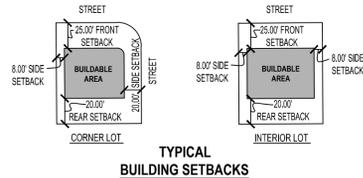
**LAYTON**  
1485 West Hillfield Rd.  
Suite 204  
Layton UT 84041  
Phone: 801.547.1100  
Fax: 801.593.6315

**SALT LAKE CITY**  
Phone: 801.256.0529  
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**CEDAR CITY**  
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Phone: 435.590.0187

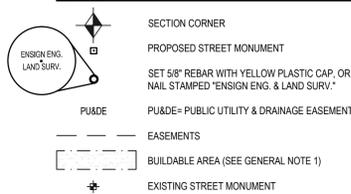
**TRAIL'S EDGE SUBDIVISION PHASE 5**  
**FOR REVIEW - JULY 10, 2015**

**GENERAL NOTES:**

- PROPERTY IS ZONED R-3
  - FRONT YARD SETBACK IS 25'
  - REAR YARD SETBACK IS 20'
  - SIDE YARD SETBACK IS 8'
  - CORNER LOT SIDE YARD SETBACK IS 20' ON ROAD SIDE.
- ALL PUBLIC UTILITY AND DRAINAGE EASEMENTS (P.U. & D.E.) ARE 10' FRONT, 8' SIDE AND 10' REAR UNLESS OTHERWISE NOTED HEREON.
- LOWEST FINISH FLOOR ELEVATION FOR ANY HOME IS 4260.00 (DAVIS COUNTY SURVEYOR'S OFFICE DATUM).



**LEGEND**



**CURVE TABLE**

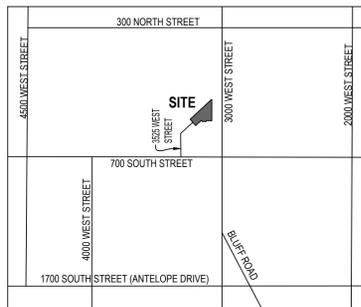
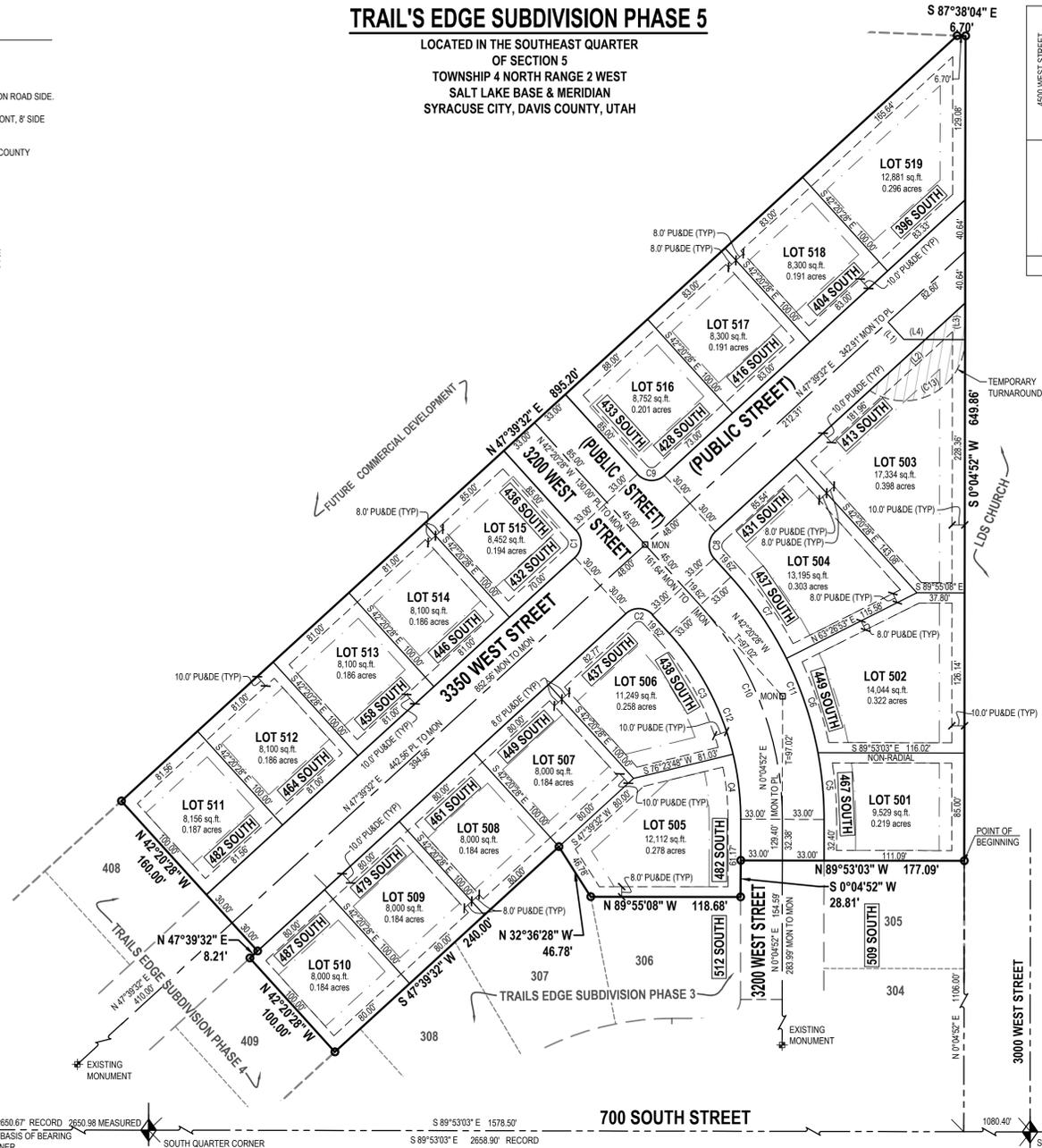
| CURVE | RADIUS  | LENGTH  | DELTA      | BEARING     | CHORD   |
|-------|---------|---------|------------|-------------|---------|
| C1    | 15.00'  | 23.56'  | 90°00'00"  | S2°39'32"W  | 21.21'  |
| C2    | 15.00'  | 23.56'  | 90°00'00"  | S87°20'28"E | 21.21'  |
| C3    | 217.00' | 108.84' | 28°44'16"  | S27°58'20"E | 107.10' |
| C4    | 217.00' | 51.83'  | 13°41'04"  | S6°45'40"E  | 51.70'  |
| C5    | 283.00' | 52.91'  | 10°42'44"  | N5°16'30"W  | 52.83'  |
| C6    | 283.00' | 78.64'  | 15°55'16"  | N18°35'29"W | 78.39'  |
| C7    | 283.00' | 77.99'  | 15°47'21"  | N34°26'48"W | 77.74'  |
| C8    | 15.00'  | 23.56'  | 90°00'00"  | N2°39'32"E  | 21.21'  |
| C9    | 15.00'  | 23.56'  | 90°00'00"  | N87°20'28"W | 21.21'  |
| C10   | 250.00' | 185.10' | 42°25'20"  | N21°07'48"W | 180.90' |
| C11   | 283.00' | 209.54' | 42°25'20"  | N21°07'48"W | 204.78' |
| C12   | 217.00' | 160.67' | 42°25'20"  | N21°07'48"W | 157.02' |
| (C13) | 48.50'  | 104.85' | 123°51'41" | S62°00'43"W | 85.59'  |

**LINE TABLE**

| LINE | BEARING     | LENGTH  |
|------|-------------|---------|
| (L1) | S42°20'28"E | 18.50'  |
| (L2) | N47°39'32"E | 102.31' |
| (L3) | S0°04'52"W  | 28.74'  |
| (L4) | S89°55'08"E | 48.50'  |

**TRAIL'S EDGE SUBDIVISION PHASE 5**

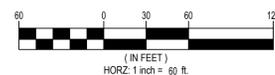
LOCATED IN THE SOUTHEAST QUARTER  
OF SECTION 5  
TOWNSHIP 4 NORTH RANGE 2 WEST  
SALT LAKE BASE & MERIDIAN  
SYRACUSE CITY, DAVIS COUNTY, UTAH



VICINITY MAP  
NO SCALE  
SYRACUSE, UTAH



HORIZONTAL GRAPHIC SCALE



NOTE:  
UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE P.U.E. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE P.U.E. AT THE LOT OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE P.U.E. OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE P.U.E. WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE P.U.E.

**SURVEYOR'S CERTIFICATE**

I, **KEITH R. RUSSELL**, do hereby certify that I am a Licensed Land Surveyor, and that I hold certificate No. **164386**, as prescribed under laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as **TRAIL'S EDGE SUBDIVISION PHASE 5**, and that the same has been correctly surveyed and staked on the ground as shown on this plat. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

**BOUNDARY DESCRIPTION**

Beginning at the Northeast Corner of Lot 305, Trail's Edge Subdivision Phase 3, said point being South 89°53'03" East 1578.50 feet along the section line and North 0°04'52" East 1100.00 feet from the South Quarter Corner of Section 5, Township 4 North, Range 2 West, Salt Lake Base and Meridian, and running:

Thence North 89°53'03" West 177.09 feet along the north line to a Northwest Corner of Trail's Edge Subdivision Phase 3;  
Thence South 0°04'52" West 28.81 feet along a west line to an interior corner of Trail's Edge Subdivision Phase 3;  
Thence North 89°55'08" West 118.68 feet along a north line to an interior corner of Trail's Edge Subdivision Phase 3;  
Thence North 32°36'28" West 46.78 feet along the west line to a Northeast Corner of Trail's Edge Subdivision Phase 3;  
Thence South 47°39'32" West 240.00 feet along a north line of Trail's Edge Subdivision Phase 3 to a Southeast Corner of Trail's Edge Subdivision Phase 4;  
Thence North 42°20'28" West 100.00 feet along the east line to a Northeast Corner of Trail's Edge Subdivision Phase 4;  
Thence North 47°39'32" East 8.21 feet along a north line to an interior corner of Trail's Edge Subdivision Phase 4;  
Thence North 42°20'28" West 160.00 feet along a north line to a Northeast Corner of Trail's Edge Subdivision Phase 4;  
Thence South 87°38'04" East 6.70 feet;  
Thence South 0°04'52" West 649.86 feet to the point of beginning.

Contains 250,163 square feet, 5,950 acres, 19 lots.

Date 7-10-15  
Keith R. Russell  
License no. 164386



**OWNER'S DEDICATION**

Known all men by these presents that I, the undersigned owner of the above described tract of land, having caused same to be subdivided, hereafter known as

**TRAIL'S EDGE SUBDIVISION PHASE 5**

do hereby dedicate for perpetual use of the public all streets as shown on this plat as Public Streets intended for Public use.

In witness whereof I have hereunto set my hand this \_\_\_\_\_ day of \_\_\_\_\_ A.D. 20\_\_\_\_

Trail's Edge, a Limited Liability Company  
Gregory Higley  
Manager

**LIMITED LIABILITY COMPANY ACKNOWLEDGMENT**

STATE OF UTAH J.S.S.  
County of Davis  
On the \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_, personally appeared before me, the undersigned Notary Public, in and for said County of Davis, in the State of Utah, who after being duly sworn, acknowledged to me that He is the Manager of Trail's Edge LLC, a Limited Liability Company and that He signed the Owner's Dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein mentioned and acknowledged to me that said Limited Liability Company executed the same.

MY COMMISSION EXPIRES: \_\_\_\_\_  
RESIDING IN \_\_\_\_\_ COUNTY.

**TRAIL'S EDGE SUBDIVISION PHASE 5**

LOCATED IN THE SOUTHEAST QUARTER  
OF SECTION 5  
TOWNSHIP 4 NORTH RANGE 2 WEST  
SALT LAKE BASE & MERIDIAN  
SYRACUSE CITY, DAVIS COUNTY, UTAH

**DAVIS COUNTY RECORDER**

ENTRY NO. \_\_\_\_\_ FEE \_\_\_\_\_  
PAID \_\_\_\_\_ FILED FOR RECORD AND  
RECORDED THIS DAY OF \_\_\_\_\_ 20\_\_\_\_  
AT \_\_\_\_\_ IN BOOK \_\_\_\_\_ OF OFFICIAL RECORDS  
PAGE \_\_\_\_\_

**SHEET 1 OF 1**

PROJECT NUMBER: L2138  
MANAGER: K. RUSSELL  
DRAWN BY: J. MOSS  
CHECKED BY: K. RUSSELL  
DATE: 5/20/15

DAVIS COUNTY RECORDER  
BY \_\_\_\_\_  
DEPUTY RECORDER

**UTILITY COMPANY APPROVAL**

ROCKY MOUNTAIN POWER DATE \_\_\_\_\_  
QUESTAR GAS DATE \_\_\_\_\_  
CENTURY LINK DATE \_\_\_\_\_



LAYTON  
1485 West Hillfield Rd. Suite 204  
Layton UT 84041  
Phone: 801.547.1100  
Fax: 801.593.6315  
WWW.ENSIGNUTAH.COM

SALT LAKE CITY  
Phone: 801.255.0529  
PLEASANT GROVE  
Phone: 801.796.8145  
TOOELE  
Phone: 435.843.3990

**CITY ATTORNEY'S APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE SYRACUSE CITY ATTORNEY.  
SYRACUSE CITY ATTORNEY

**PLANNING COMMISSION APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE CITY PLANNING COMMISSION APPROVAL.  
CHAIRMAN, SYRACUSE CITY PLANNING COMMISSION

**CITY ENGINEER'S APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE SYRACUSE CITY ENGINEER.  
SYRACUSE CITY ENGINEER

**CITY COUNCIL APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE SYRACUSE CITY COUNCIL.  
CITY RECORDER CITY MAYOR

**GENERAL NOTES**

- ALL WORK TO CONFORM TO SYRACUSE CITY STANDARDS, DRAWINGS, AND APWA STANDARD PLANS AND SPECIFICATIONS, WHERE CITY STANDARDS OR PROJECT DRAWINGS DO NOT COVER THE WORK. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION. DOCUMENTS AND IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND PLANS, ETC.
- ALL EXISTING MANHOLES, WATER VALVES, CLEAN OUTS, ETC., SHALL BE ADJUSTED TO FINISH GRADE.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
- CONTRACTOR TO NOTIFY SYRACUSE CITY AND ENSIGN ENGINEERING 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION REQUIRED FOR THIS PROJECT.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE SYRACUSE CITY OR DAVIS COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DRY DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, AT ALL CHANGES IN DIRECTION, AND IN CURB AND SIDEWALK AT EQUAL INTERVALS NOT TO EXCEED 50 FEET. SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/2 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING.
- CONCRETE WATERWAYS, CURB WALLS, MOW STRIPS, CURB AND GUTTER, ETC., WILL TYPICALLY BE SCORED (1/2 THE DEPTH) AT INTERVALS NOT TO EXCEED 10 FEET, AND HAVE FULL DEPTH EXPANSION JOINTS THAT EQUAL SPACING NOT TO EXCEED 50 FEET.
- UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (95% DENSITY) SUB GRADE.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED, ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- ALL JOINTS (CONTROL JOINTS, CONSTRUCTION JOINTS, EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT (SEE SPECIFICATION).
- SAW CUT EDGE OF EXISTING ASPHALT AND INSTALL ASPHALT TO NEW CURB AND GUTTER PER SYRACUSE CITY STANDARDS AND SPECIFICATIONS.
- ALL EXISTING ASPHALT WILL BE SAW CUT IN NEAT STRAIGHT LINES BY THE CONTRACTOR PRIOR TO PAVING TO MATCH.
- EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUB GRADE AREAS WITHIN THE BUILDING PAD AREA, AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTORS MUST START AT THE LOW END OF ALL GRAVITY FED LINES AND WORK UPHILL.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS. IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH SYRACUSE CITY STANDARDS AND SPECIFICATIONS AND DETAILS.
- SEWER LINES SHALL BE SDR-35 PVC PIPE.
- SEWER LATERALS SHALL BE CONSTRUCTED SUCH THAT CONNECTION IS MADE TO THE UPPER QUADRANT OF THE SEWER MAIN PER SYRACUSE CITY STANDARDS AND DETAILS.
- CONTRACTOR IS TO SUBMIT SITE PLAN TO QUESTAR GAS CO. FOR DESIGN OF GAS LINE SERVICE TO LOTS. ACTUAL CONSTRUCTION OF SERVICE TO BE DONE BY QUESTAR GAS COMPANY.
- ALL NEW SECONDARY WATER SHALL BE DONE IN ACCORDANCE WITH SYRACUSE CITY STANDARDS AND SPECIFICATIONS.
- ALL NEW CULINARY WATER CONSTRUCTION SHALL CONFORM TO SYRACUSE CITY STANDARD SPECIFICATIONS AND DETAILS.
- CONTRACTOR TO LOOP NEW WATERLINE AROUND GRAVITY UTILITIES IF CONFLICT DOES OCCUR. (NOTIFY ENGINEER OF THE PROBLEM).
- ALL CULINARY AND SECONDARY WATERLINE PIPE AND FITTINGS TO BE C900 DR-14.
- ALL THRUST BLOCKS SHALL BE POURED IN PLACE AGAINST UNDISTURBED SOIL AS PER SPECIFICATIONS. ALL VALVES, FITTINGS, AND APPURTENANCES TO BE BLOCKED. THRUST BLOCKS SHALL BE SIZED FOR 200 PSI WORKING PRESSURE PER BEARING PRESSURE FROM SOILS REPORT.
- ALL STORM DRAIN PIPING SHALL BE CLASS III RCP UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- EXISTING SEWER MAIN TO REMAIN IN SERVICE UNTIL NEW MAIN HAS BEEN INSTALLED, TESTED, AND ALL SERVICES HAVE BEEN RECONNECTED.
- THE CONTRACTOR SHALL PLACE TEMPORARY STREET ASPHALT SURFACES IF THE WORK IS ACCOMPLISHED AT A TIME WHEN PERMANENT ASPHALT SURFACING MATERIAL IS NOT AVAILABLE. AT THE TIME PERMANENT ASPHALT BECOMES AVAILABLE, THE CONTRACTOR SHALL FURNISH AND PLACE ASPHALT PER SYRACUSE CITY STANDARDS. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR PERIOD OF TWO YEARS FROM THE DATE OF COMPLETION.
- ALL CONCRETE VALVE BOXES WILL BE POURED IN PLACE AGAINST UNDISTURBED SOIL AND BUILT WITH A DUCTILE IRON RING AND COVER POSITIONED OVER THE VALVE OPERATING UNIT CENTERED OVER THE MAN WAY OPENING.
- CONTRACTOR TO LAYOUT AND POT HOLE FOR ALL POTENTIAL CONFLICTS WITH UTILITY LINES ON OR OFF SITE AS REQUIRED PRIOR TO ANY CONSTRUCTION, AND THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY POT HOLING A MINIMUM OF 300 FEET AHEAD OF PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. IF A CONFLICT ARISES RESULTING FROM THE CONTRACTORS NEGLIGENCE TO POT HOLE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW PIPE DURING CONSTRUCTION.
- HANDICAP ACCESSIBILITY: ALL CONSTRUCTION SHALL MEET THE CURRENT ADA HANDICAP ACCESSIBILITY REQUIREMENTS AND STANDARDS. FOR ANY DISCREPANCIES BETWEEN THE PLANS AND CURRENT ADA STANDARD REQUIREMENTS, CURRENT ADA STANDARD REQUIREMENTS WILL GOVERN.
- 700 SOUTH IS CURRENTLY UNDER MORATORIUM. THE FULL WIDTH OF 700 SOUTH FROM STATION 2+90 TO 10+10 SHALL BE MILLED TO A DEPTH OF 2" AND REPLACED WITH NEW ASPHALT. ALL TRENCHES SHALL BE REPAIRED WITH IMPORT AND CAPPED WITH 12" OF BASE ON 4" OF ASPHALT. THE EXISTING ROAD HAS A N.R.S. MASTIC SEALER (ONYS) WHICH WILL ALSO NEED TO BE REPLACED ALONG WITH THE STRIPING. MILL TO BE INSTALLED UPON COMPLETION OF PHASE 2 ROAD IMPROVEMENTS IN 700 SOUTH STREET.
- SIDEWALKS SHALL BE 6" THICK THROUGH DRIVEWAYS.
- INSTALL SNAKEPIT PEDESTALS PER SYRACUSE CITY STANDARDS ON CULINARY AND SECONDARY WATER MAINS.
- INSTALL A 5 NON-CLIMBABLE FENCE FROM THE SOUTHEAST CORNER OF LOT 501 TO THE NORTHEAST CORNER OF LOT 519. THE DEVELOPER IS TO PROVIDE A LANDSCAPE CERTIFICATE FOR LOTS 501-502, 503 AND 519 TO ACCOMMODATE THE REQUIRED LANDSCAPE BUFFER ON SAID LOTS PER SYRACUSE CITY CODE 10.30.080.

**CITY ENGINEER ACCEPTANCE OF IMPROVEMENT PLANS**

THE IMPROVEMENT PLANS FOR THIS SUBDIVISION HAVE BEEN REVIEWED BY THE CITY ENGINEER FOR GENERAL CONFORMANCE WITH THE REQUIREMENTS OF THE CITY SUBDIVISION ORDINANCE. THIS SET OF CITY APPROVED DRAWINGS SHALL BE USED FOR CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS. THE DEVELOPERS ENGINEER, WHOSE STAMP IS ON THESE DRAWINGS, IS RESPONSIBLE FOR THE ENGINEERING DESIGN, DRAFTING AND RELATED FIELD INFORMATION. THE CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR: THE DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE; FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION; COORDINATION OF HIS OR HER WORK WITH THAT OF ALL OTHER TRADES; AND THE SATISFACTORY PERFORMANCE OF HIS OR HER WORK.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
CITY ENGINEER

**NOTICE TO CONTRACTOR**

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

**UTILITY DISCLAIMER**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**TRAFFIC CONTROL AND SAFETY NOTES**

- BARRICAADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT MANUAL IF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE CITY TRAFFIC ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
- TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

**ABBREVIATIONS**

|       |                                            |         |                                      |
|-------|--------------------------------------------|---------|--------------------------------------|
| APWA  | AMERICAN PUBLIC WORKS ASSOCIATION          | NO      | NUMBER                               |
| AR    | ACCESSIBLE ROUTE                           | OC      | ON CENTER                            |
| ASTM  | AMERICAN SOCIETY FOR TESTING AND MATERIALS | OCEW    | ON CENTER EACH WAY                   |
| AWWA  | AMERICAN WATER WORKS ASSOCIATION           | OHP     | OVERHEAD POWER                       |
| BOS   | BOTTOM OF STEP                             | PC      | POINT OF CURVATURE OR PRESSURE CLASS |
| BVC   | BEGIN VERTICAL CURVE                       | PCC     | POINT OF COMPOUND CURVATURE          |
| C     | CURVE                                      | PI      | POINT OF INTERSECTION                |
| CB    | CATCH BASIN                                | PIP     | PLASTIC IRRIGATION PIPE              |
| CF    | CURB FACE                                  | PIV     | POST INDICATOR VALVE                 |
| CO    | CLEAN OUT                                  | PRC     | POINT OF REVERSE CURVATURE           |
| COMM  | COMMUNICATION                              | PRO     | PROPOSED                             |
| CONC  | CONCRETE                                   | PT      | POINT OF TANGENCY                    |
| CONT  | CONTINUOUS                                 | PVC     | POINT OF VERTICAL CURVATURE          |
| DIA   | DIAMETER                                   | PVI     | POINT OF VERTICAL INTERSECTION       |
| DIP   | DUCTILE IRON PIPE                          | PVT     | POINT OF VERTICAL TANGENCY           |
| ELEC  | ELECTRICAL                                 | R       | RADIUS                               |
| ELEV  | ELEVATION                                  | RD      | ROOF DRAIN                           |
| EOA   | EDGE OF ASPHALT                            | ROW     | RIGHT OF WAY                         |
| EVC   | END OF VERTICAL CURVE                      | S       | SLOPE                                |
| EW    | EACH WAY                                   | SAN SWR | SANITARY SEWER                       |
| EXIST | EXISTING                                   | SD      | STORM DRAIN                          |
| FF    | FINISH FLOOR                               | SEC     | SECONDARY                            |
| FG    | FINISH GRADE                               | SS      | SANITARY SEWER                       |
| FH    | FIRE HYDRANT                               | STA     | STATION                              |
| FL    | FLOW LINE OR FLANGE                        | SW      | SIDEWALK                             |
| GB    | GRADE BREAK                                | SWL     | SECONDARY WATER LINE                 |
| GV    | GATE VALVE                                 | TBC     | TOP BACK OF CURB                     |
| HC    | HANDICAP                                   | TOG     | TOP OF GRADE                         |
| HP    | HIGH POINT                                 | TOA     | TOP OF ASPHALT                       |
| IRR   | IRRIGATION                                 | TOC     | TOP OF CONCRETE                      |
| K     | RATE OF VERTICAL CURVATURE                 | TOP     | TOP OF FOUNDATION                    |
| LD    | LAND DRAIN                                 | TOW     | TOP OF WALL                          |
| LF    | LINEAR FEET                                | TOS     | TOP OF STEP                          |
| LP    | LOW POINT                                  | TP      | TYPICAL                              |
| MH    | MANHOLE                                    | VC      | VERTICAL CURVE                       |
| MIN   | MINIMUM                                    | WIV     | WALL INDICATOR VALVE                 |
| MJ    | MECHANICAL JOINT                           | WL      | WATER LINE                           |
| NG    | NATURAL GROUND                             |         |                                      |

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

**LEGEND**

|  |                                     |  |                                       |
|--|-------------------------------------|--|---------------------------------------|
|  | SECTION CORNER                      |  | EXISTING TREE                         |
|  | EXISTING MONUMENT                   |  | DENSE VEGETATION                      |
|  | PROPOSED MONUMENT                   |  | EXISTING EDGE OF ASPHALT              |
|  | EXISTING REBAR AND CAP              |  | PROPOSED EDGE OF ASPHALT              |
|  | SET ENSIGN REBAR AND CAP            |  | EXISTING STRIPING                     |
|  | EXISTING WATER METER                |  | PROPOSED STRIPING                     |
|  | PROPOSED WATER METER                |  | EXISTING FENCE                        |
|  | EXISTING WATER MANHOLE              |  | PROPOSED FENCE                        |
|  | PROPOSED WATER MANHOLE              |  | EXISTING FLOW LINE                    |
|  | EXISTING WATER BOX                  |  | PROPOSED FLOW LINE                    |
|  | EXISTING WATER VALVE                |  | GRADE BREAK                           |
|  | PROPOSED WATER VALVE                |  | EXISTING STORM DRAIN LINE             |
|  | EXISTING FIRE HYDRANT               |  | PROPOSED STORM DRAIN LINE             |
|  | PROPOSED FIRE HYDRANT               |  | ROOF DRAIN LINE                       |
|  | PROPOSED FIRE DEPARTMENT CONNECTION |  | CATCHMENTS                            |
|  | EXISTING SECONDARY WATER VALVE      |  | HIGHWATER LINE                        |
|  | PROPOSED SECONDARY WATER VALVE      |  | EXISTING SANITARY SEWER               |
|  | EXISTING IRRIGATION BOX             |  | PROPOSED SAN. SWR. SERVICE LINE       |
|  | EXISTING IRRIGATION VALVE           |  | EXISTING LAND DRAIN LINE              |
|  | PROPOSED IRRIGATION VALVE           |  | PROPOSED LAND DRAIN SERVICE LINE      |
|  | EXISTING SANITARY SEWER MANHOLE     |  | EXISTING CULINARY WATER LINE          |
|  | PROPOSED SANITARY SEWER MANHOLE     |  | PROPOSED CULINARY WATER LINE          |
|  | EXISTING SANITARY CLEAN OUT         |  | EXISTING STORM DRAIN CLEAN OUT BOX    |
|  | EXISTING STORM DRAIN CLEAN OUT BOX  |  | PROPOSED STORM DRAIN CLEAN OUT BOX    |
|  | PROPOSED STORM DRAIN CLEAN OUT BOX  |  | EXISTING STORM DRAIN INLET BOX        |
|  | EXISTING STORM DRAIN CATCH BASIN    |  | PROPOSED STORM DRAIN CATCH BASIN      |
|  | PROPOSED STORM DRAIN CATCH BASIN    |  | EXISTING STORM DRAIN COMBO BOX        |
|  | EXISTING STORM DRAIN COMBO BOX      |  | PROPOSED STORM DRAIN COMBO BOX        |
|  | PROPOSED STORM DRAIN COMBO BOX      |  | EXISTING STORM DRAIN INLET PROTECTION |
|  | EXISTING STORM DRAIN CULVERT        |  | PROPOSED STORM DRAIN INLET PROTECTION |
|  | PROPOSED STORM DRAIN CULVERT        |  | EXISTING STORM DRAIN CULVERT          |
|  | TEMPORARY SAG INLET PROTECTION      |  | PROPOSED STORM DRAIN CULVERT          |
|  | TEMPORARY IN-LINE INLET PROTECTION  |  | EXISTING TELEPHONE LINE               |
|  | ROOF DRAIN                          |  | PROPOSED TELEPHONE LINE               |
|  | EXISTING ELECTRICAL MANHOLE         |  | ACCESSIBLE ROUTE                      |
|  | EXISTING ELECTRICAL BOX             |  | SAW CUT LINE                          |
|  | EXISTING TRANSFORMER                |  | STRAW WATTLE                          |
|  | EXISTING UTILITY POLE               |  | TEMPORARY BERM                        |
|  | EXISTING LIGHT                      |  | TEMPORARY SILT FENCE                  |
|  | PROPOSED LIGHT                      |  | LIMITS OF DISTURBANCE                 |
|  | EXISTING GAS METER                  |  | EXISTING WALL                         |
|  | EXISTING GAS MANHOLE                |  | EXISTING CONTOURS                     |
|  | EXISTING GAS VALVE                  |  | PROPOSED CONTOURS                     |
|  | EXISTING TELEPHONE MANHOLE          |  | BUILDABLE AREA WITHIN SETBACKS        |
|  | EXISTING TELEPHONE BOX              |  | PUBLIC DRAINAGE EASEMENT              |
|  | EXISTING TRAFFIC SIGNAL BOX         |  | EXISTING ASPHALT TO BE REMOVED        |
|  | EXISTING CABLE BOX                  |  | PROPOSED ASPHALT                      |
|  | EXISTING BOLLARD                    |  | EXISTING CURB AND GUTTER              |
|  | PROPOSED BOLLARD                    |  | PROPOSED CURB AND GUTTER              |
|  | EXISTING SIGN                       |  | PROPOSED REVERSE PAN CURB AND GUTTER  |
|  | PROPOSED SIGN                       |  | TRANSITION TO REVERSE PAN CURB        |
|  | EXISTING SPOT ELEVATION             |  | CONCRETE TO BE REMOVED                |
|  | PROPOSED SPOT ELEVATION             |  | EXISTING CONCRETE                     |
|  | EXISTING FLOW DIRECTION             |  | PROPOSED CONCRETE                     |
|  |                                     |  | BUILDING TO BE REMOVED                |
|  |                                     |  | EXISTING BUILDING                     |
|  |                                     |  | PROPOSED BUILDING                     |

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.



LAYTON  
1485 W. Hill Field Rd., Ste. 204  
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SALT LAKE CITY  
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TOOELE  
Phone: 435.843.3590

CEDAR CITY  
Phone: 435.865.1453

RICHFIELD  
Phone: 435.896.2983

COLORADO SPRINGS  
Phone: 719.476.0119

**WWW.ENSIGNENG.COM**

FOR:  
MSA MARK SANDBERG  
1682 WOODHAVEN DRIVE  
HENDERSON, NEVADA 89074

CONTACT:  
MARK SANDBERG  
PHONE: 702-205-4627  
FAX:

**TRAIL'S EDGE SUBDIVISION**  
**PHASE 5**  
**3200 WEST 700 SOUTH STREET**  
**SYRACUSE, UTAH**



| NO. | DATE   | REVISION   | BY  |
|-----|--------|------------|-----|
| 1   | 5-6-15 | FOR REVIEW | MTS |
| 2   |        |            |     |
| 3   |        |            |     |
| 4   |        |            |     |
| 5   |        |            |     |
| 6   |        |            |     |
| 7   |        |            |     |
| 8   |        |            |     |

**NOTES**

PROJECT NUMBER: L2138  
PRINT DATE: 7/9/15  
DRAWN BY: M.ELLMER  
CHECKED BY: M.STATEN  
PROJECT MANAGER: K.RUSSELL

**C-001**

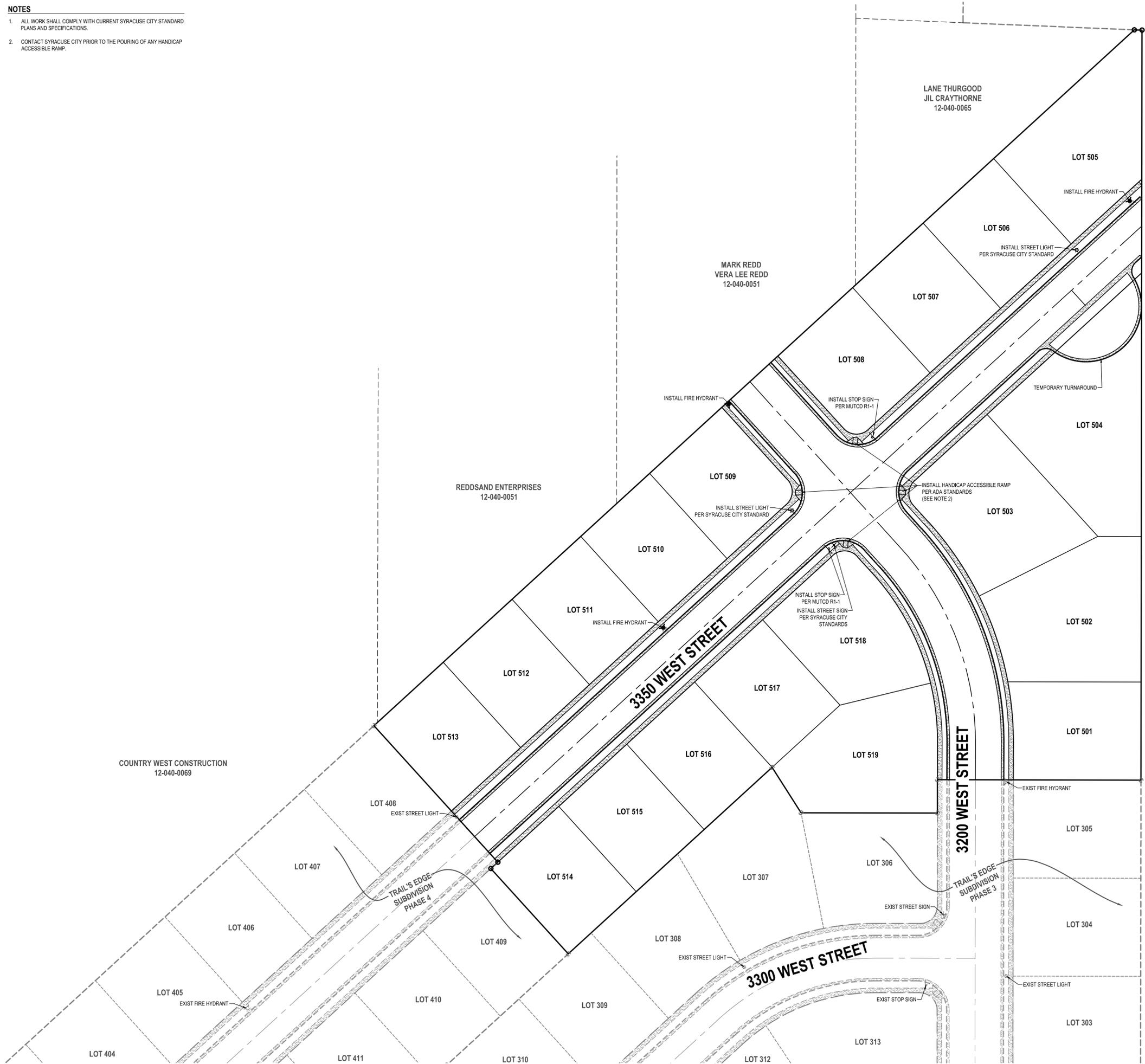
**811**  
Know what's below.  
Call before you dig.

CALL BLUESTAKES  
@ 911 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

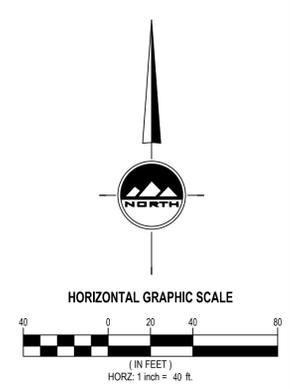
**BENCHMARK**

BENCHMARK IS THE SOUTH QUARTER  
CORNER OF SECTION 5, TOWNSHIP 4 NORTH,  
RANGE 2 WEST, SALT LAKE BASE & MERIDIAN  
ELEVATION = 4245.76

- NOTES**
1. ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
  2. CONTACT SYRACUSE CITY PRIOR TO THE POURING OF ANY HANDICAP ACCESSIBLE RAMP.



LDS CHURCH



**EN SIGN**  
THE STANDARD IN ENGINEERING

LAYTON  
1485 W. Hill Field Rd., Ste. 204  
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Phone: 801.547.1100

SALT LAKE CITY  
Phone: 801.255.0529

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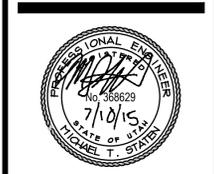
COLORADO SPRINGS  
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FAX:

**TRAIL'S EDGE SUBDIVISION  
PHASE 5  
3200 WEST 700 SOUTH STREET  
SYRACUSE, UTAH**



| NO. | DATE   | REVISION   | BY  |
|-----|--------|------------|-----|
| 1   | 5-8-15 | FOR REVIEW | MTS |
| 2   |        |            |     |
| 3   |        |            |     |
| 4   |        |            |     |
| 5   |        |            |     |
| 6   |        |            |     |
| 7   |        |            |     |
| 8   |        |            |     |

**SITE PLAN**

PROJECT NUMBER: L2138  
PRINT DATE: 7/13/15

DRAWN BY: MELMER  
CHECKED BY: M.STATEN

PROJECT MANAGER: K.RUSSELL

**C-100**

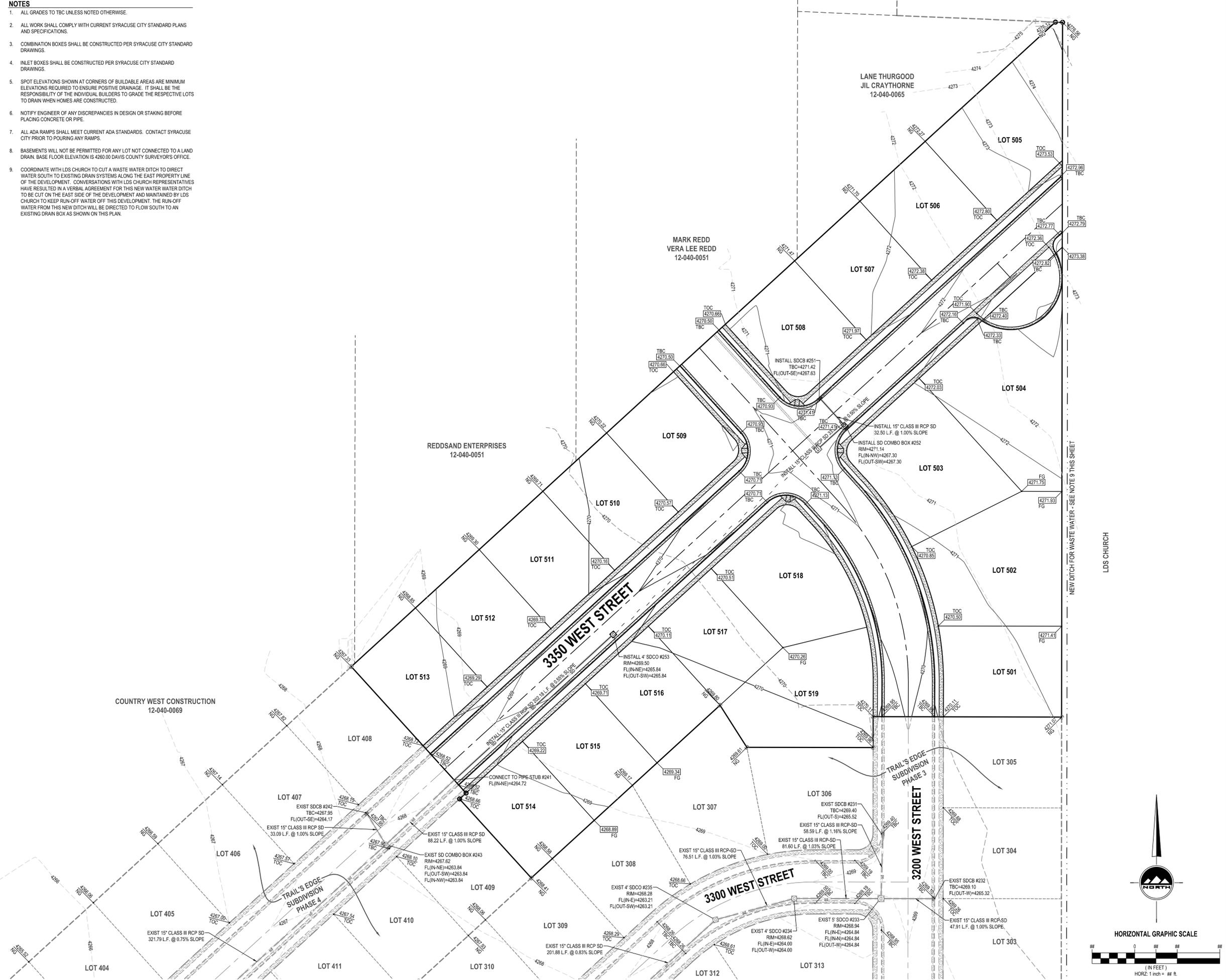
**811**  
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Call before you dig.

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@ 811 AT LEAST 48 HOURS  
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CONSTRUCTION.

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BENCHMARK IS THE SOUTH QUARTER  
CORNER OF SECTION 5, TOWNSHIP 4 NORTH,  
RANGE 2 WEST, SALT LAKE BASE & MERIDIAN  
ELEVATION = 4245.76

- NOTES**
1. ALL GRADES TO TBC UNLESS NOTED OTHERWISE.
  2. ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
  3. COMBINATION BOXES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD DRAWINGS.
  4. INLET BOXES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD DRAWINGS.
  5. SPOT ELEVATIONS SHOWN AT CORNERS OF BUILDABLE AREAS ARE MINIMUM ELEVATIONS REQUIRED TO ENSURE POSITIVE DRAINAGE. IT SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL BUILDERS TO GRADE THE RESPECTIVE LOTS TO DRAIN WHEN HOMES ARE CONSTRUCTED.
  6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR PIPE.
  7. ALL ADA RAMPS SHALL MEET CURRENT ADA STANDARDS. CONTACT SYRACUSE CITY PRIOR TO POURING ANY RAMPS.
  8. BASEMENTS WILL NOT BE PERMITTED FOR ANY LOT NOT CONNECTED TO A LAND DRAIN. BASE FLOOR ELEVATION IS 4286.00 DAVIS COUNTY SURVEYOR'S OFFICE.
  9. COORDINATE WITH LDS CHURCH TO CUT A WASTE WATER DITCH TO DIRECT WATER SOUTH TO EXISTING DRAIN SYSTEMS ALONG THE EAST PROPERTY LINE OF THE DEVELOPMENT. CONVERSATIONS WITH LDS CHURCH REPRESENTATIVES HAVE RESULTED IN A VERBAL AGREEMENT FOR THIS NEW WATER DITCH TO BE CUT ON THE EAST SIDE OF THE DEVELOPMENT AND MAINTAINED BY LDS CHURCH TO KEEP RUN-OFF WATER OFF THIS DEVELOPMENT. THE RUN-OFF WATER FROM THIS NEW DITCH WILL BE DIRECTED TO FLOW SOUTH TO AN EXISTING DRAIN BOX AS SHOWN ON THIS PLAN.



**PROFESSIONAL ENGINEER**  
No. 369629  
7/10/15  
STATE OF UTAH  
MICHAEL T. STATEN

NO. DATE REVISION BY  
1 5-15 FOR REVIEW MTS  
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**GRADING AND DRAINAGE PLAN**

PROJECT NUMBER: L2138 PRINT DATE: 7/13/15  
DRAWN BY: MELMER CHECKED BY: M.STATEN  
PROJECT MANAGER: KRUSSELL

**C-200**

HORIZONTAL GRAPHIC SCALE  
(IN FEET)  
HORZ: 1 inch = ## ft.

**EN SIGN**  
THE STANDARD IN ENGINEERING

LAYTON  
1485 W. Hill Field Rd., Ste. 204  
Layton, UT 84041  
Phone: 801.547.1100

SALT LAKE CITY  
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TOOELE  
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FOR:  
MSA MARK SANDBERG  
1882 WOODHAVEN DRIVE  
HENDERSON, NEVADA 89074

CONTACT:  
MARK SANDBERG  
PHONE: 702-205-4627  
FAX:

**TRAIL'S EDGE SUBDIVISION  
PHASE 5  
3200 WEST 700 SOUTH STREET  
SYRACUSE, UTAH**

**811**  
Know what's below.  
Call before you dig.

CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

**BENCHMARK**

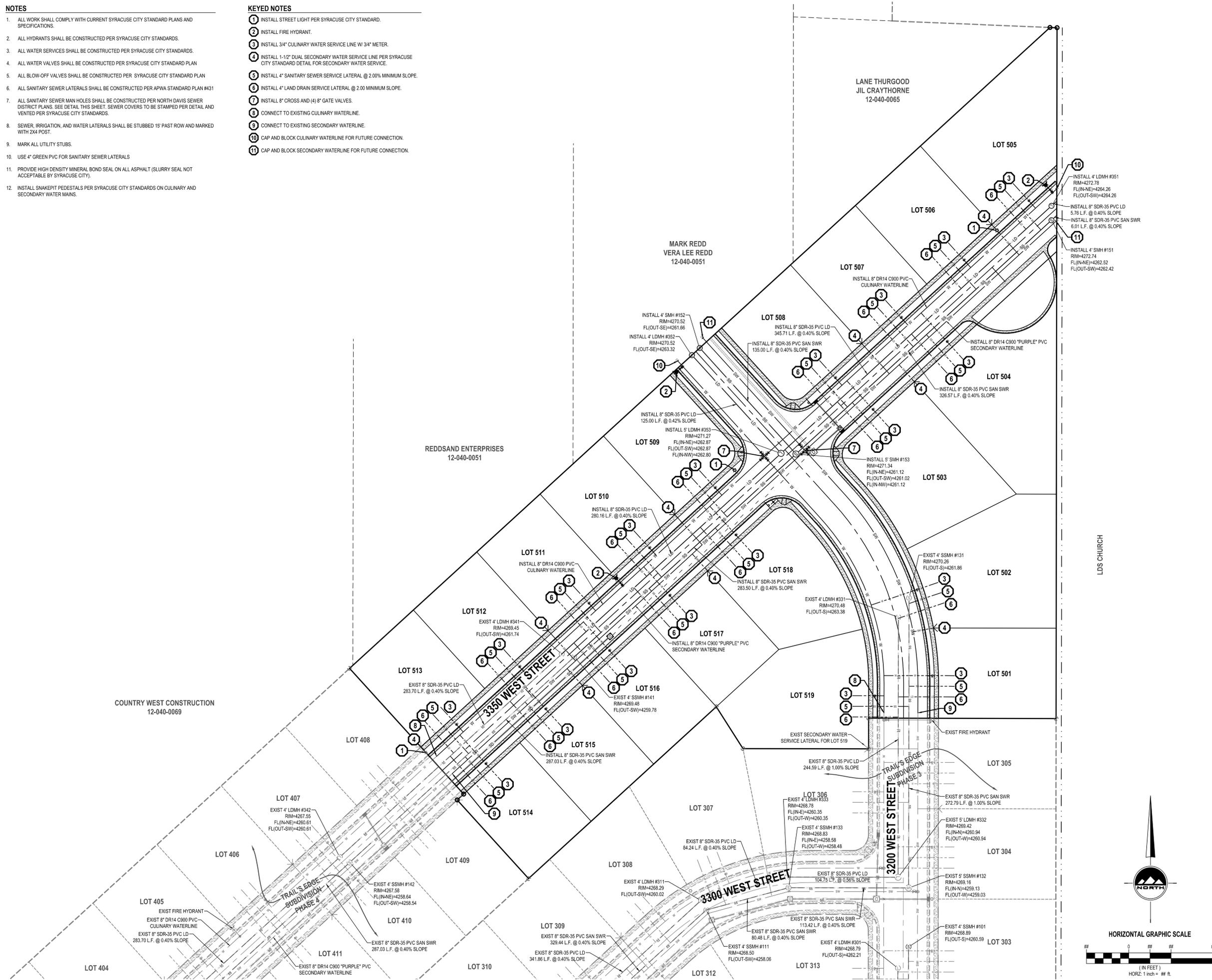
BENCHMARK IS THE SOUTH QUARTER  
CORNER OF SECTION 5, TOWNSHIP 4 NORTH,  
RANGE 2 WEST, SALT LAKE BASE & MERIDIAN  
ELEVATION = 4245.76

**NOTES**

1. ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
2. ALL HYDRANTS SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARDS.
3. ALL WATER SERVICES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARDS.
4. ALL WATER VALVES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD PLAN
5. ALL BLOW-OFF VALVES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD PLAN
6. ALL SANITARY SEWER LATERALS SHALL BE CONSTRUCTED PER APWA STANDARD PLAN #431
7. ALL SANITARY SEWER MAN HOLES SHALL BE CONSTRUCTED PER NORTH DAVIS SEWER DISTRICT PLANS. SEE DETAIL THIS SHEET. SEWER COVERS TO BE STAMPED PER DETAIL AND VENTED PER SYRACUSE CITY STANDARDS.
8. SEWER, IRRIGATION, AND WATER LATERALS SHALL BE STUBBED 15' PAST ROW AND MARKED WITH 2X4 POST.
9. MARK ALL UTILITY STUBS.
10. USE 4" GREEN PVC FOR SANITARY SEWER LATERALS
11. PROVIDE HIGH DENSITY MINERAL BOND SEAL ON ALL ASPHALT (SLURRY SEAL NOT ACCEPTABLE BY SYRACUSE CITY).
12. INSTALL SNAKEPIPT PEDESTALS PER SYRACUSE CITY STANDARDS ON CULINARY AND SECONDARY WATER MAINS.

**KEYED NOTES**

1. INSTALL STREET LIGHT PER SYRACUSE CITY STANDARD.
2. INSTALL FIRE HYDRANT.
3. INSTALL 3/4" CULINARY WATER SERVICE LINE W/ 3/4" METER.
4. INSTALL 1-1/2" DUAL SECONDARY WATER SERVICE LINE PER SYRACUSE CITY STANDARD DETAIL FOR SECONDARY WATER SERVICE.
5. INSTALL 4" SANITARY SEWER SERVICE LATERAL @ 2.00% MINIMUM SLOPE.
6. INSTALL 4" LAND DRAIN SERVICE LATERAL @ 2.00 MINIMUM SLOPE.
7. INSTALL 8" CROSS AND (4) 8" GATE VALVES.
8. CONNECT TO EXISTING CULINARY WATERLINE.
9. CONNECT TO EXISTING SECONDARY WATERLINE.
10. CAP AND BLOCK CULINARY WATERLINE FOR FUTURE CONNECTION.
11. CAP AND BLOCK SECONDARY WATERLINE FOR FUTURE CONNECTION.



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| NO. | DATE | REVISION   | BY  |
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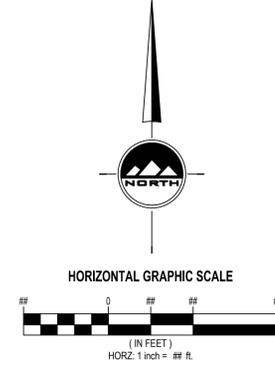
**UTILITY PLAN**

PROJECT NUMBER: L2138  
PRINT DATE: 7/13/15

DRAWN BY: M.ELMER  
CHECKED BY: M.STATON

PROJECT MANAGER: K.RUSSELL

**C-300**





CALL BLUESTAKES  
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**BENCHMARK**

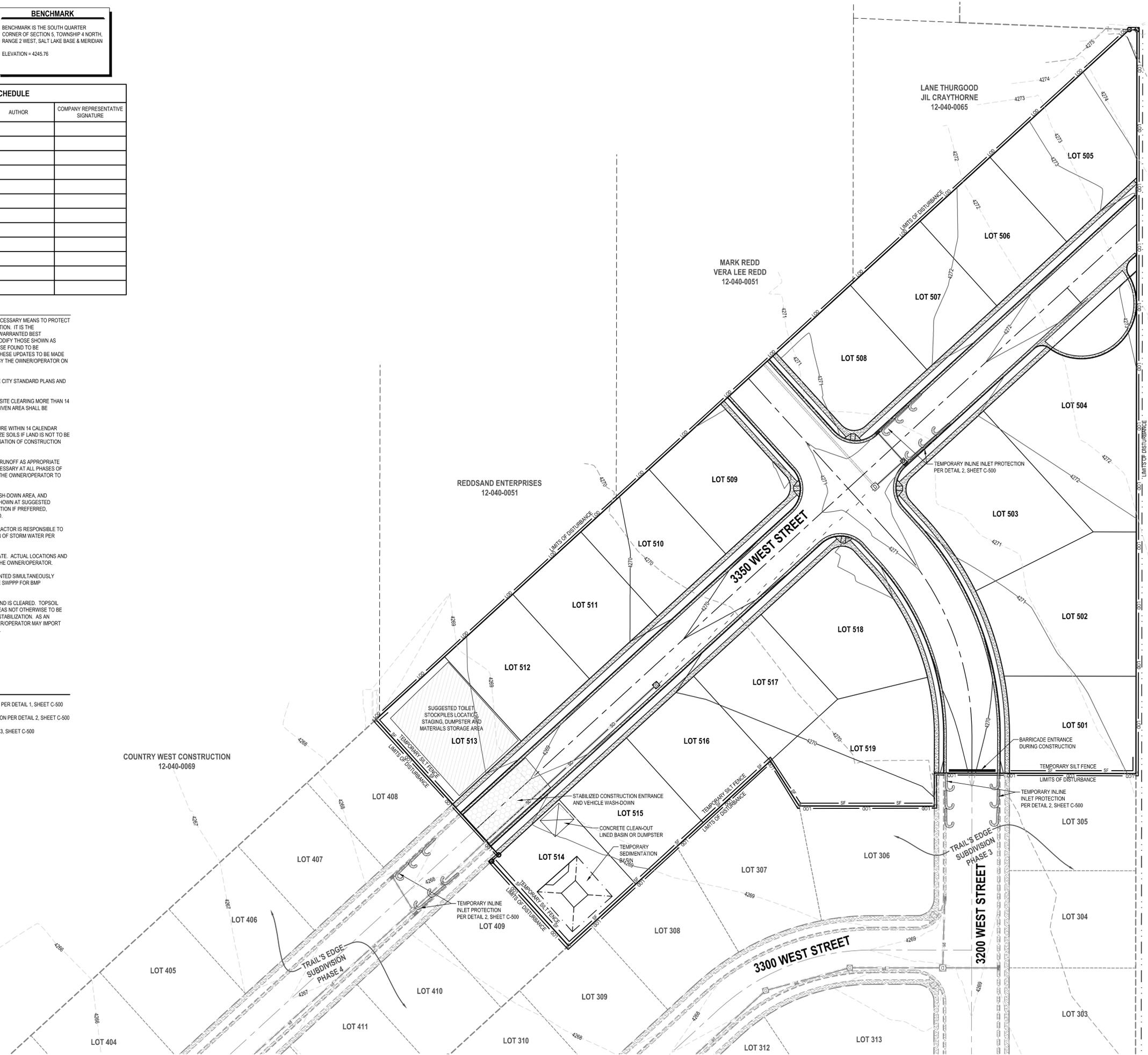
BENCHMARK IS THE SOUTH QUARTER  
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ELEVATION = 4245.76

| REVISION SCHEDULE |      |        |                                  |
|-------------------|------|--------|----------------------------------|
| NUMBER            | DATE | AUTHOR | COMPANY REPRESENTATIVE SIGNATURE |
| 1                 |      |        |                                  |
| 2                 |      |        |                                  |
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| 11                |      |        |                                  |
| 12                |      |        |                                  |

- NOTES**
1. THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMPs) AS NECESSARY. MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
  2. ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
  3. DISTURBED LAND SHALL BE KEPT TO A MINIMUM - NO SITE CLEARING MORE THAN 14 CALENDAR DAYS AHEAD OF CONSTRUCTION IN ANY GIVEN AREA SHALL BE ALLOWED.
  4. RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
  5. DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION - NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES.
  6. STABILIZED CONSTRUCTION ENTRANCE, VEHICLE WASH-DOWN AREA, AND SEDIMENTATION AND CLEANOUT BASIN HAVE BEEN SHOWN AT SUGGESTED LOCATION. CONTRACTOR MAY MOVE TO OTHER LOCATION IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
  7. NOT ALL POSSIBLE BMPs HAVE BEEN SHOWN. CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT POLLUTION OF STORM WATER PER PROJECT SWPPP.
  8. PLAN LOCATIONS SHOWN FOR BMPs ARE APPROXIMATE. ACTUAL LOCATIONS AND CONFIGURATIONS SHALL BE FIELD-DETERMINED BY THE OWNER/OPERATOR.
  9. NOT ALL BMPs SHOWN CAN OR SHOULD BE IMPLEMENTED SIMULTANEOUSLY AND/OR FOR THE DURATION OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
  10. EXISTING TOPSOIL IS TO BE HARVESTED WHEN GROUND IS CLEARED. TOPSOIL SHALL THEN BE STOCKPILED ON-SITE FOR USE IN AREAS NOT OTHERWISE TO BE LANDSCAPED, TO ACCELERATE REVEGETATION AND STABILIZATION. AS AN ALTERNATE TO STOCKPILING TOPSOIL ONSITE, OWNER/OPERATOR MAY IMPORT TOPSOIL TO AREAS TO BE STABILIZED FROM OFFSITE.

**LEGEND**

-  TEMPORARY SAG INLET PROTECTION PER DETAIL 1, SHEET C-500
-  TEMPORARY IN-LINE INLET PROTECTION PER DETAIL 2, SHEET C-500
-  SF TEMPORARY SILT FENCE PER DETAIL 3, SHEET C-500
-  PROPOSED CONCRETE
-  EXISTING CONCRETE
-  LOD LIMITS OF DISTURBANCE
-  GRADE BREAK
-  EXISTING 5' CONTOUR
-  EXISTING 1' CONTOUR
-  PROPOSED 5' CONTOUR
-  PROPOSED 1' CONTOUR





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FOR:  
MSA MARK SANDBERG  
1882 WOODHAVEN DRIVE  
HENDERSON, NEVADA 89074

CONTACT:  
MARK SANDBERG  
PHONE: 702-205-4627  
FAX:

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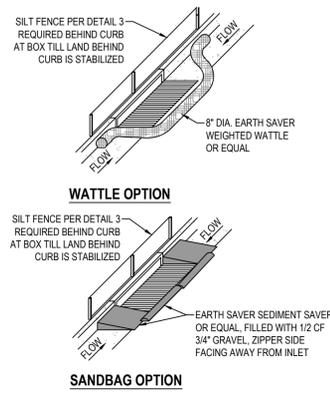


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**EROSION CONTROL  
PLAN**

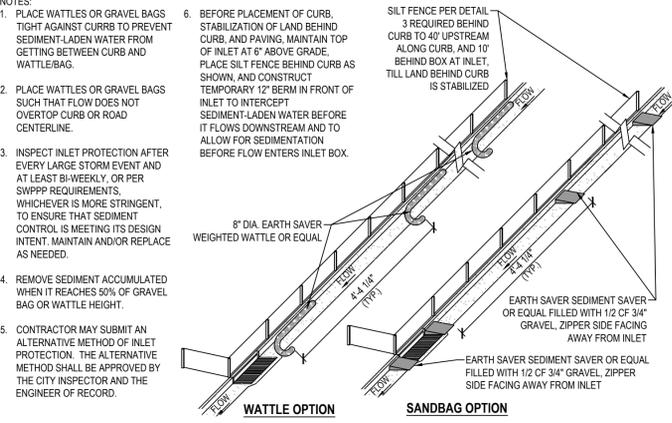
PROJECT NUMBER: L2138      PRINT DATE: 7/13/15  
DRAWN BY: MELMER      CHECKED BY: M.STATEN  
PROJECT MANAGER: KRUSSELL

C-400



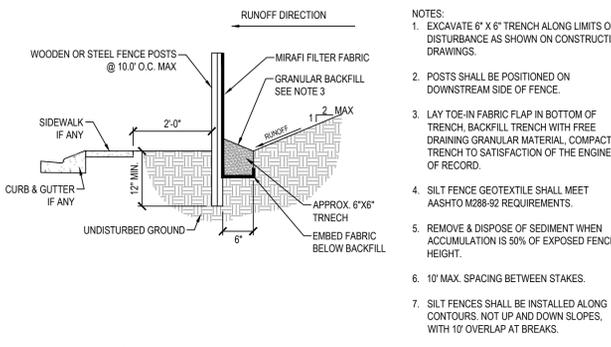
- NOTES:
1. PLACE WATTLES OR GRAVEL BAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT-LADEN WATER FROM GETTING BETWEEN CURB AND WATTLEBAG.
  2. PLACE WATTLES OR GRAVEL BAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE.
  3. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BI-WEEKLY, OR PER SWPPP REQUIREMENTS, WHICHEVER IS MORE STRINGENT, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED.
  4. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 50% OF GRAVEL BAG OR WATTLE HEIGHT.
  5. CONTRACTOR MAY SUBMIT AN ALTERNATIVE METHOD OF INLET PROTECTION. THE ALTERNATIVE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE ENGINEER OF RECORD.
  6. BEFORE PLACEMENT OF CURB, STABILIZATION OF LAND BEHIND CURB, AND/OR PAVING, MAINTAIN TOP OF INLET AT 6" ABOVE GRADE, AND SURROUND WITH SILT FENCE FOR SEDIMENTATION AROUND BOX. MAINTAIN SILT FENCE BEHIND BOX UNTIL LAND BEHIND CURB IS STABILIZED.

1 SAG INLET PROTECTION SCALE: NONE



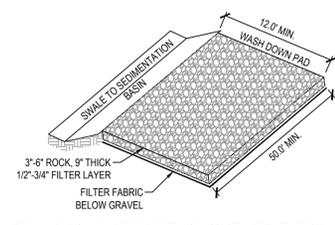
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2 IN-LINE INLET PROTECTION SCALE: NONE



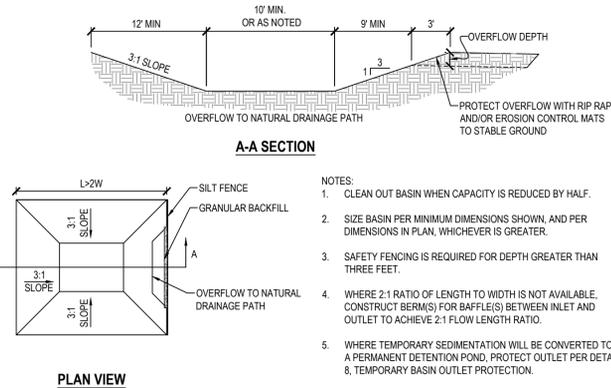
- NOTES:
1. EXCAVATE 6" X 6" TRENCH ALONG LIMITS OF DISTURBANCE AS SHOWN ON CONSTRUCTION DRAWINGS.
  2. POSTS SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
  3. LAY TOE-IN FABRIC FLAP IN BOTTOM OF TRENCH, BACKFILL TRENCH WITH FREE DRAINING GRANULAR MATERIAL, COMPACT TRENCH TO SATISFACTION OF THE ENGINEER OF RECORD.
  4. SILT FENCE GEOTEXTILE SHALL MEET AASHTO M288-92 REQUIREMENTS.
  5. REMOVE & DISPOSE OF SEDIMENT WHEN ACCUMULATION IS 50% OF EXPOSED FENCE HEIGHT.
  6. 10' MAX. SPACING BETWEEN STAKES.
  7. SILT FENCES SHALL BE INSTALLED ALONG CONTOURS, NOT UP AND DOWN SLOPES, WITH 10' OVERLAP AT BREAKS.

3 TEMPORARY SILT FENCE SCALE: NONE



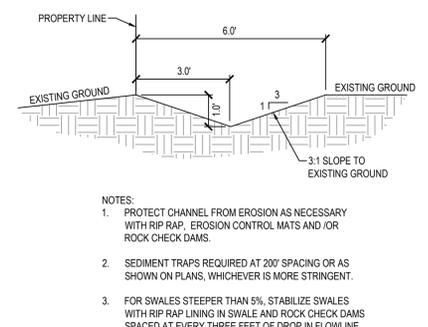
NOTE: PLACE SIGN ADJACENT TO ENTRANCE \* CONSTRUCTION TRAFFIC ONLY - ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT SITE AT THIS LOCATION\*

4 TEMPORARY VEHICLE WASHDOWN & STABILIZED CONSTRUCTION ENTRANCE SCALE: NONE

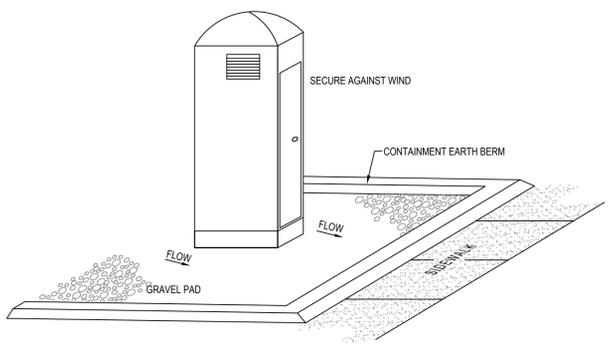


- NOTES:
1. CLEAN OUT BASIN WHEN CAPACITY IS REDUCED BY HALF.
  2. SIZE BASIN PER MINIMUM DIMENSIONS SHOWN, AND PER DIMENSIONS IN PLAN, WHICHEVER IS GREATER.
  3. SAFETY FENCING IS REQUIRED FOR DEPTH GREATER THAN THREE FEET.
  4. WHERE 2:1 RATIO OF LENGTH TO WIDTH IS NOT AVAILABLE, CONSTRUCT BERM(S) FOR BAFFLE(S) BETWEEN INLET AND OUTLET TO ACHIEVE 2:1 FLOW LENGTH RATIO.
  5. WHERE TEMPORARY SEDIMENTATION WILL BE CONVERTED TO A PERMANENT DETENTION POND, PROTECT OUTLET PER DETAIL 8, TEMPORARY BASIN OUTLET PROTECTION.

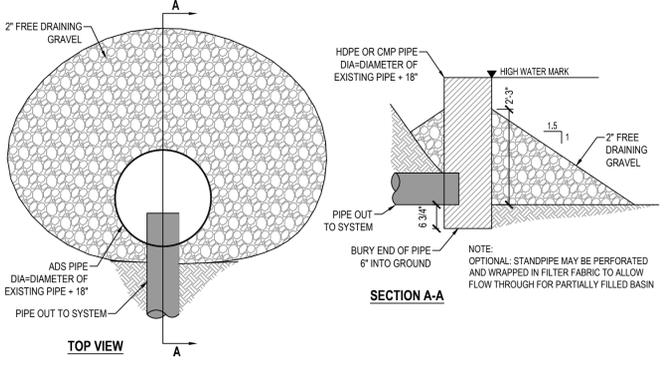
5 TEMPORARY SEDIMENTATION BASIN SCALE: NONE



6 DRAINAGE SWALE SCALE: NONE



7 PORTABLE TOILET SCALE: NONE



8 TEMPORARY BASIN OUTLET PROTECTION SCALE: NONE



THE STANDARD IN ENGINEERING

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DETAILS

PROJECT NUMBER: L2138  
PRINT DATE: 7/10/15  
DRAWN BY: M.ELMER  
CHECKED BY: M.STATEN  
PROJECT MANAGER: K.RUSSELL

C-500



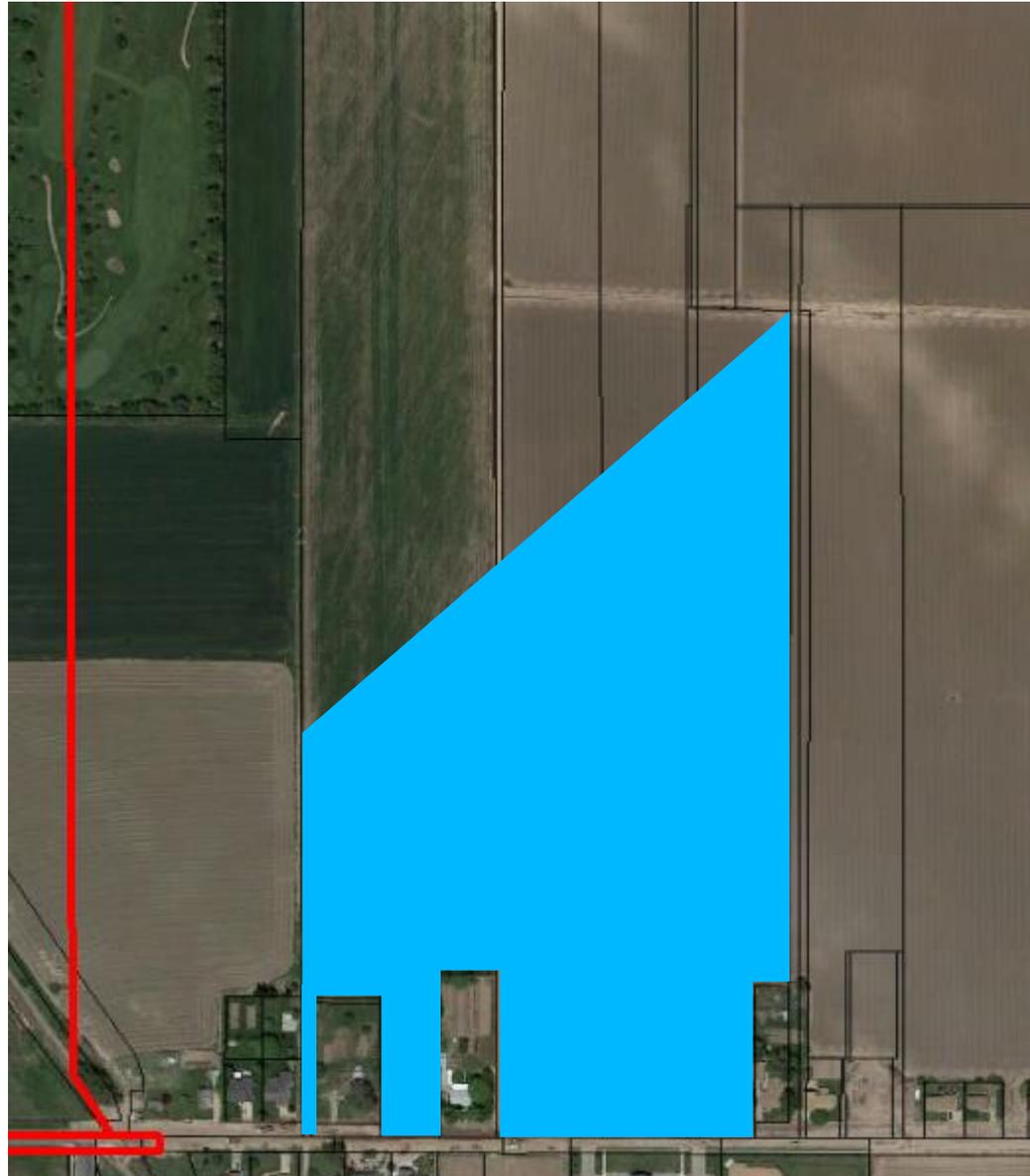






# Aerial

## Mark Sandberg 3250 W. 700 S.





# CITY COUNCIL AGENDA

July 28, 2015

## Agenda Item #9

### Factual Summation

|                         |                          |
|-------------------------|--------------------------|
| Development:            | Tivoli Gardens Phase 2   |
| Location:               | 1000 W 1900 S            |
| Zone:                   | R-3 Residential          |
| Applicant:              | Wright Development Group |
| Acreage                 | 9.53                     |
| Net Developable Acreage | 7.624                    |
| Allowed lots            | 41                       |
| Proposed lots           | 34                       |

## Final Subdivision Plan

### Public Meeting Outline

|                           |               |
|---------------------------|---------------|
| General Plan Approval     |               |
| Planning Commission       | March 4, 2014 |
| City Council              | May 10, 2014  |
| Rezone Approval           |               |
| Planning Commission       | April 1, 2014 |
| City Council              | April 8, 2014 |
| Sketch Plan Approval      | April 1, 2014 |
| Preliminary Plan Approval | May 6, 2014   |
| Final Plan Approval PC    | July 21, 2015 |

### Attachments

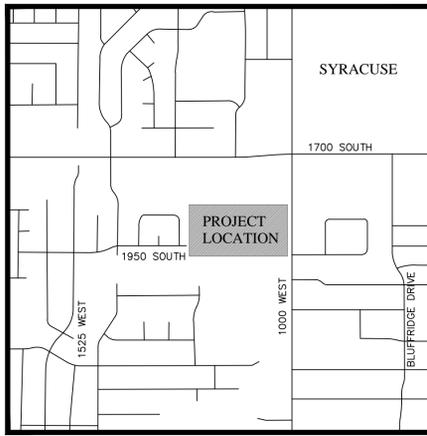
- Aerial
- Final Plan
- Staff Reviews

### Planning Commission Recommendation

The Planning Commission moved to recommend approval of the Tivoli Gardens Phase 2 Final Plan request from Wright Development Group and Associates, located at approximately 1000 W 1900 S, R-3 Residential Zone, subject to all applicable requirements of the City's municipal codes with a unanimous vote on July 21, 2017.

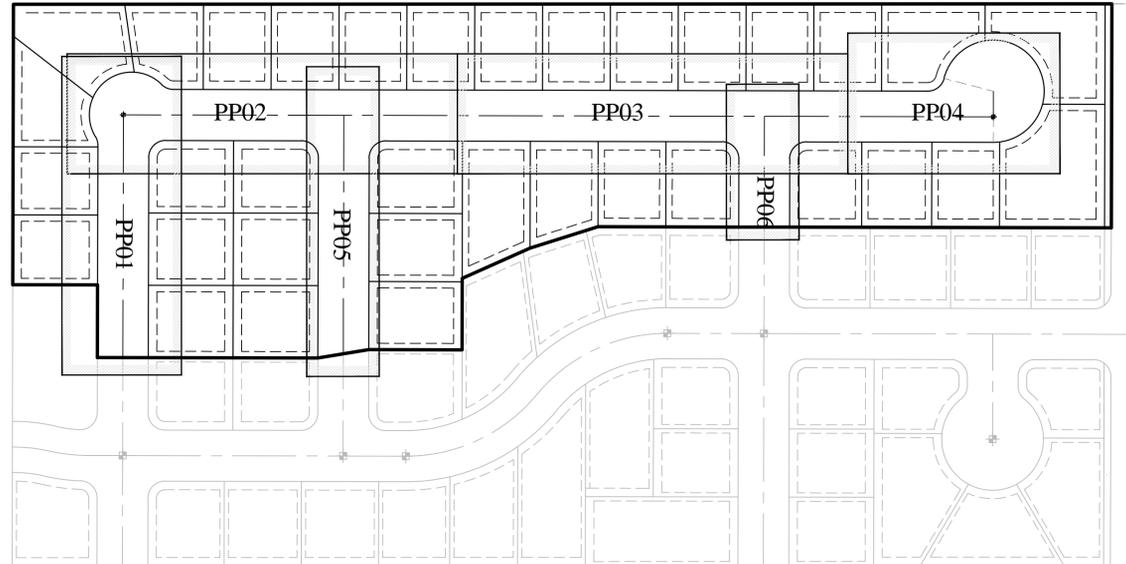
# TIVOLI GARDENS PHASE 2

PREPARED FOR:  
**WRIGHT DEVELOPMENT GROUP, INC.**  
 LOCATED IN:  
**SYRACUSE CITY, DAVIS COUNTY, UTAH**



VICINITY MAP  
 N.T.S.

| Sheet List Table |                             |
|------------------|-----------------------------|
| Sheet Number     | Sheet Title                 |
| C01              | COVERSHEET                  |
| C02              | FINAL PLAT                  |
| C03              | SITE AND UTILITY PLAN       |
| C04              | DRAINAGE MASTER PLAN        |
| C05              | GRADING AND DRAINAGE PLAN   |
| C06              | EROSION CONTROL PLAN        |
| PP01             | 1950 WEST PLAN AND PROFILE  |
| PP02             | 1875 SOUTH PLAN AND PROFILE |
| PP03             | 1875 SOUTH PLAN AND PROFILE |
| PP04             | 1875 SOUTH PLAN AND PROFILE |
| PP05             | 1200 WEST PLAN AND PROFILE  |
| PP06             | 1100 WEST PLAN AND PROFILE  |



## SITE MAP

### GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO APWA STANDARD PLANS AND SYRACUSE CITY STANDARDS AND SPECIFICATIONS
- ALL SANITARY SEWER CONSTRUCTION SHALL ADHERE TO NORTH DAVIS SEWER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.

### NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

### ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANTY THE ACCURACY OF SUCH LINWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

### CONTACTS

**ENGINEER & SURVEYOR**  
 FOCUS ENGINEERING & SURVEYING  
 502 WEST 8360 SOUTH  
 SANDY, UTAH 84070  
 (801) 352-0075  
 CONTACT: GREG DAY

**OWNER/DEVELOPER**  
 WRIGHT DEVELOPMENT GROUP, INC.  
 1572 NORTH WOODLAND PARK DRIVE, SUITE 505  
 LAYTON, UTAH 84041  
 (801) 773-7339  
 CONTACT: SPENCER WRIGHT

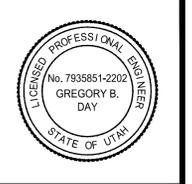


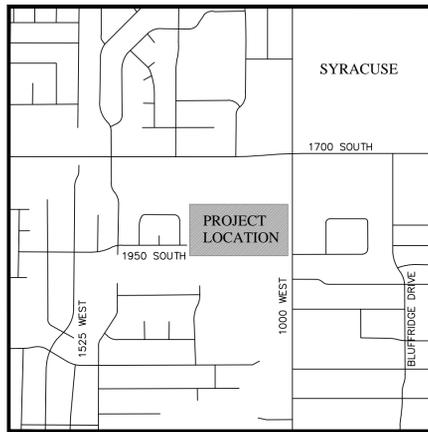
**TIVOLI GARDENS PHASE 2**  
 SYRACUSE CITY, DAVIS COUNTY, UTAH  
**COVERSHEET**

| REVISION BLOCK |             |
|----------------|-------------|
| #              | DESCRIPTION |
| 1              |             |
| 2              |             |
| 3              |             |
| 4              |             |
| 5              |             |
| 6              |             |

|                |               |
|----------------|---------------|
| COVERSHEET     |               |
| Scale: --      | Drawn: DRP    |
| Date: 12/04/14 | Job #: 14-033 |
| Sheet: C01     |               |

**FOCUS**  
 ENGINEERING AND SURVEYING, LLC  
 502 WEST 8360 SOUTH  
 SANDY, UTAH 84070 PH: (801) 352-0075  
 www.focusutah.com





VICINITY MAP  
N.T.S.

NOTES:

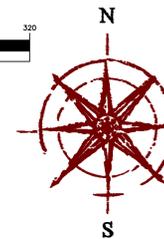
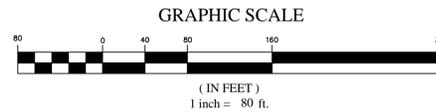
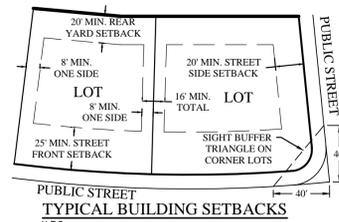
- #5 REBAR & CAP (FOCUS ENG) TO BE SET AT ALL LOT CORNERS. LEAD PLUGS TO BE SET IN THE TOP BACK OF CURB AT THE EXTENSION OF THE SIDE LOT LINES.
- BASIS OF BEARING FOR THIS SURVEY IS N0°07'16"E ALONG THE 1/4 SECTION LINE FROM THE CENTER 1/4 CORNER OF THE CALCULATED POSITION OF THE NORTH 1/4 CORNER OF SECTION 15, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN. PLEASE REFER TO A BOUNDARY TOPOGRAPHICAL SURVEY PREPARED BY THIS OFFICE AND FILED WITH THE DAVIS COUNTY SURVEYOR'S OFFICE FOR ADDITIONAL INFORMATION REGARDING THE BOUNDARY, CONTROLLING MONUMENTS, ETC.
- PARCEL "A" IS DESIGNATED AS COMMON AREA AND IS TO BE MAINTAINED BY THE HOA.

# TIVOLI GARDENS PHASE 2

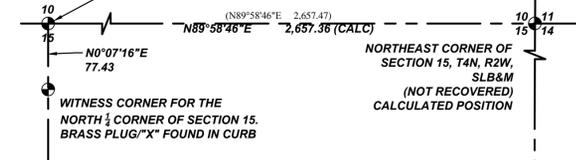
A PORTION OF THE NE 1/4 OF SECTION 15, T4N, R2W, SLB&M  
SYRACUSE, DAVIS COUNTY, UTAH

| Curve Table |        |            |        |                 |              |
|-------------|--------|------------|--------|-----------------|--------------|
| CURVE       | RADIUS | DELTA      | LENGTH | CHORD DIRECTION | CHORD LENGTH |
| C1          | 20.00  | 90°00'00"  | 31.42  | S45°07'52"W     | 28.28        |
| C2          | 20.00  | 90°00'00"  | 31.42  | N44°52'08"W     | 28.28        |
| C3          | 20.00  | 90°00'00"  | 31.42  | S45°07'52"W     | 28.28        |
| C4          | 20.00  | 90°00'00"  | 31.42  | N44°52'08"W     | 28.28        |
| C5          | 20.00  | 90°00'00"  | 31.42  | S45°07'52"W     | 28.28        |
| C6          | 60.00  | 255°31'21" | 267.58 | N37°37'48"W     | 94.87        |
| C7          | 20.00  | 75°31'21"  | 26.36  | N52°22'12"E     | 24.49        |
| C8          | 20.00  | 44°24'55"  | 15.50  | S67°39'40"E     | 15.12        |
| C9          | 50.00  | 165°25'05" | 144.35 | S51°50'15"W     | 99.19        |
| C10         | 20.00  | 31°00'10"  | 10.82  | N15°22'13"W     | 10.69        |
| C11         | 60.00  | 7°13'44"   | 7.57   | S86°31'00"W     | 7.57         |
| C12         | 60.00  | 68°17'37"  | 71.52  | S48°45'19"W     | 67.36        |
| C13         | 60.00  | 114°04'18" | 119.46 | S42°25'38"E     | 100.68       |
| C14         | 60.00  | 65°55'42"  | 69.04  | N47°34'22"E     | 65.29        |
| C15         | 50.00  | 41°18'15"  | 36.04  | S66°06'20"E     | 35.27        |
| C16         | 50.00  | 69°41'01"  | 60.81  | N58°24'01"E     | 57.13        |
| C17         | 50.00  | 54°25'49"  | 47.50  | N3°39'24"W      | 45.73        |

| Line Table |             |        |
|------------|-------------|--------|
| LINE       | DIRECTION   | LENGTH |
| L1         | N75°23'29"W | 60.00  |
| L2         | N0°07'52"E  | 30.00  |
| L3         | S89°52'08"W | 30.00  |
| L4         | N80°40'08"E | 30.41  |
| L5         | S89°59'20"E | 30.00  |



NORTH 1/4 CORNER OF SECTION 15, T4N, R2W, SLB&M (NOT RECOVERED) CALCULATED POSITION



LEGEND

- SECTION MONUMENT
- EXISTING STREET MONUMENT
- STREET MONUMENT TO BE SET



**CENTURY LINK**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015, BY CENTURY LINK  
BY \_\_\_\_\_  
TITLE \_\_\_\_\_

**QUESTAR GAS**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015, BY QUESTAR GAS COMPANY  
BY \_\_\_\_\_  
TITLE \_\_\_\_\_



**ROCKY MOUNTAIN POWER**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015, BY ROCKY MOUNTAIN POWER  
BY \_\_\_\_\_  
TITLE \_\_\_\_\_

**PLANNING COMMISSION**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015, BY THE SYRACUSE CITY PLANNING COMMISSION.  
CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_

**CITY ENGINEER**  
APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 2015.  
SYRACUSE CITY ENGINEER \_\_\_\_\_

**CITY ATTORNEY**  
APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 2015.  
SYRACUSE CITY ATTORNEY \_\_\_\_\_

**CITY COUNCIL**  
PRESENTED TO THE SYRACUSE CITY COUNCIL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015. AT WHICH ACCEPTED.  
MAYOR \_\_\_\_\_  
ATTEST \_\_\_\_\_  
CITY RECORDER

| PHASE INFORMATION |            |                      |              |
|-------------------|------------|----------------------|--------------|
| ZONE              | TOTAL AREA | NET DEVELOPABLE AREA | PHASE 2 LOTS |
| R-3               | 9.53 ACRES | 7.15 ACRES           | 34           |

**RECORDED #**  
STATE OF UTAH, COUNTY OF DAVIS  
RECORDED AND FILED AT THE REQUEST OF \_\_\_\_\_  
DATE \_\_\_\_\_ TIME \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
FEE \$ \_\_\_\_\_ COUNTY RECORDER \_\_\_\_\_

SURVEYOR'S CERTIFICATE

I, Dennis P. Carlisle, do hereby certify that I am a Professional Land Surveyor, and that I hold Certificate No. 172675 in accordance with Title 58, Chapter 22 of Utah State Code. I further certify by authority of the owners(s) that I have completed a Survey of the property described on this Plat in accordance with Section 17-23-17 of said Code, and have subdivided said tract of land into lots, blocks, streets, and easements, and the same has, or will be correctly surveyed, staked and monumented on the ground as shown on this Plat, and that this Plat is true and correct.

Dennis P. Carlisle \_\_\_\_\_ Date \_\_\_\_\_  
Professional Land Surveyor  
Certificate No. 172675

BOUNDARY DESCRIPTION

A portion of the NE 1/4 of Section 15, Township 4 North, Range 2 West, Salt Lake Base & Meridian, located in Syracuse, Utah, more particularly described as follows:  
Beginning at a point located S0°08'46"W along the Section line 659.54 feet and S89°58'36"W 33.00 feet from the Northeast Corner of Section 15, T4N, R2W, S.L.B. & M.; thence S0°08'46"W 263.00 feet; thence N89°52'08"W 379.39 feet; thence S89°59'20"W 60.00 feet; thence N89°49'03"W 166.00 feet; thence S72°34'08"W 83.91 feet; thence S66°04'41"W 87.61 feet; thence S0°07'52"E 83.97 feet; thence N89°52'08"W 110.00 feet; thence S89°52'08"W 60.83 feet; thence N89°52'08"W 260.00 feet; thence N0°07'52"E 85.28 feet; thence N89°52'08"W 100.00 feet to the westerly line of ANTELOPE RUN Subdivision, according to the Official Plat thereof on file in the Office of the Davis County Recorder; thence N0°07'52"E along said Plat 329.23 feet to the south line of to the south line of DESERTSCAPE Subdivision (Amended), according to the Official Plat thereof on file in the Office of the Davis County Recorder; thence N89°58'36"E along said Plat and extension thereof 1,295.47 feet to the point of beginning.  
Contains: 9.53 +/- acres

OWNER'S DEDICATION

WE, THE UNDERSIGNED OWNERS OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THIS PLAT, AND NAME SAID TRACT

TIVOLI GARDENS  
PHASE 2

AND DO HEREBY DEDICATE, GRANT AND CONVEY TO SYRACUSE CITY, DAVIS COUNTY, UTAH, ALL THOSE PARTS AND PORTIONS OF SAID TRACTS OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER, AND DEDICATE TO THE HOME OWNERS ASSOCIATION (HOA) PARCEL "A" TO BE USED AS COMMON AREA AND PUBLIC UTILITY EASEMENT, ALSO THOSE CERTAIN STRIPS AS EASEMENTS FOR PUBLIC UTILITY AND DRAINAGE PURPOSES AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE AS MAY BE AUTHORIZED BY SYRACUSE CITY.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015

LIMITED LIABILITY ACKNOWLEDGMENT

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 2015 PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF DAVIS, IN SAID STATE OF UTAH, \_\_\_\_\_ WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE/SHE IS THE \_\_\_\_\_ OF \_\_\_\_\_ AND THAT HE/SHE SIGNED THE OWNER'S DEDICATION FOR THE PURPOSES THEREIN MENTIONED AND THAT SAID L.L.C. EXECUTED THE SAME.

NOTARY PUBLIC  
RESIDING IN DAVIS COUNTY



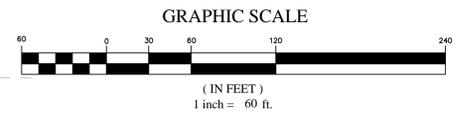
**TIVOLI GARDENS PHASE 2**  
 SYRACUSE CITY, DAVIS COUNTY, UTAH  
 SITE AND UTILITY PLAN

| REVISION BLOCK |             |
|----------------|-------------|
| #              | DESCRIPTION |
| 1              |             |
| 2              |             |
| 3              |             |
| 4              |             |
| 5              |             |
| 6              |             |

**SITE AND UTILITY PLAN**

Scale: 1"=60'  
 Date: 12/04/14  
 Sheet: C03

Drawn: DRP  
 Job #: 14-033



**LEGEND**

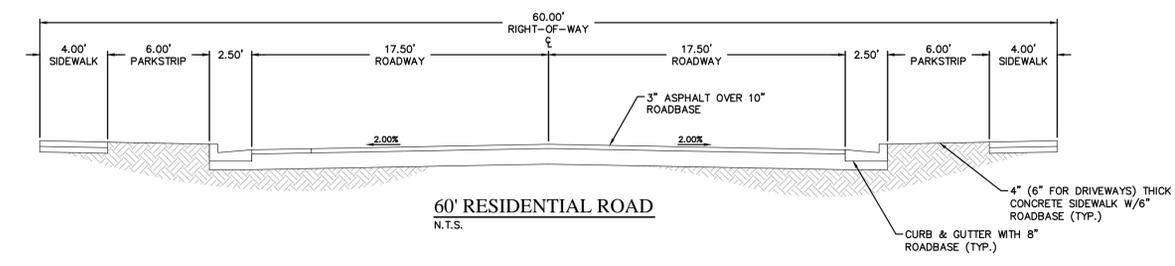
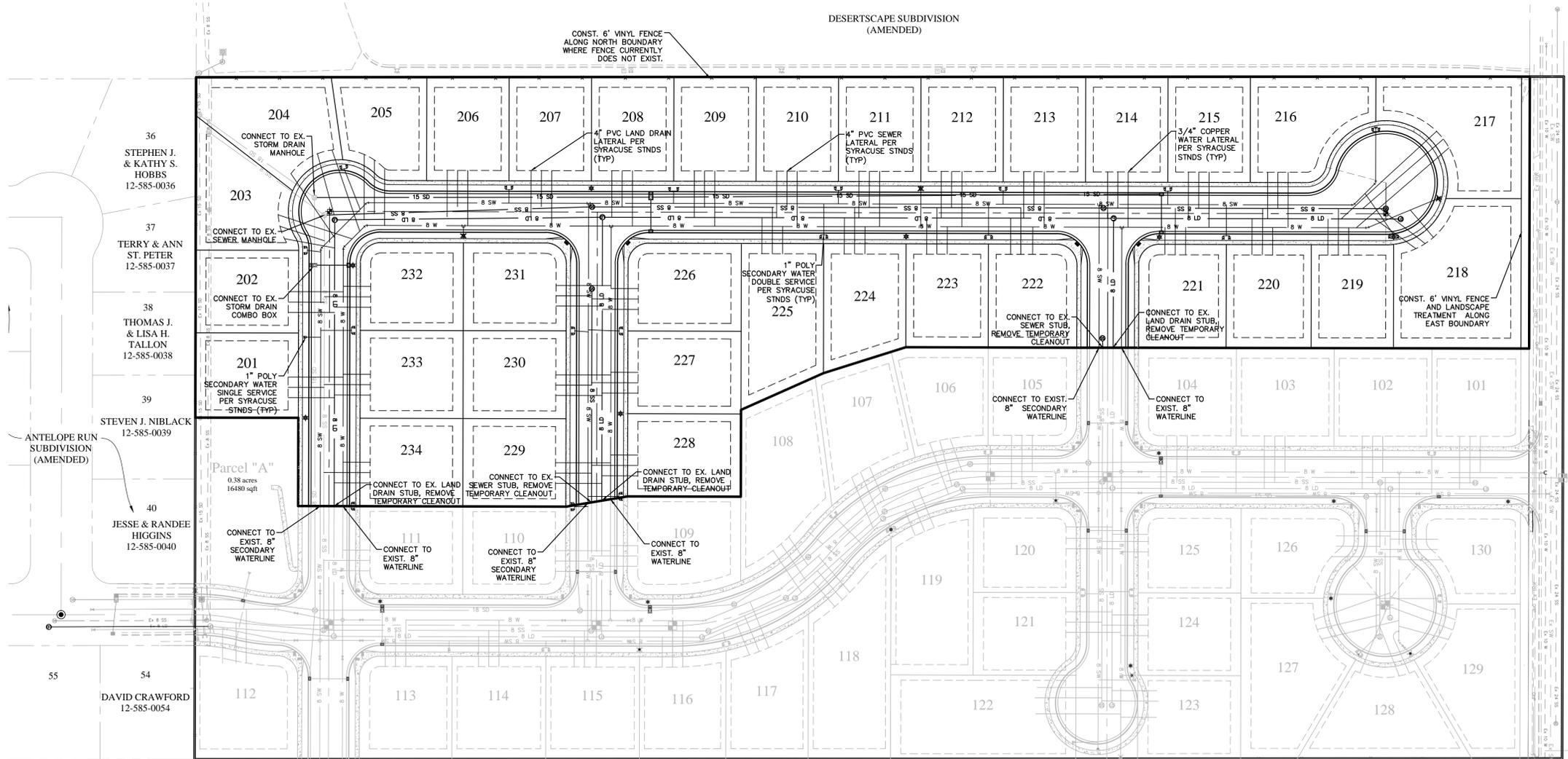
- BOUNDARY
- ROW
- CENTERLINE
- LOT LINE
- EASEMENT
- REVERSE-PAN CURB & GUTT
- 15' SD 15' STORM DRAIN
- 8" SS 8" SANITARY SEWER
- 8" W 8" CULINARY WATER
- 8" SW 8" SECONDARY WATER
- XXXX CONTOUR MAJOR
- XXXX CONTOUR MINOR
- Ex SD EXIST. STORM DRAIN
- Ex SS EXIST. SANITARY SEWER
- Ex W EXIST. CULINARY WATER
- Ex SW EXIST. SECONDARY WATER
- XXXX EXIST. FENCE
- XXXX EXIST. CONTOUR MAJOR
- XXXX EXIST. CONTOUR MINOR
- SIGN
- STREET LIGHT
- SD MH, INLET, AND COMBO
- SEWER MANHOLE
- VALVE, TEE & BEND
- WATER BLOW-OFF
- FIRE HYDRANT

**BENCHMARK**

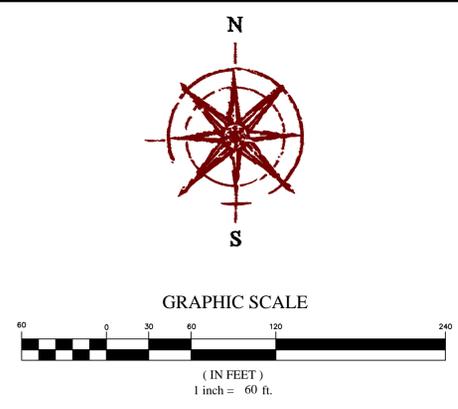
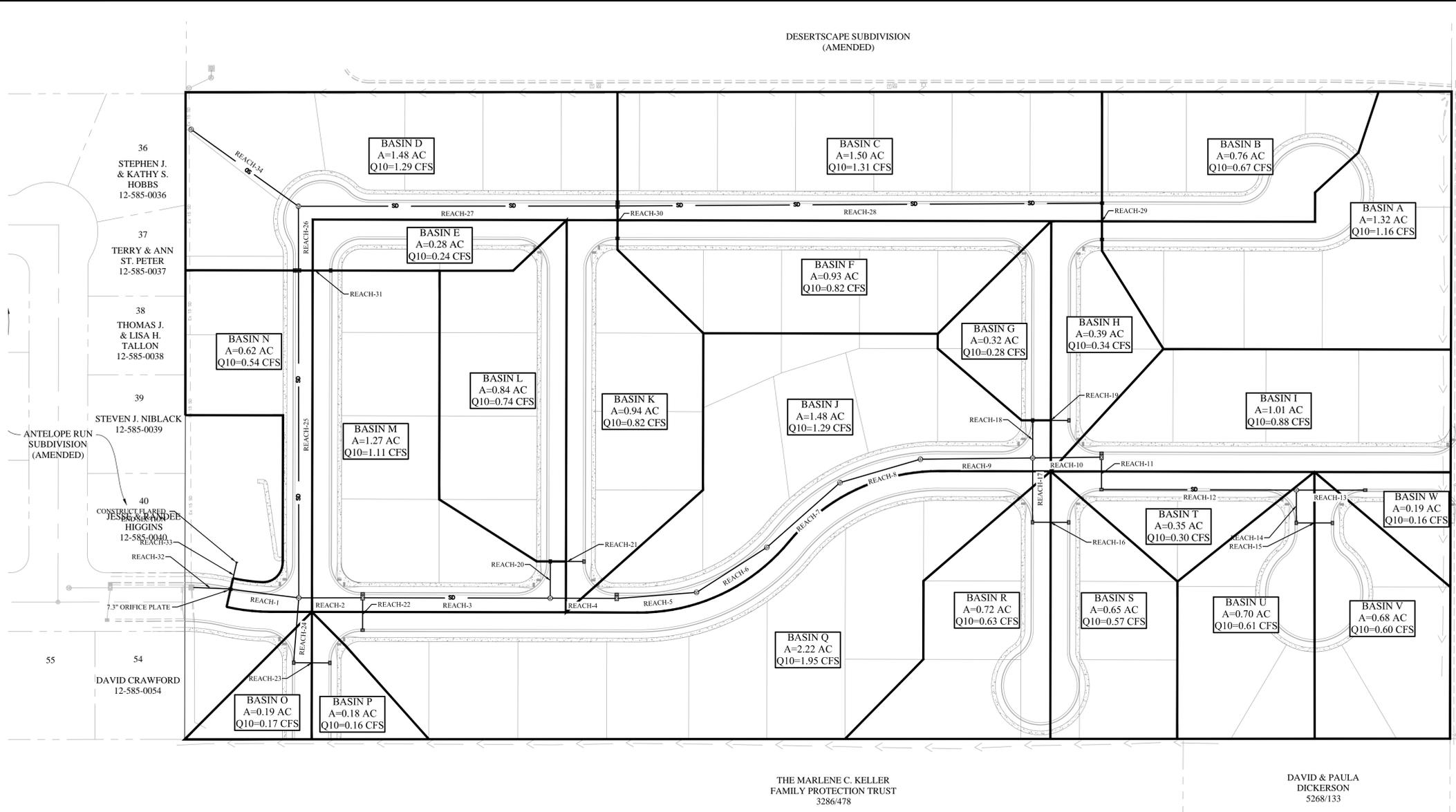
Vertical data (contour lines and/or spot elevations, etc.) is based on the NGVD29 elevation of 4279.30 published by the Davis County Surveyor on the brass cap monument marking the Center 1/4 Corner of Section 15, T4N, R2W.

**NOTES:**

1. ALL ADA RAMPS SHALL BE INSTALLED PER CURRENT ADA STANDARDS. CONTACT SYRACUSE CITY PRIOR TO POURING ANY ADA RAMPS.



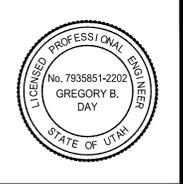
60' RESIDENTIAL ROAD  
 N.T.S.  
 4" (6" FOR DRIVEWAYS) THICK CONCRETE SIDEWALK W/6" ROADBASE (TYP.)  
 CURB & GUTTER WITH 8" ROADBASE (TYP.)



**LEGEND**

|        |                         |
|--------|-------------------------|
| ---    | BOUNDARY                |
| ---    | ROW                     |
| ---    | CENTERLINE              |
| ---    | LOT LINE                |
| ---    | EASEMENT                |
| ---    | REVERSE-PAN CURB & GUTT |
| 15 SD  | 15" STORM DRAIN         |
| 8 SS   | 8" SANITARY SEWER       |
| 8 W    | 8" CULINARY WATER       |
| 8 SW   | 8" SECONDARY WATER      |
| ----   | CONTOUR MAJOR           |
| ----   | CONTOUR MINOR           |
| Ex SD  | EXIST. STORM DRAIN      |
| Ex SS  | EXIST. SANITARY SEWER   |
| Ex W   | EXIST. CULINARY WATER   |
| X      | EXIST. FENCE            |
| (XXXX) | EXIST. CONTOUR MAJOR    |
| (XXXX) | EXIST. CONTOUR MINOR    |
| ⊙      | SIGN                    |
| ⊙      | STREET LIGHT            |
| ⊙      | SD MH, INLET, AND COMBO |
| ⊙      | SEWER MANHOLE           |
| ⊙      | VALVE, TEE & BEND       |
| ⊙      | WATER BLOW-OFF          |
| ⊙      | FIRE HYDRANT            |

**FOCUS**  
 ENGINEERING AND SURVEYING, LLC  
 502 WEST 8360 SOUTH  
 SANDY, UTAH 84070 PH: (801) 352-0075  
 www.focusutah.com



**TIVOLI GARDENS PHASE 2**  
 SYRACUSE CITY, DAVIS COUNTY, UTAH  
**DRAINAGE MASTER PLAN**

**Detention Pond Design**  
 Tivoli Gardens  
 Syracuse, Utah

100-Year Retention Date: March 27, 2014

**Design Criteria**  
 Intensity Table: NOAA Atlas 14  
 Return Period: 100 year  
 Allowable Discharge: 0.20 cfs/acre Per NOAA

**Allowable Discharges**  
 Total Discharge: 3.90 cfs

**Weighted "C" Value**

| Surface Type            | Area (sf) | "C" Value | C*A     |
|-------------------------|-----------|-----------|---------|
| Roof tops and Driveways | 156,240   | 0.80      | 124,992 |
| Roadway and Sidewalk    | 170,869   | 0.90      | 153,782 |
| Landscaped              | 503,711   | 0.10      | 50,371  |
| Totals                  | 830,820   |           | 329,145 |

Weighted "C" Value: 0.40

**Drainage Calculations**

| Duration | Intensity | Runoff C | Area  | Rainfall | Accumulated Flow | Allowable Discharge | Discharge | Required Storage |
|----------|-----------|----------|-------|----------|------------------|---------------------|-----------|------------------|
| min      | in/hr     |          | Ac    | cfs      | cf               | cfs                 | cf        | cf               |
| 15.0     | 4.28      | 0.40     | 19.50 | 33.06    | 29,758           | 3.90                | 3,510     | 26,248           |
| 30.0     | 2.89      | 0.40     | 19.50 | 22.33    | 40,187           | 3.90                | 7,020     | 33,167           |
| 60.0     | 1.79      | 0.40     | 19.50 | 13.83    | 49,782           | 3.90                | 14,040    | 35,742           |
| 120.0    | 0.99      | 0.40     | 19.50 | 7.65     | 55,066           | 3.90                | 28,080    | 26,986           |
| 360.0    | 0.37      | 0.40     | 19.50 | 2.87     | 62,074           | 3.90                | 84,240    | -22,166          |
| 720.0    | 0.22      | 0.40     | 19.50 | 1.72     | 74,422           | 3.90                | 168,480   | -94,058          |
| 1440.0   | 0.12      | 0.40     | 19.50 | 0.95     | 82,098           | 3.90                | 336,960   | -254,862         |

Maximum Storage Requirement: 35,742  
 Maximum Storage Requirement (ac-ft): 0.82

**Q10 Designed Pipe Flows**  
 10-year flow contained within pipe network

| Reach | Upstream Reach | Flow (CFS) | Contributing Basin | Flow (CFS) | Cumulative Flow (CFS) | Notes                              | Designed Size (Inches) |
|-------|----------------|------------|--------------------|------------|-----------------------|------------------------------------|------------------------|
| 1     | 2,24,25        | 14.38      | N/A                | 0          | 14.38                 |                                    | 24                     |
| 2     | 3,22           | 9.17       | N/A                | 0          | 9.17                  |                                    | 24                     |
| 3     | 4,20           | 7.22       | N/A                | 0          | 7.22                  |                                    | 18                     |
| 4     | 5              | 4.37       | J                  | 1.29       | 5.66                  |                                    | 18                     |
| 5     | 6              | 4.37       | N/A                | 0          | 4.37                  |                                    | 15                     |
| 6     | 7              | 4.37       | N/A                | 0          | 4.37                  |                                    | 15                     |
| 7     | 8              | 4.37       | N/A                | 0          | 4.37                  |                                    | 15                     |
| 8     | 9              | 4.37       | N/A                | 0          | 4.37                  |                                    | 15                     |
| 9     | 18,17,10       | 4.37       | N/A                | 0          | 4.37                  |                                    | 15                     |
| 10    | 11             | 1.67       | I                  | 0.88       | 2.55                  |                                    | 15                     |
| 11    | 12             | 1.37       | T                  | 0.3        | 1.67                  |                                    | 15                     |
| 12    | 13,14          | 1.37       | N/A                | 0          | 1.37                  |                                    | 15                     |
| 13    | n/a            | 0          | W                  | 0.16       | 0.16                  |                                    | 15                     |
| 14    | 15             | 0.6        | U                  | 0.61       | 1.21                  |                                    | 15                     |
| 15    | n/a            | 0          | V                  | 0.6        | 0.6                   |                                    | 15                     |
| 16    | n/a            | 0          | S                  | 0.57       | 0.57                  |                                    | 15                     |
| 17    | 16             | 0.57       | R                  | 0.63       | 1.2                   |                                    | 15                     |
| 18    | 19             | 0.34       | G                  | 0.28       | 0.82                  |                                    | 15                     |
| 19    | n/a            | 0          | H                  | 0.34       | 0.34                  |                                    | 15                     |
| 20    | 21             | 0.82       | L                  | 0.74       | 1.56                  |                                    | 15                     |
| 21    | n/a            | 0          | K                  | 0.82       | 0.82                  |                                    | 15                     |
| 22    | n/a            | 0          | Q                  | 1.95       | 1.95                  |                                    | 15                     |
| 23    | n/a            | 0          | P                  | 0.16       | 0.16                  |                                    | 15                     |
| 24    | 23             | 0.16       | O                  | 0.17       | 0.33                  |                                    | 15                     |
| 25    | 31,26          | 4.88       | N/A                | 0          | 4.88                  |                                    | 18                     |
| 26    | 34,27          | 4.64       | N/A                | 0          | 4.64                  |                                    | 18                     |
| 27    | 30,28          | 2.74       | C                  | 1.31       | 4.05                  |                                    | 15                     |
| 28    | 29             | 1.16       | B                  | 0.76       | 1.92                  |                                    | 15                     |
| 29    | -              | 0          | A                  | 1.16       | 1.16                  |                                    | 15                     |
| 30    | -              | 0          | F                  | 0.82       | 0.82                  |                                    | 15                     |
| 31    | -              | 0          | E                  | 0.24       | 0.24                  |                                    | 15                     |
| 32    | -              | 3.85       | N/A                | 0          | 3.85                  | OUTFALL METERED PER CITY STANDARDS | 15                     |
| 33    | 1              | 14.38      | N/A                | 0          | 14.38                 |                                    | 24                     |
| 34    | Pass Through   | 1.9        | N/A                | 0          | 1.9                   | PASS THROUGH FLOW FROM THE NORTH   | 15                     |

Calculated flows compared to the maximum capacity of storm drain sized pipes layed at minimum 0.5% grades. The following are the capacities:  
 15" RCP @ 0.5% minimum = 4.58  
 18" RCP @ 0.5% minimum = 7.45  
 24" RCP @ 0.5% minimum = 16.03  
 30" RCP @ 0.5% minimum = 29.08

**Detention Pond Size**  
 (average end area method)

| Contour | Area  | Volume  | Cumulative Volume |
|---------|-------|---------|-------------------|
| 4299    | 8665  | 0       | 0                 |
| 4300    | 9848  | 9256.5  | 9256.5            |
| 4301    | 11088 | 10488   | 19744.5           |
| 4302    | 12385 | 11736.5 | 31481             |
| 4303    | 13738 | 13061.5 | 44542.5           |

**REVISION BLOCK**

| # | DATE | DESCRIPTION |
|---|------|-------------|
| 1 |      |             |
| 2 |      |             |
| 3 |      |             |
| 4 |      |             |
| 5 |      |             |
| 6 |      |             |

**DRAINAGE MASTER PLAN**

Scale: 1"=60'  
 Date: 12/04/14  
 Sheet: C04



**TIVOLI GARDENS PHASE 2**  
 SYRACUSE CITY, DAVIS COUNTY, UTAH  
**GRADING AND DRAINAGE PLAN**

| REVISION BLOCK |             |
|----------------|-------------|
| #              | DESCRIPTION |
| 1              |             |
| 2              |             |
| 3              |             |
| 4              |             |
| 5              |             |
| 6              |             |

|                |               |
|----------------|---------------|
| Scale: 1"=60'  | Drawn: DRP    |
| Date: 12/04/14 | Job #: 14-033 |
| Sheet:         | <b>C05</b>    |

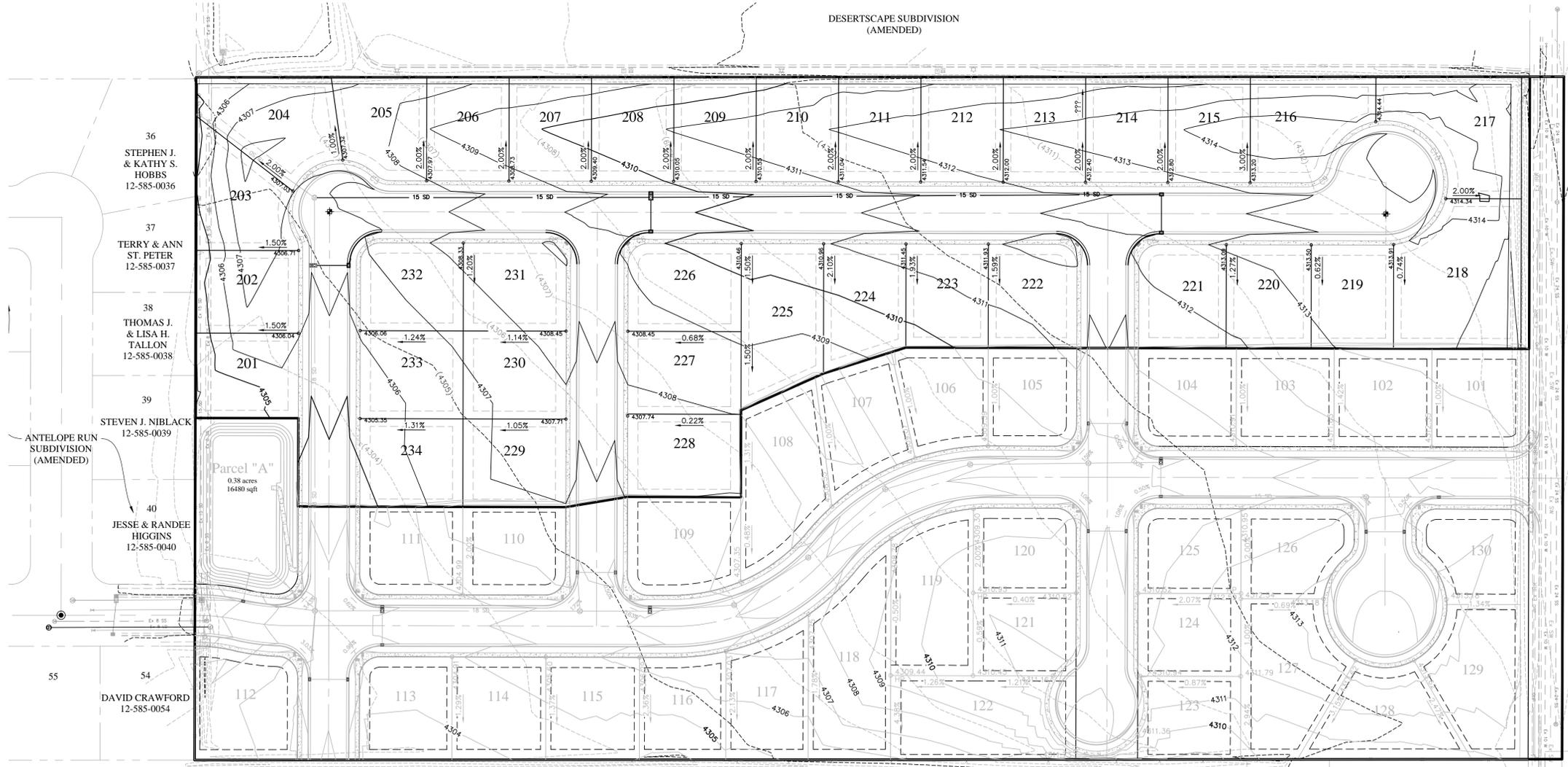


GRAPHIC SCALE  
 (IN FEET)  
 1 inch = 60 ft.

**LEGEND**

- BOUNDARY
- ROW
- CENTERLINE
- LOT LINE
- EASEMENT
- REVERSE-PAN CURB & GUTT
- 15 SD 15" STORM DRAIN
- 8 SS 8" SANITARY SEWER
- 8 W 8" CULINARY WATER
- 8 SW 8" SECONDARY WATER
- CONTOUR MAJOR
- CONTOUR MINOR
- Ex SD EXIST. STORM DRAIN
- Ex SS EXIST. SANITARY SEWER
- Ex W EXIST. CULINARY WATER
- EXIST. FENCE
- (XXXX) EXIST. CONTOUR MAJOR
- (XXXX) EXIST. CONTOUR MINOR
- SIGN
- STREET LIGHT
- SD MH, INLET, AND COMBO
- SEWER MANHOLE
- VALVE, TEE & BEND
- WATER BLOW-OFF
- FIRE HYDRANT

**BENCHMARK**  
 Vertical data (contour lines and/or spot elevations, etc.) is based on the NGVD29 elevation of 4279.30 published by the Davis County Surveyor on the brass cap monument marking the Center 1/4 Corner of Section 15, T4N, R2W.



36 STEPHEN J. & KATHY S. HOBBS 12-585-0036  
 37 TERRY & ANN ST. PETER 12-585-0037  
 38 THOMAS J. & LISA H. TALLON 12-585-0038  
 39 STEVEN J. NIBLACK 12-585-0039  
 40 JESSE & RANDEE HIGGINS 12-585-0040  
 54 DAVID CRAWFORD 12-585-0054

DESERTSCAPE SUBDIVISION (AMENDED)

THE MARLENE C. KELLER FAMILY PROTECTION TRUST 3286/478

DAVID & PAULA DICKERSON 5268/133

SUNSET PARK VILLAS "A"

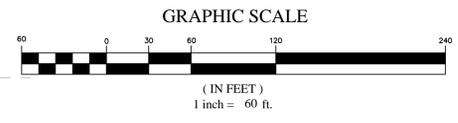
L.E. BRUGGS & SONS 12-079-0016



**TIVOLI GARDENS PHASE 2**  
 SYRACUSE CITY, DAVIS COUNTY, UTAH  
**EROSION CONTROL PLAN**

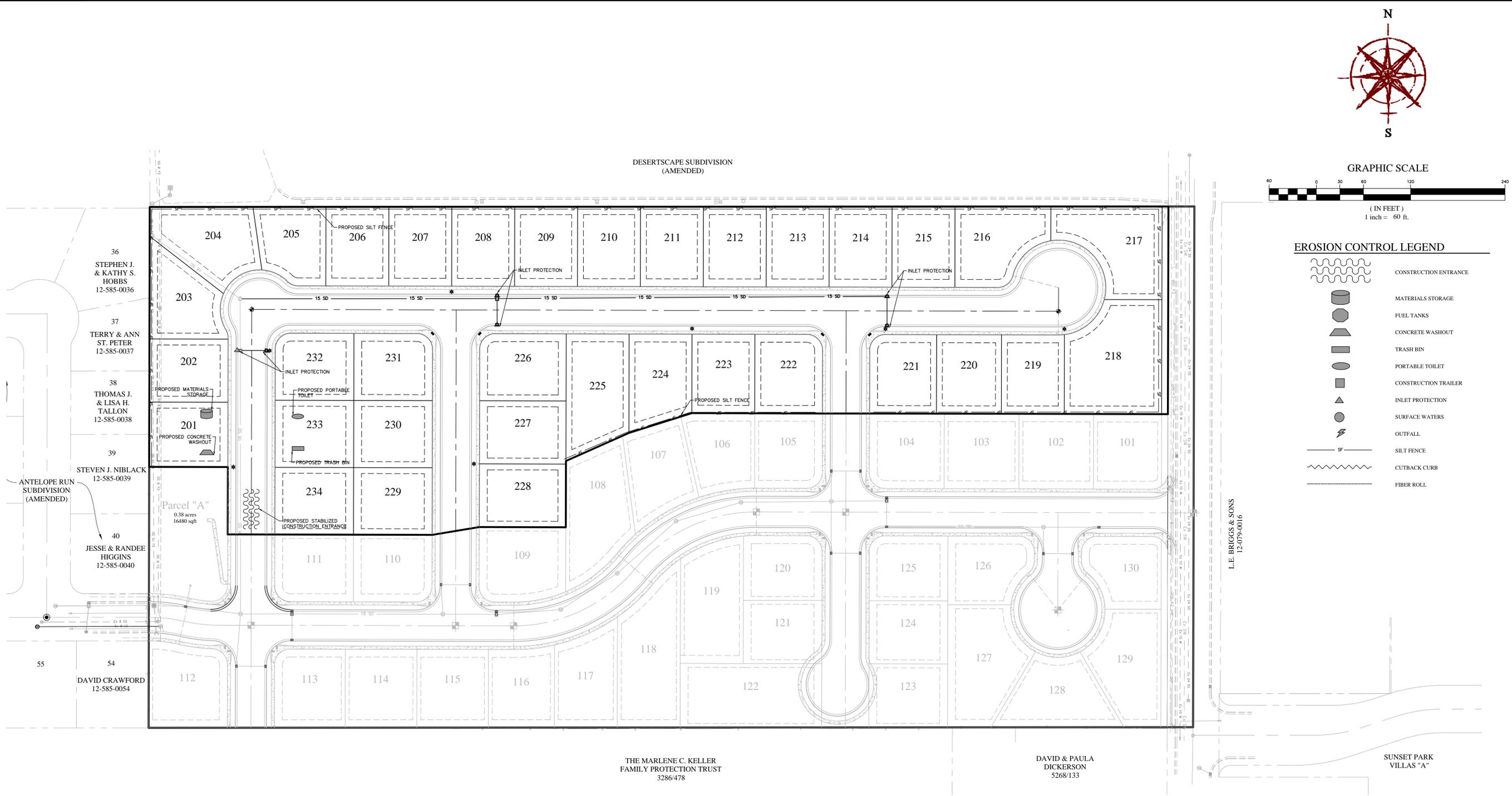
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| 6 |      |             |

|                             |               |
|-----------------------------|---------------|
| <b>EROSION CONTROL PLAN</b> |               |
| Scale: 1"=60'               | Drawn: DRP    |
| Date: 12/04/14              | Job #: 14-033 |
| Sheet: <b>C06</b>           |               |

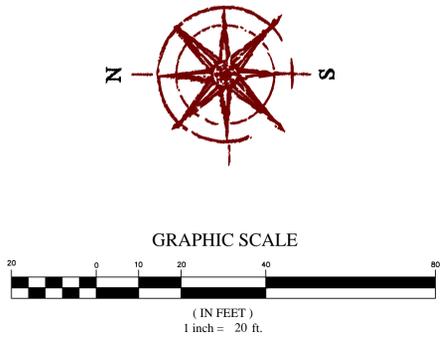
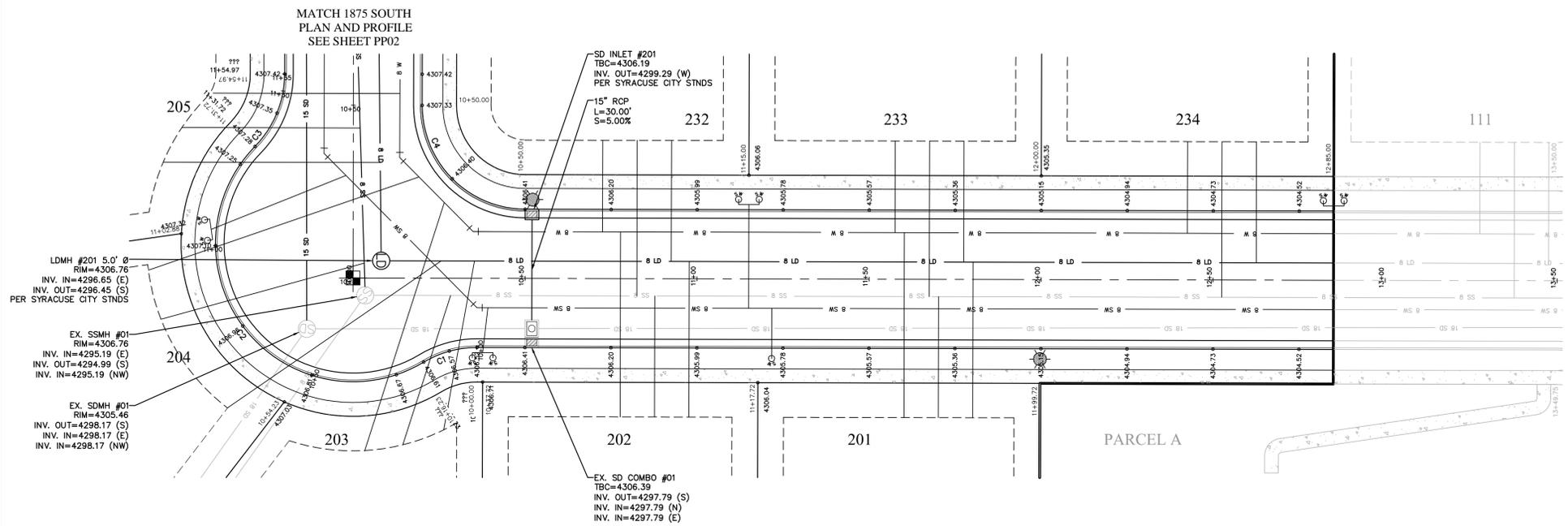


**EROSION CONTROL LEGEND**

- CONSTRUCTION ENTRANCE
- MATERIALS STORAGE
- FUEL TANKS
- CONCRETE WASHOUT
- TRASH BIN
- PORTABLE TOILET
- CONSTRUCTION TRAILER
- INLET PROTECTION
- SURFACE WATERS
- OUTFALL
- SILT FENCE
- CUTBACK CURB
- FIBER ROLL



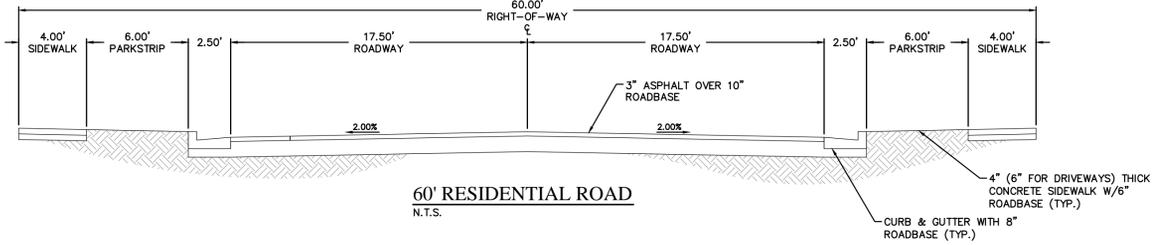
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**LEGEND**

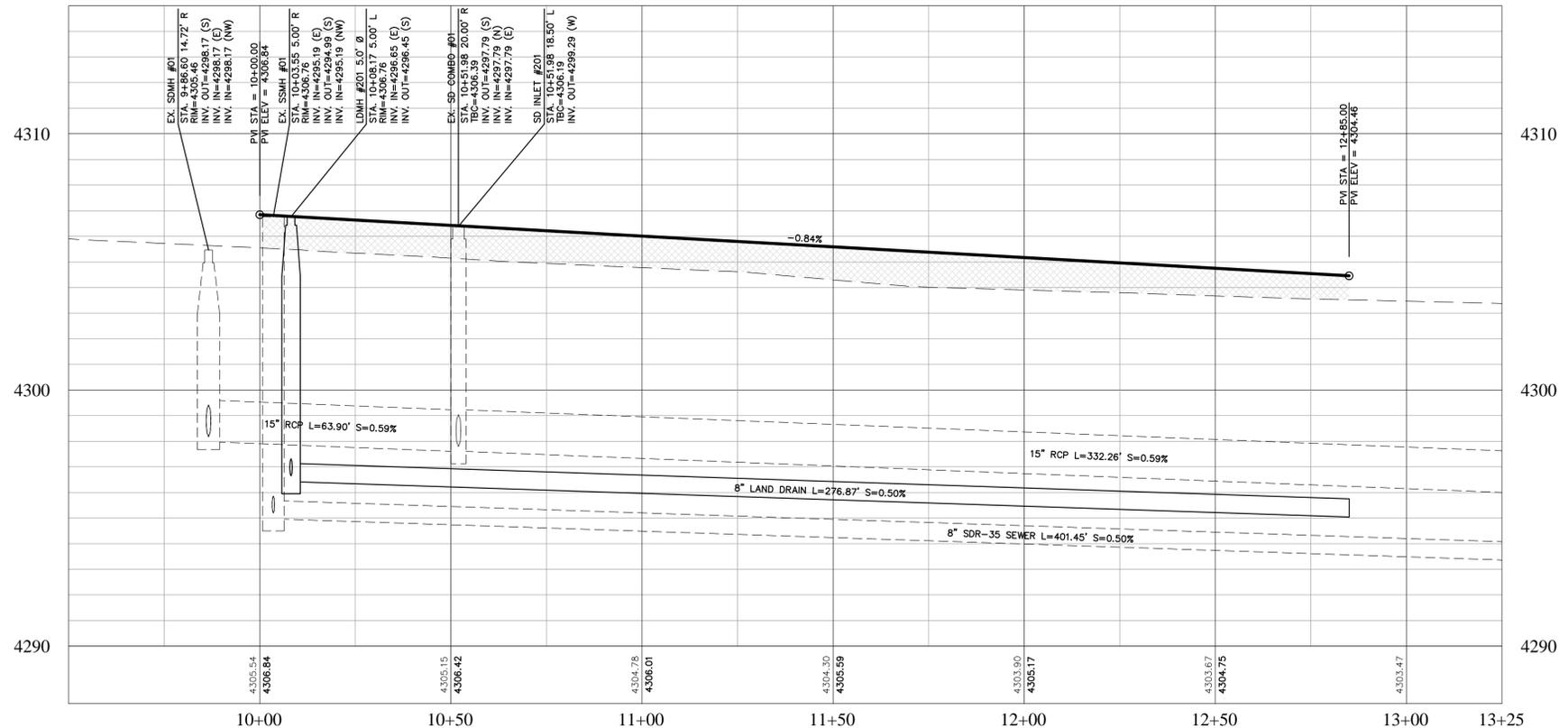
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| [Symbol] | ROW                       |
| [Symbol] | CENTERLINE                |
| [Symbol] | LOT LINE                  |
| [Symbol] | EASEMENT                  |
| [Symbol] | REVERSE-PAN CURB & GUTTER |
| [Symbol] | 15" SD                    |
| [Symbol] | 8" SS                     |
| [Symbol] | 8" W                      |
| [Symbol] | 8" SW                     |
| [Symbol] | 8" S                      |
| [Symbol] | XXXX                      |
| [Symbol] | CONTOUR MINOR             |
| [Symbol] | CONTOUR MAJOR             |
| [Symbol] | EXIST. STORM DRAIN        |
| [Symbol] | EXIST. SANITARY SEWER     |
| [Symbol] | EXIST. CULINARY WATER     |
| [Symbol] | EXIST. FENCE              |
| [Symbol] | EXIST. CONTOUR MAJOR      |
| [Symbol] | EXIST. CONTOUR MINOR      |
| [Symbol] | SIGN                      |
| [Symbol] | STREET LIGHT              |
| [Symbol] | SD MH, INLET, AND COMBO   |
| [Symbol] | SEWER MANHOLE             |
| [Symbol] | VALVE, TEE & BEND         |
| [Symbol] | WATER BLOW-OFF            |
| [Symbol] | FIRE HYDRANT              |
| [Symbol] | STREET MONUMENT           |
| [Symbol] | EXIST. SD INLET & MH      |
| [Symbol] | EXIST. SEWER MH           |
| [Symbol] | EXIST. VALVE, TEE, & BEND |
| [Symbol] | EXIST. FIRE HYDRANT       |
| [Symbol] | SPOT ELEVATION            |

**1250 WEST PHASE 2 PLAN**

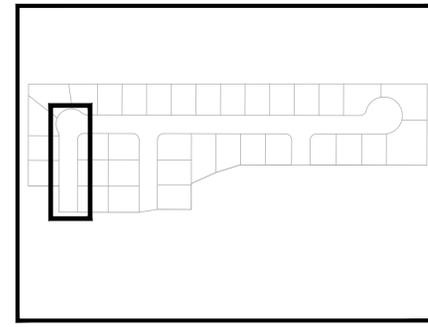


**Curve Table**

| CURVE | LENGTH  | RADIUS | DELTA      | TANGENT | CHORD DIRECTION | CHORD LENGTH |
|-------|---------|--------|------------|---------|-----------------|--------------|
| C1    | 16.23'  | 30.00' | 31°00'10"  | 8.32'   | N15°22'13"W     | 16.04'       |
| C2    | 115.48' | 40.00' | 165°25'05" | 312.64' | S51°50'15"W     | 79.35'       |
| C3    | 23.26'  | 30.00' | 44°24'55"  | 12.25'  | S67°39'40"E     | 22.68'       |
| C4    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | S45°07'52"W     | 42.43'       |
| C5    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | N44°52'08"W     | 42.43'       |
| C6    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | S45°07'52"W     | 42.43'       |
| C7    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | N44°52'08"W     | 42.43'       |
| C8    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | S45°07'52"W     | 42.43'       |
| C9    | 39.54'  | 30.00' | 75°31'21"  | 23.24'  | N52°22'12"E     | 36.74'       |
| C10   | 222.99' | 50.00' | 255°31'21" | 64.55'  | N37°37'48"W     | 79.06'       |

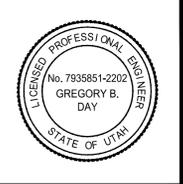


**1250 WEST PHASE 2 PROFILE**



**KEY MAP**  
N.T.S.

**BENCHMARK**  
Vertical data (contour lines and/or spot elevations, etc.) is based on the NGVD29 elevation of 4279.30 published by the Davis County Surveyor on the brass cap monument marking the Center 1/4 Corner of Section 15, T4N, R2W.



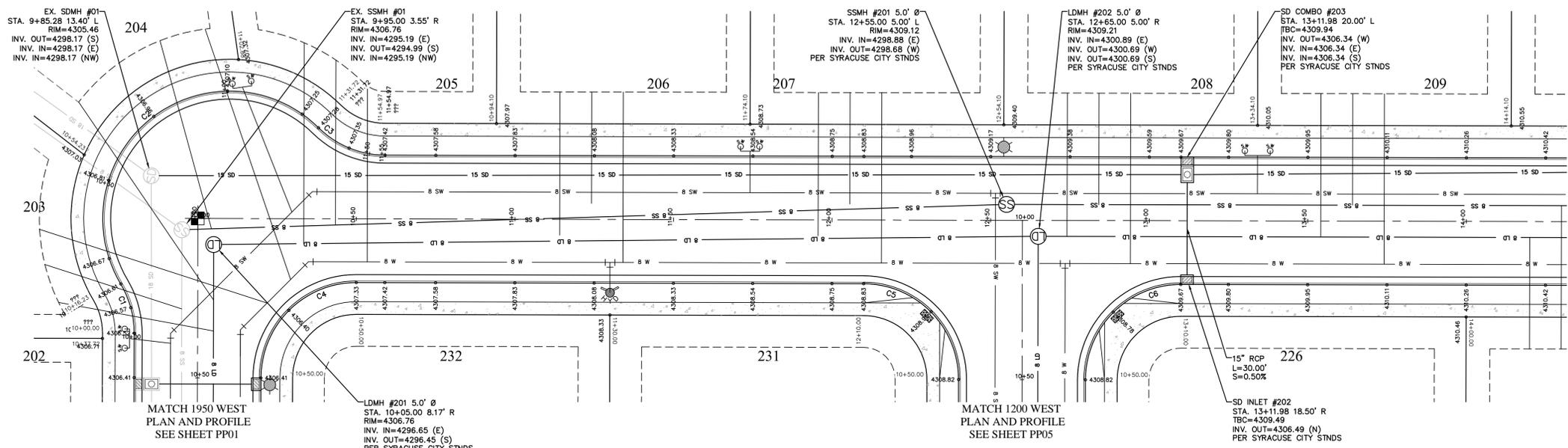
**TIVOLI GARDENS PHASE 2**  
SYRACUSE CITY, DAVIS COUNTY, UTAH  
**1950 WEST PLAN AND PROFILE**

**REVISION BLOCK**

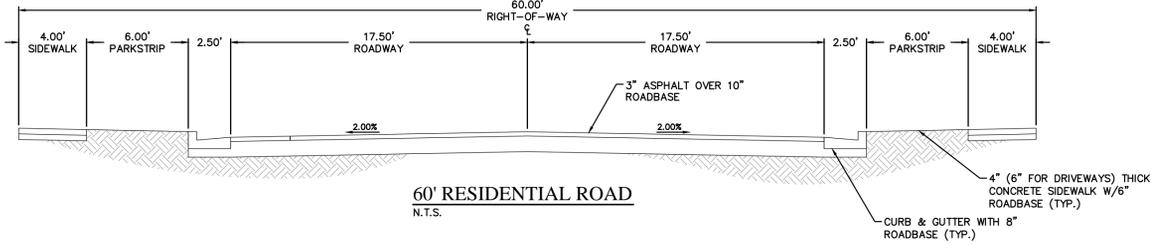
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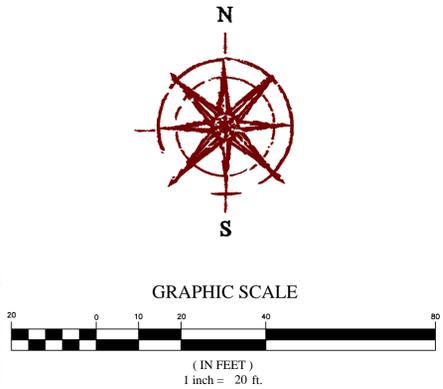


1875 SOUTH PHASE 2 PLAN

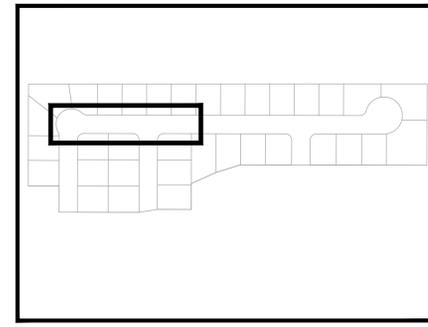


60' RESIDENTIAL ROAD  
N.T.S.

| CURVE | LENGTH  | RADIUS | DELTA      | TANGENT | CHORD DIRECTION | CHORD LENGTH |
|-------|---------|--------|------------|---------|-----------------|--------------|
| C1    | 16.23'  | 30.00' | 31°00'10"  | 8.32'   | N15°22'13"W     | 16.04'       |
| C2    | 115.48' | 40.00' | 165°25'05" | 312.64' | S51°50'15"W     | 79.35'       |
| C3    | 23.26'  | 30.00' | 44°24'55"  | 12.25'  | S67°39'40"E     | 22.68'       |
| C4    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | S45°07'52"W     | 42.43'       |
| C5    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | N44°52'08"W     | 42.43'       |
| C6    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | S45°07'52"W     | 42.43'       |
| C7    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | N44°52'08"W     | 42.43'       |
| C8    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | S45°07'52"W     | 42.43'       |
| C9    | 39.54'  | 30.00' | 75°31'21"  | 23.24'  | N52°22'12"E     | 36.74'       |
| C10   | 222.99' | 50.00' | 255°31'21" | 64.55'  | N37°37'48"W     | 79.06'       |

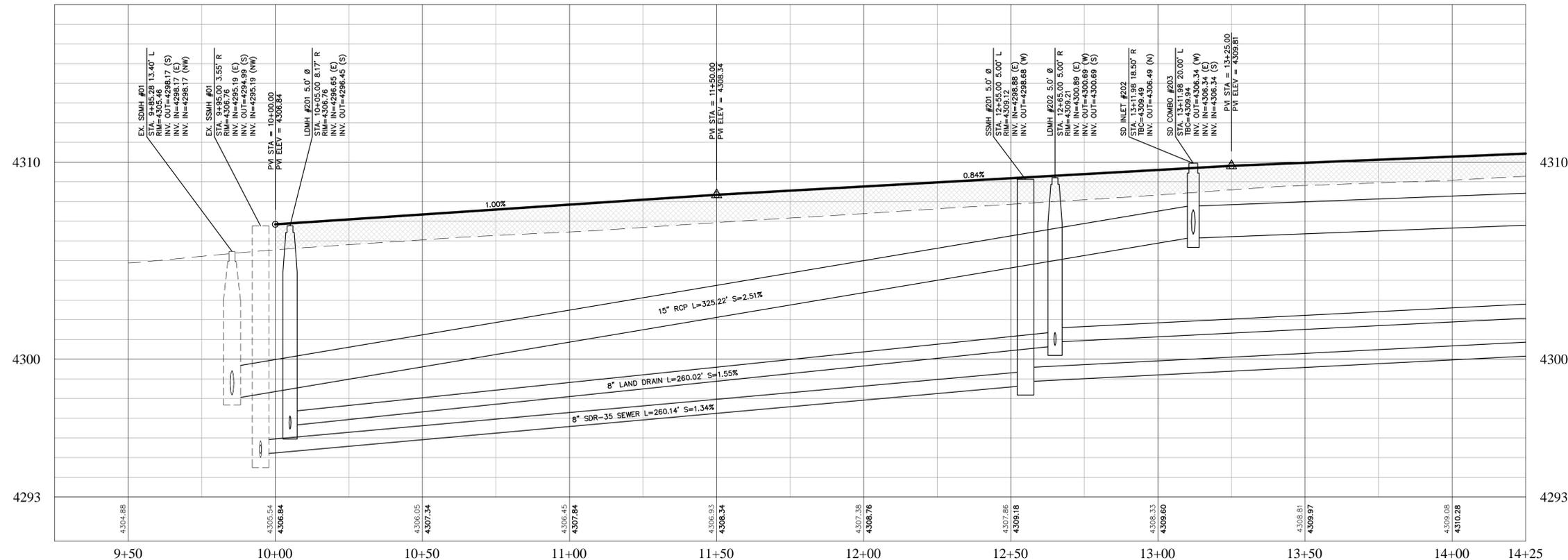


- LEGEND**
- BOUNDARY
  - ROW
  - CENTERLINE
  - LOT LINE
  - EASEMENT
  - REVERSE-PAN CURB & GUTTER
  - 15 SD 15" STORM DRAIN
  - 8 SS 8" SANITARY SEWER
  - 8 W 8" CULINARY WATER
  - 8 SW 8" SECONDARY WATER
  - XXXX CONTOUR MAJOR
  - XXXX CONTOUR MINOR
  - Ex SD EXIST. STORM DRAIN
  - Ex SS EXIST. SANITARY SEWER
  - Ex W EXIST. CULINARY WATER
  - Ex SW EXIST. SECONDARY WATER
  - EXIST. FENCE
  - EXIST. CONTOUR MAJOR
  - EXIST. CONTOUR MINOR
  - SIGN
  - STREET LIGHT
  - SD MH, INLET, AND COMBO
  - SEWER MANHOLE
  - VALVE, TEE & BEND
  - WATER BLOW-OFF
  - FIRE HYDRANT
  - STREET MONUMENT
  - EXIST. SD INLET & MH
  - EXIST. SEWER MH
  - EXIST. VALVE, TEE, & BEND
  - EXIST. FIRE HYDRANT
  - SPOT ELEVATION

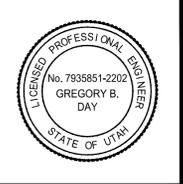


KEY MAP  
N.T.S.

**BENCHMARK**  
Vertical data (contour lines and/or spot elevations, etc.) is based on the NGVD29 elevation of 4279.30 published by the Davis County Surveyor on the brass cap monument marking the Center 1/4 Corner of Section 15, T4N, R2W.



1875 SOUTH PHASE 2 PROFILE



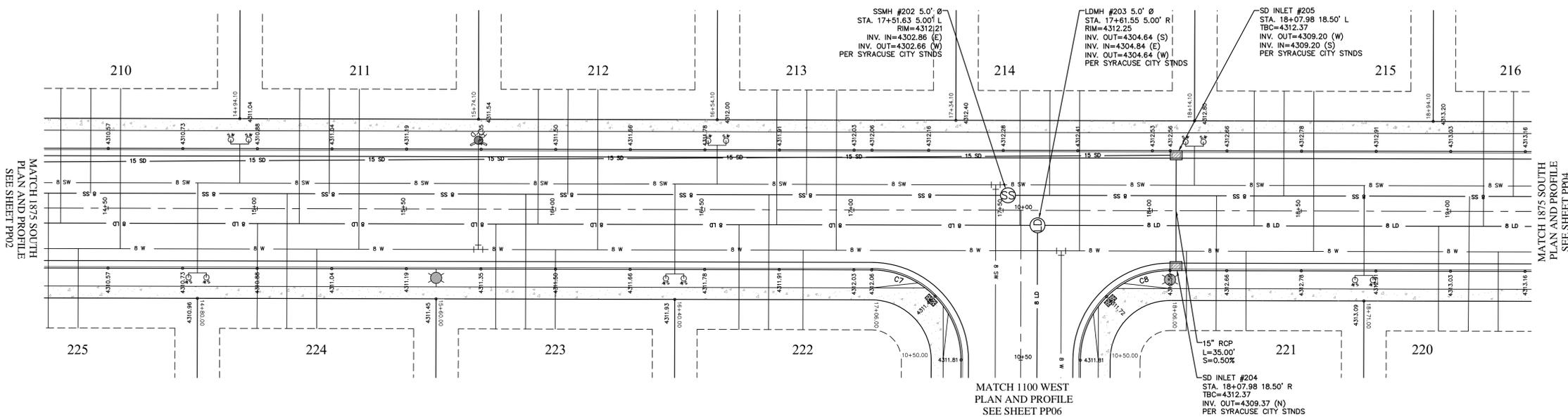
**TIVOLI GARDENS PHASE 2**  
SYRACUSE CITY, DAVIS COUNTY, UTAH  
**1875 SOUTH PLAN AND PROFILE**

REVISION BLOCK

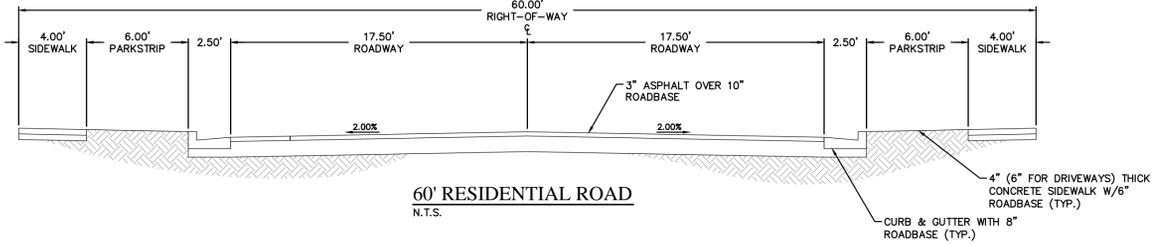
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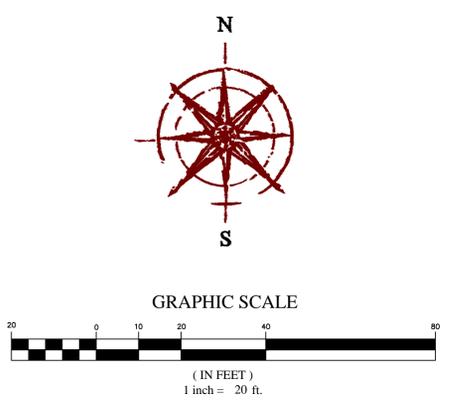
**1875 SOUTH PHASE 2 PLAN**



**60' RESIDENTIAL ROAD**  
N.T.S.

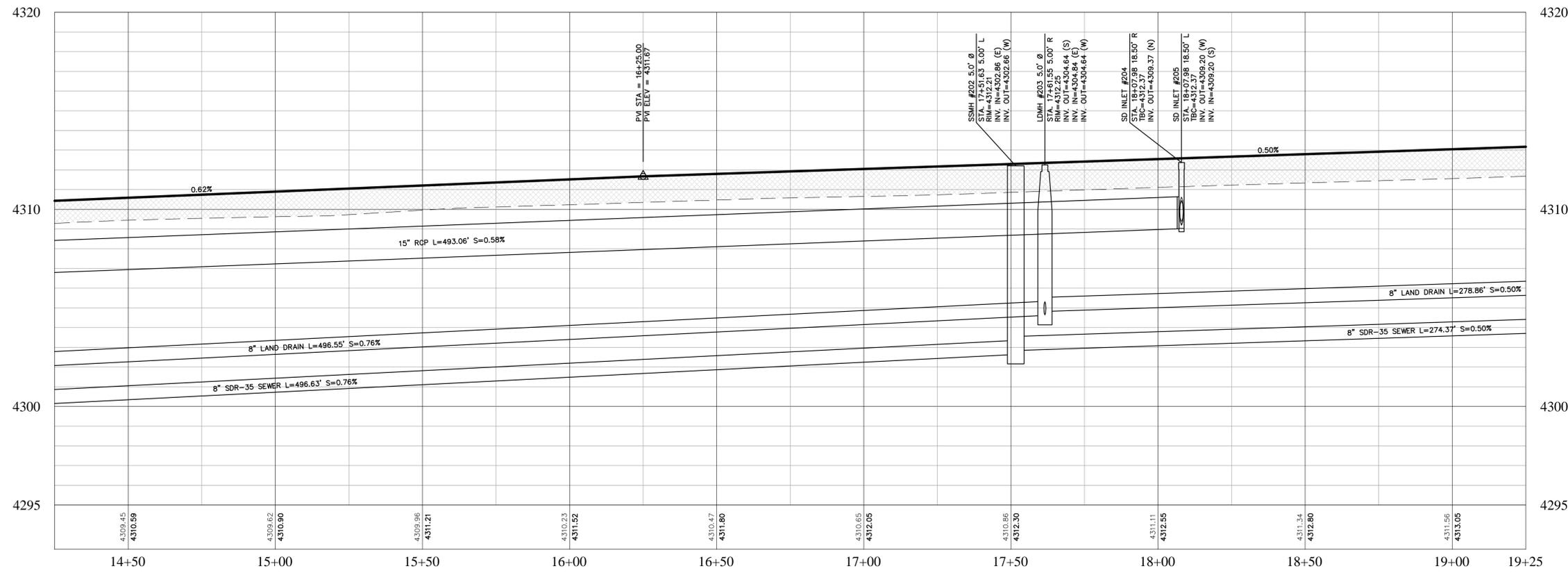
Curve Table

| CURVE | LENGTH  | RADIUS | DELTA      | TANGENT | CHORD DIRECTION | CHORD LENGTH |
|-------|---------|--------|------------|---------|-----------------|--------------|
| C1    | 16.23'  | 30.00' | 31°00'10"  | 8.32'   | N15°22'13"W     | 16.04'       |
| C2    | 115.48' | 40.00' | 165°25'05" | 312.64' | S51°50'15"W     | 79.35'       |
| C3    | 23.26'  | 30.00' | 44°24'55"  | 12.25'  | S67°39'40"E     | 22.68'       |
| C4    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | S45°07'52"W     | 42.43'       |
| C5    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | N44°52'08"W     | 42.43'       |
| C6    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | S45°07'52"W     | 42.43'       |
| C7    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | N44°52'08"W     | 42.43'       |
| C8    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | S45°07'52"W     | 42.43'       |
| C9    | 39.54'  | 30.00' | 75°31'21"  | 23.24'  | N52°22'12"E     | 36.74'       |
| C10   | 222.99' | 50.00' | 255°31'21" | 64.55'  | N37°37'48"W     | 79.06'       |

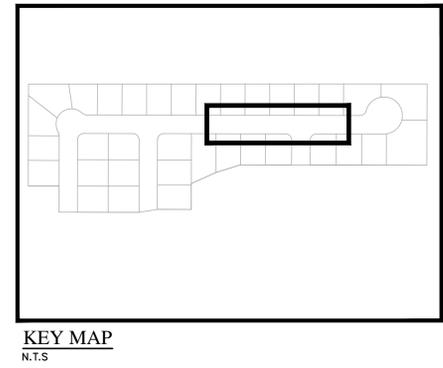


LEGEND

|          |                           |
|----------|---------------------------|
| [Symbol] | BOUNDARY                  |
| [Symbol] | ROW                       |
| [Symbol] | CENTERLINE                |
| [Symbol] | LOT LINE                  |
| [Symbol] | EASEMENT                  |
| [Symbol] | REVERSE-PAN CURB & GUTTER |
| [Symbol] | 15" SD                    |
| [Symbol] | 8" SS                     |
| [Symbol] | 8" W                      |
| [Symbol] | 8" SW                     |
| [Symbol] | XXXX                      |
| [Symbol] | CONTOUR MINOR             |
| [Symbol] | CONTOUR MAJOR             |
| [Symbol] | EXIST. STORM DRAIN        |
| [Symbol] | EXIST. SANITARY SEWER     |
| [Symbol] | EXIST. CULINARY WATER     |
| [Symbol] | EXIST. FENCE              |
| [Symbol] | EXIST. CONTOUR MAJOR      |
| [Symbol] | EXIST. CONTOUR MINOR      |
| [Symbol] | SIGN                      |
| [Symbol] | STREET LIGHT              |
| [Symbol] | SD MH, INLET, AND COMBO   |
| [Symbol] | SEWER MANHOLE             |
| [Symbol] | VALVE, TEE & BEND         |
| [Symbol] | WATER BLOW-OFF            |
| [Symbol] | FIRE HYDRANT              |
| [Symbol] | STREET MONUMENT           |
| [Symbol] | EXIST. SD INLET & MH      |
| [Symbol] | EXIST. SEWER MH           |
| [Symbol] | EXIST. VALVE, TEE, & BEND |
| [Symbol] | EXIST. FIRE HYDRANT       |
| [Symbol] | SPOT ELEVATION            |

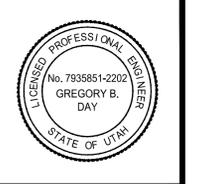


**1875 SOUTH PHASE 2 PROFILE**



**BENCHMARK**  
Vertical data (contour lines and/or spot elevations, etc.) is based on the NGVD29 elevation of 4279.30 published by the Davis County Surveyor on the brass cap monument marking the Center 1/4 Corner of Section 15, T4N, R2W.

**FOCUS**  
ENGINEERING AND SURVEYING, LLC  
502 WEST 8360 SOUTH  
SANDY, UTAH 84070 PH: (801) 352-0075  
www.focusutah.com



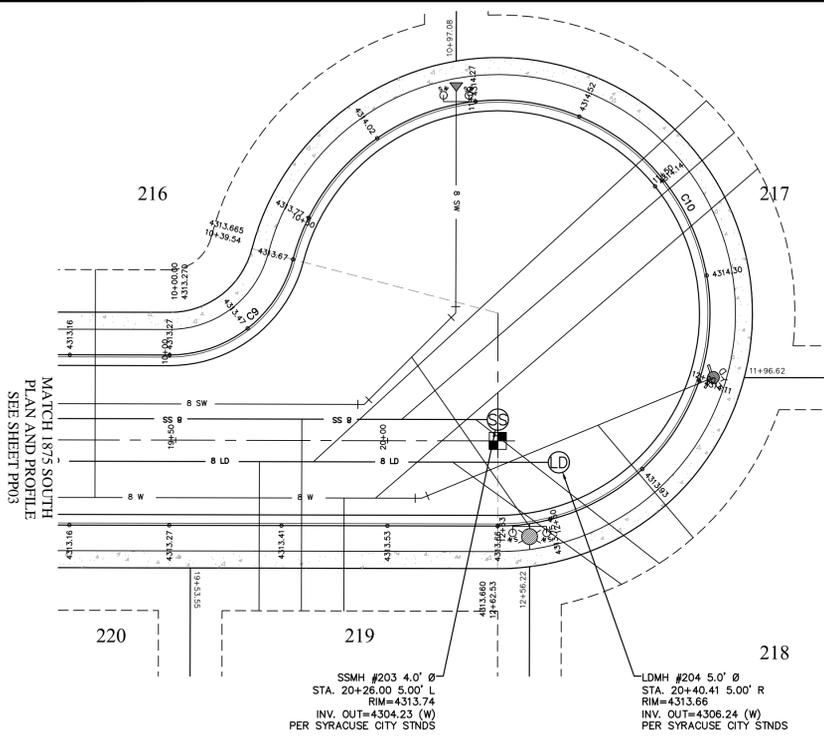
**TIVOLI GARDENS PHASE 2**  
SYRACUSE CITY, DAVIS COUNTY, UTAH  
**1875 SOUTH PLAN AND PROFILE**

REVISION BLOCK

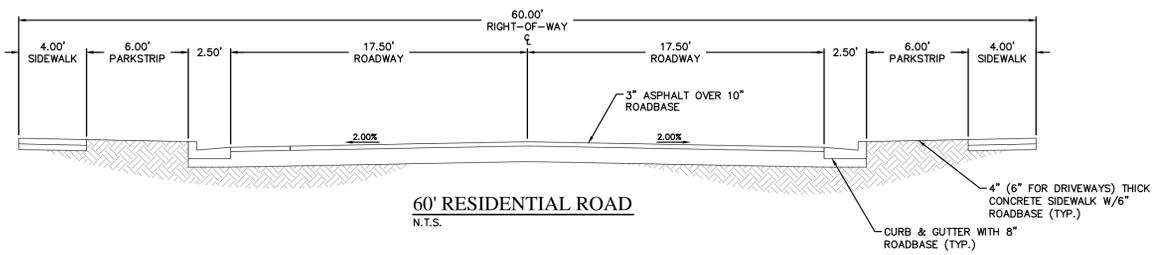
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| 6 |      |             |

**1875 SOUTH PLAN AND PROFILE**  
Scale: 1"=20'  
Date: 12/04/14  
Job #: 14-033  
Sheet: **PP03**  
Drawn: DRP

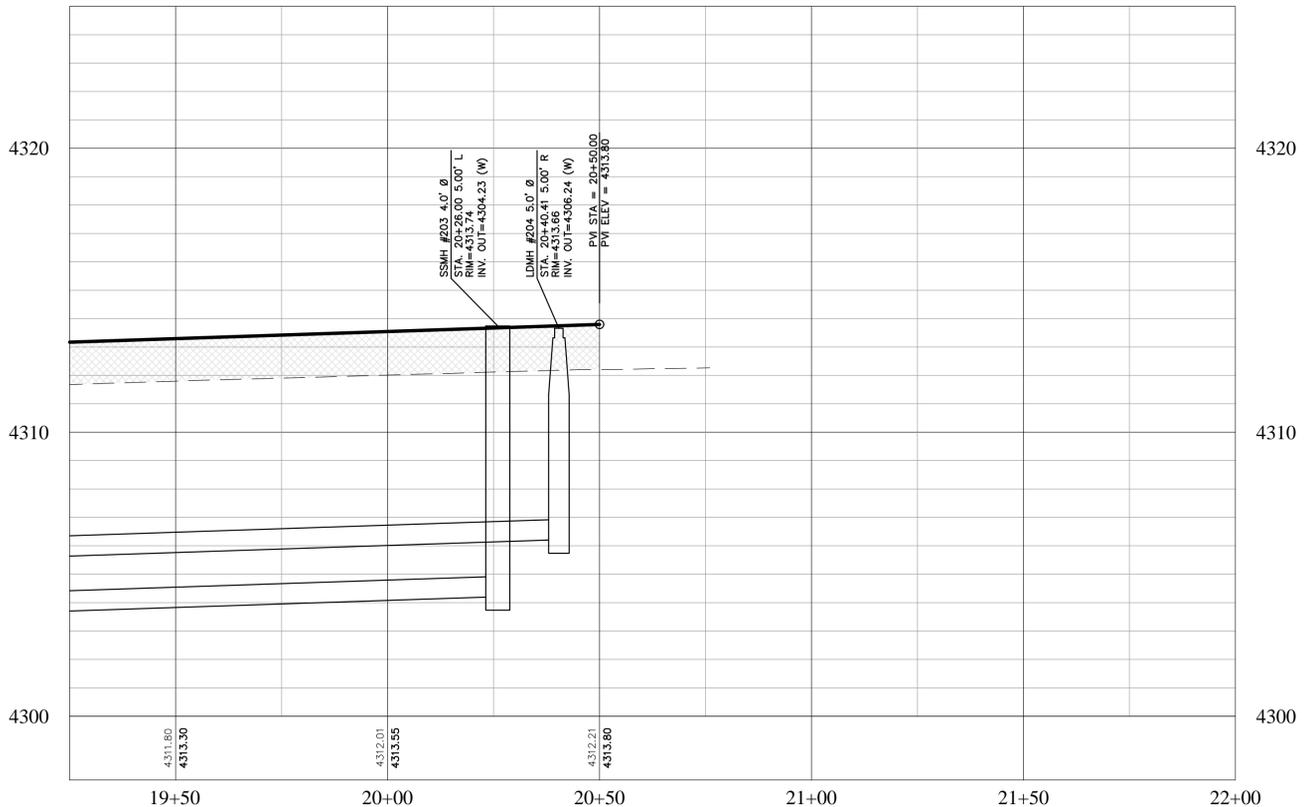




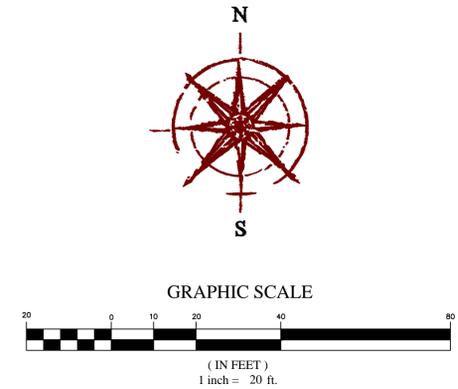
**1875 SOUTH PHASE 2 PLAN**



| CURVE | LENGTH  | RADIUS | DELTA      | TANGENT | CHORD DIRECTION | CHORD LENGTH |
|-------|---------|--------|------------|---------|-----------------|--------------|
| C1    | 16.23'  | 30.00' | 31°00'10"  | 8.32'   | N15°22'13"W     | 16.04'       |
| C2    | 115.48' | 40.00' | 165°25'05" | 312.64' | S51°50'15"W     | 79.35'       |
| C3    | 23.26'  | 30.00' | 44°24'55"  | 12.25'  | S67°39'40"E     | 22.68'       |
| C4    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | S45°07'52"W     | 42.43'       |
| C5    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | N44°52'08"W     | 42.43'       |
| C6    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | S45°07'52"W     | 42.43'       |
| C7    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | N44°52'08"W     | 42.43'       |
| C8    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | S45°07'52"W     | 42.43'       |
| C9    | 39.54'  | 30.00' | 75°31'21"  | 23.24'  | N52°22'12"E     | 36.74'       |
| C10   | 222.99' | 50.00' | 255°31'21" | 64.55'  | N37°37'48"W     | 79.06'       |

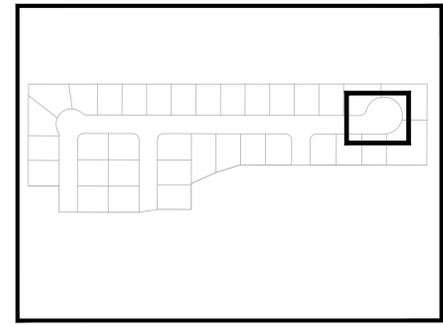


**1875 SOUTH PHASE 2 PROFILE**



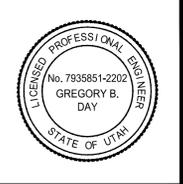
**LEGEND**

|  |                           |
|--|---------------------------|
|  | BOUNDARY                  |
|  | ROW                       |
|  | CENTERLINE                |
|  | LOT LINE                  |
|  | EASEMENT                  |
|  | REVERSE-PAN CURB & GUTTER |
|  | 15" STORM DRAIN           |
|  | 8" SANITARY SEWER         |
|  | 8" CULINARY WATER         |
|  | 8" SECONDARY WATER        |
|  | CONTOUR MAJOR             |
|  | CONTOUR MINOR             |
|  | EXIST. STORM DRAIN        |
|  | EXIST. SANITARY SEWER     |
|  | EXIST. CULINARY WATER     |
|  | EXIST. SECONDARY WATER    |
|  | EXIST. FENCE              |
|  | EXIST. CONTOUR MAJOR      |
|  | EXIST. CONTOUR MINOR      |
|  | SIGN                      |
|  | STREET LIGHT              |
|  | SD MH, INLET, AND COMBO   |
|  | SEWER MANHOLE             |
|  | VALVE, TEE & BEND         |
|  | WATER BLOW-OFF            |
|  | FIRE HYDRANT              |
|  | STREET MONUMENT           |
|  | EXIST. SD INLET & MH      |
|  | EXIST. SEWER MH           |
|  | EXIST. VALVE, TEE, & BEND |
|  | EXIST. FIRE HYDRANT       |
|  | SPOT ELEVATION            |



**KEY MAP**  
N.T.S.

**BENCHMARK**  
Vertical data (contour lines and/or spot elevations, etc.) is based on the NGVD29 elevation of 4279.30 published by the Davis County Surveyor on the brass cap monument marking the Center 1/4 Corner of Section 15, T4N, R2W.



**TIVOLI GARDENS PHASE 2**  
SYRACUSE CITY, DAVIS COUNTY, UTAH  
**1875 SOUTH PLAN AND PROFILE**

**REVISION BLOCK**

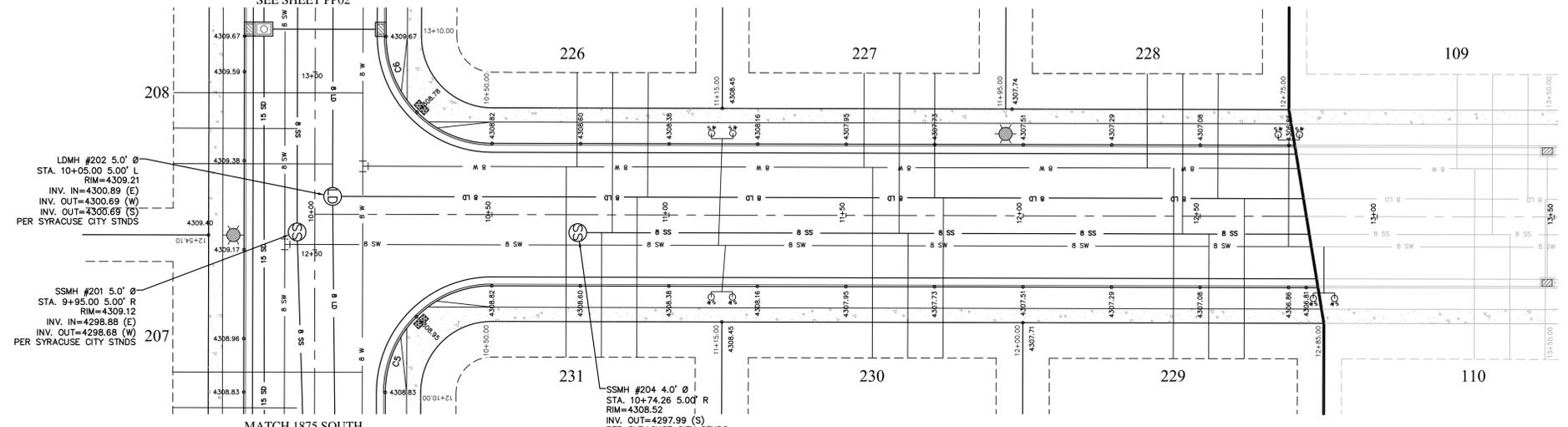
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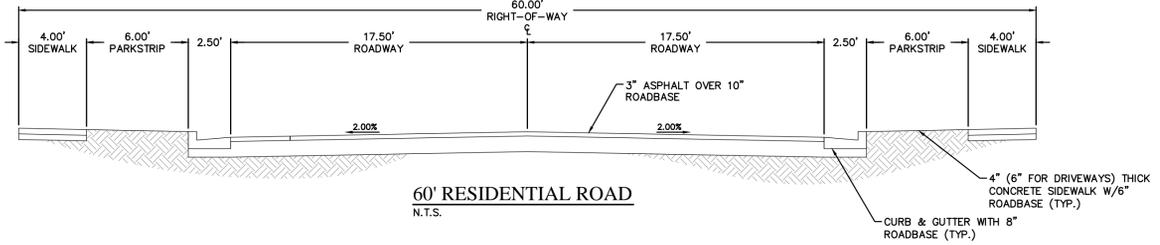
21\_2014A\14-033 Wright Development-Syracuse\Design 14-033.dwg\Sheets\Final Ph. 2\PP04.dwg

MATCH 1875 SOUTH  
PLAN AND PROFILE  
SEE SHEET PP02

MATCH 1875 SOUTH  
PLAN AND PROFILE  
SEE SHEET PP02

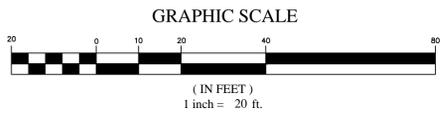


1200 WEST PHASE 2 PLAN



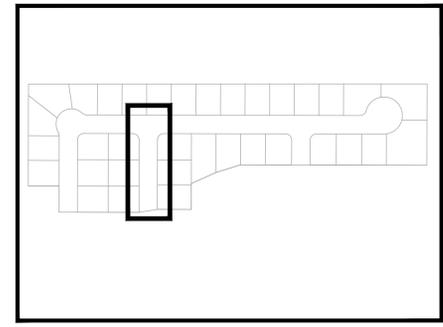
60' RESIDENTIAL ROAD  
N.T.S.

| CURVE | LENGTH  | RADIUS | DELTA      | TANGENT | CHORD DIRECTION | CHORD LENGTH |
|-------|---------|--------|------------|---------|-----------------|--------------|
| C1    | 16.23'  | 30.00' | 31°00'10"  | 8.32'   | N15°22'13"W     | 16.04'       |
| C2    | 115.48' | 40.00' | 165°25'05" | 312.64' | S51°50'15"W     | 79.35'       |
| C3    | 23.26'  | 30.00' | 44°24'55"  | 12.25'  | S67°39'40"E     | 22.68'       |
| C4    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | S45°07'52"W     | 42.43'       |
| C5    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | N44°52'08"W     | 42.43'       |
| C6    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | S45°07'52"W     | 42.43'       |
| C7    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | N44°52'08"W     | 42.43'       |
| C8    | 47.12'  | 30.00' | 90°00'00"  | 30.00'  | S45°07'52"W     | 42.43'       |
| C9    | 39.54'  | 30.00' | 75°31'21"  | 23.24'  | N52°22'12"E     | 36.74'       |
| C10   | 222.99' | 50.00' | 255°31'21" | 64.55'  | N37°37'48"W     | 79.06'       |



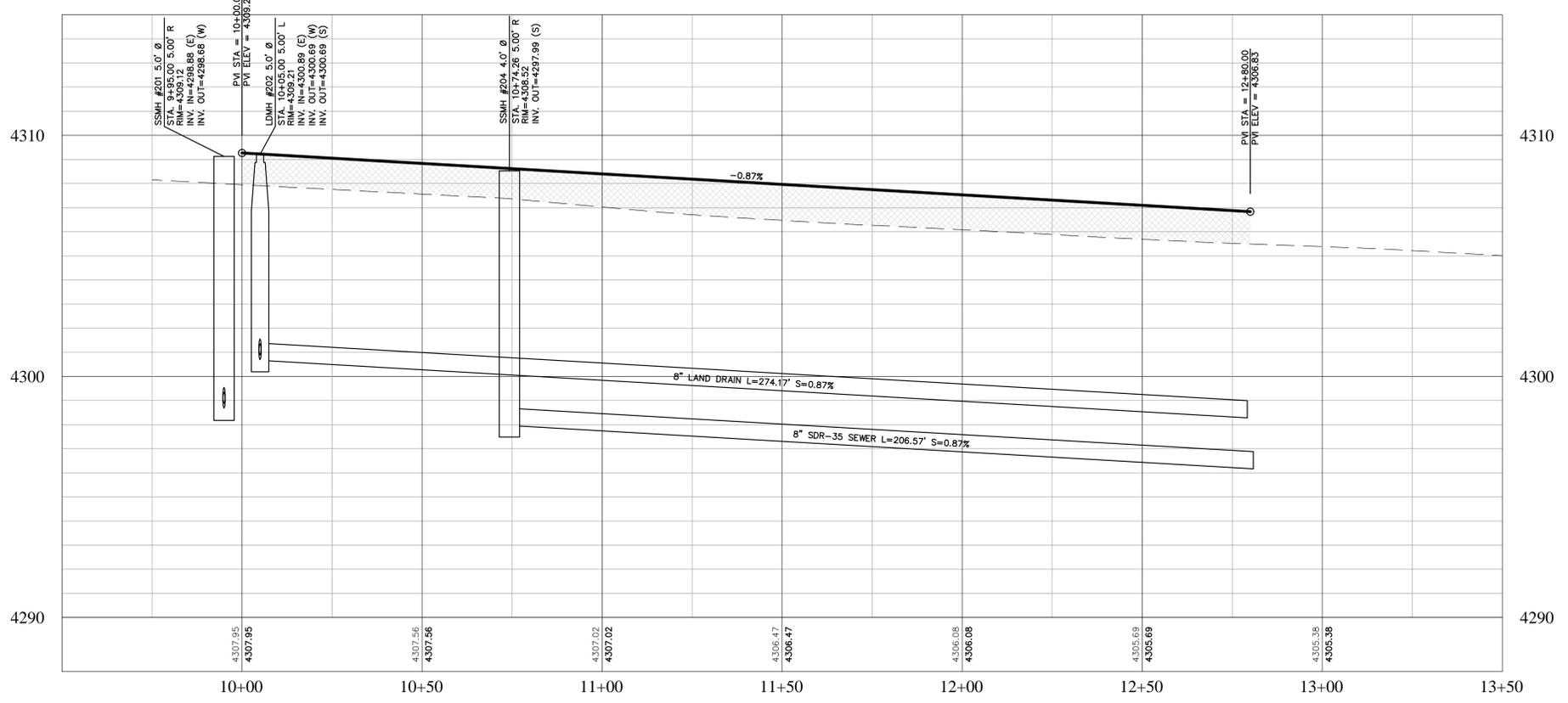
LEGEND

- BOUNDARY
- ROW
- CENTERLINE
- LOT LINE
- EASEMENT
- REVERSE-PAN CURB & GUTTER
- 15 SD 15" STORM DRAIN
- 8 SS 8" SANITARY SEWER
- 8 W 8" CULINARY WATER
- 8 SW 8" SECONDARY WATER
- XXXX CONTOUR MAJOR
- XXXX CONTOUR MINOR
- Ex SD EXIST. STORM DRAIN
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- Ex W EXIST. CULINARY WATER
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- WATER BLOW-OFF
- FIRE HYDRANT
- STREET MONUMENT
- EXIST. SD INLET & MH
- EXIST. SEWER MH
- EXIST. VALVE, TEE, & BEND
- EXIST. FIRE HYDRANT
- SPOT ELEVATION



KEY MAP  
N.T.S.

**BENCHMARK**  
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1200 WEST PHASE 2 PROFILE

**FOCUS**  
ENGINEERING AND SURVEYING, LLC  
502 WEST 8360 SOUTH  
SANDY, UTAH 84070 PH: (801) 352-0075  
www.focusutah.com

PROFESSIONAL ENGINEER  
No. 7935851-2202  
GREGORY B. DAY  
STATE OF UTAH

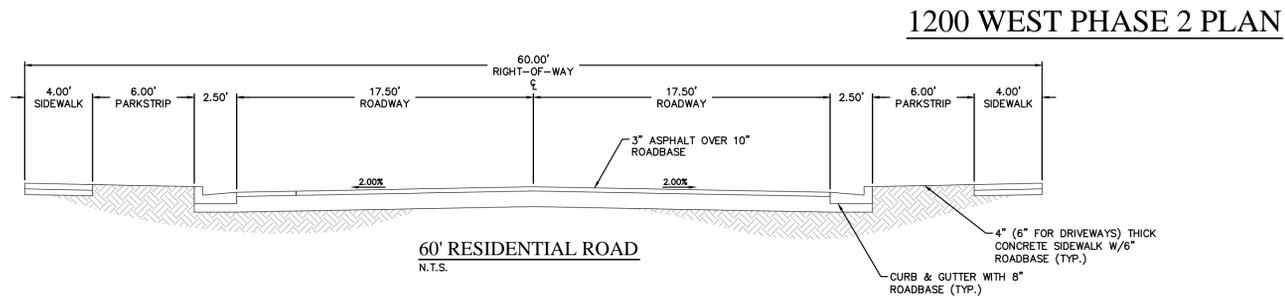
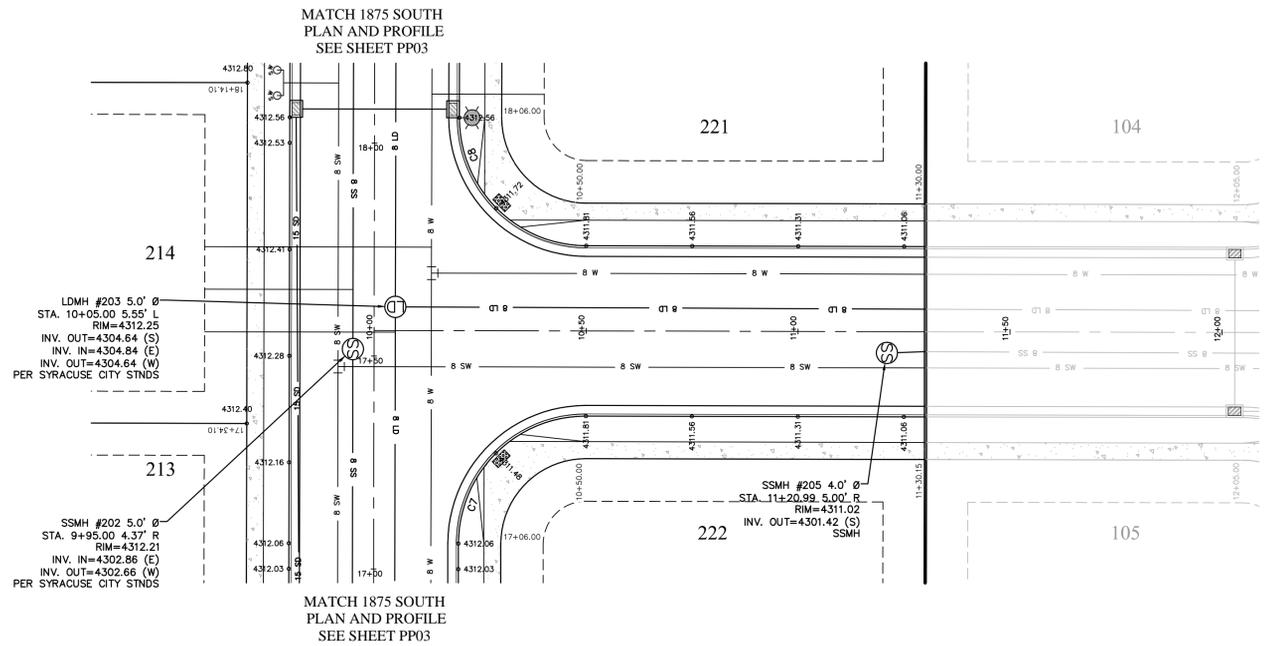
**TIVOLI GARDENS PHASE 2**  
SYRACUSE CITY, DAVIS COUNTY, UTAH  
1200 WEST PLAN AND PROFILE

| # | DATE | DESCRIPTION |
|---|------|-------------|
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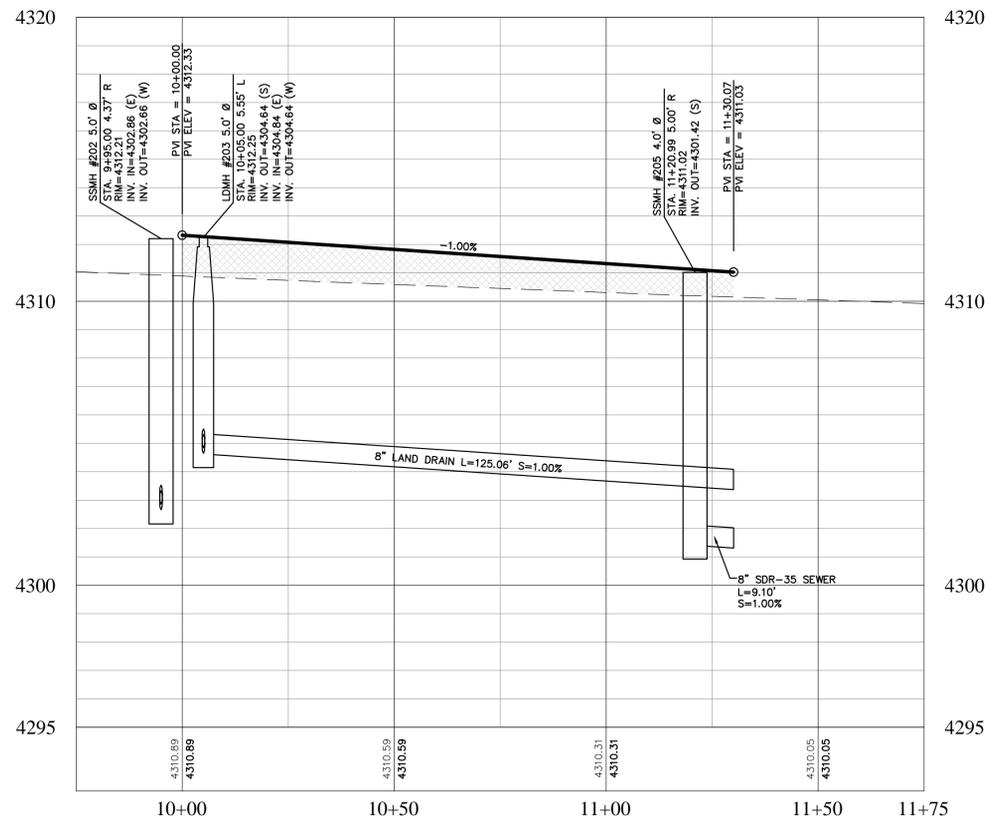
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PLAN AND  
PROFILE  
Scale: 1"=20'  
Date: 12/04/14  
Sheet: PP05  
Drawn: DRP  
Job #: 14-033



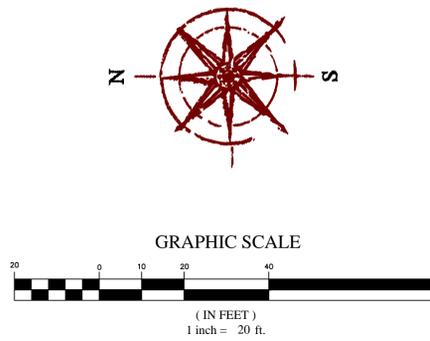
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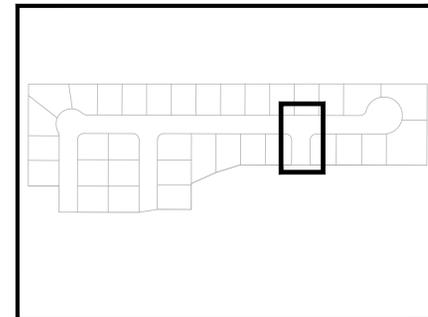
| Curve Table |         |        |            |         |                 |              |
|-------------|---------|--------|------------|---------|-----------------|--------------|
| CURVE       | LENGTH  | RADIUS | DELTA      | TANGENT | CHORD DIRECTION | CHORD LENGTH |
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1100 WEST PHASE 2 PROFILE

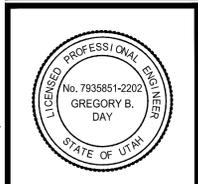


- LEGEND**
- BOUNDARY
  - ROW
  - CENTERLINE
  - LOT LINE
  - EASEMENT
  - REVERSE-PAN CURB & GUTTER
  - 15 SD 15" STORM DRAIN
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  - ⊕ SW FIRE HYDRANT
  - ⊕ STREET MONUMENT
  - ⊕ SD INLET & MH
  - ⊕ SS EXIST. SEWER MH
  - ⊕ W EXIST. VALVE, TEE, & BEND
  - ⊕ SW EXIST. FIRE HYDRANT
  - XXXX.XX SPOT ELEVATION



KEY MAP  
N.T.S.

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**TIVOLI GARDENS PHASE 2**  
SYRACUSE CITY, DAVIS COUNTY, UTAH  
1100 WEST PLAN AND PROFILE

| REVISION BLOCK |             |
|----------------|-------------|
| #              | DESCRIPTION |
| 1              |             |
| 2              |             |
| 3              |             |
| 4              |             |
| 5              |             |
| 6              |             |



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## **Engineer Final Plan Review – Tivoli Gardens Subdivision Phase 2**

### **1950 South Street & 1000 West Street**

*Completed by Brian Bloemen on December 12, 2014*

Below are the engineering comments for the final plan review of the Tivoli Gardens Subdivision Phase 2.

Plat:

1. Verify the summation of all Lots add up to the total boundary length.
2. Update the year on the signature blocks.
3. The call to the point of beginning needs to be tied to a found monument not a calculated corner.

Plans:

4. End the sewer main on 1200 West Street after the service for Lot 231 and install a manhole instead of extending the main all the way to the intersection.
5. End the sewer main on 1100 West Street at the south side of Lot 222 and install a manhole instead of extending the main all the way to the intersection.
6. The ADA ramps at 1875 South & 1200 West and 1875 South & 1100 West shall only have one truncated dome panel in the east west direction of pedestrian travel.
7. Minimum secondary water service line size is 1".

If you have any further comments or questions please feel free to contact me at 801-614-9682.

Sincerely,

Robert Whiteley  
Public Works Director



TO: Community Development, Attention: Jenny Schow  
FROM: Jo Hamblin, Fire Marshal  
RE: Tivoli Gardens Phase 2

DATE: December 16, 2014

I have reviewed the plan submitted on December 10, 2014 for the above referenced project. The Fire Prevention Division of this department has the following comments/concerns.

1. The minimum fire flow requirement is 1000 gallons per minute for 60 consecutive minutes for residential one and two family dwellings. Fire flow requirements may be increased for residential one and two family dwellings with a building footprint equal to or greater than 3,600 square feet or for buildings other than one and two family dwellings. Provide documentation that the fire flow has been confirmed through the Syracuse City Engineering Division, Water Model.
2. Fire hydrants and access roads shall be installed prior to construction of any buildings. All hydrants shall be placed with the 4 ½" connection facing the point of access for Fire Department Apparatus. Provide written assurance that this will be met.
  - The fire hydrants exceed the maximum travel distance required in table C105.1 of the 2012 IFC please adjust the hydrants to meet the requirement. The hydrant on lot # 231 is the one that needs to be adjusted.
3. Prior to beginning construction of any buildings, a fire flow test of the new hydrants shall be conducted to verify the actual fire flow for this project. The Fire Prevention Division of this department shall witness this test and shall be notified a minimum of 48 hours prior to the test.

These plans have been reviewed for Fire Department requirements only. Other departments must review these plans and will have their requirements. This review by the Fire Department must not be construed as final approval from Syracuse City.

Sincerely,

Jo Hamblin  
Deputy Chief/ Fire Marshal  
Syracuse City Fire Department

---

1869 South 3000 West, Syracuse, Utah 84075  
801-614-9614 (Station)  
801-776-1976 (Fax)



**SYRACUSE**  
EST. CITY 1935

## Subdivision Final Plan Review

**Subdivision:** Tivoli Gardens Phase 2

**Date:** January 5, 2015

**Completed By:** Jenny Schow, City Planner

**Updated:**

| <b>8-6-010: Final Plat:</b> |                                                                                                                                                                                                                        | <b>Planning Staff Review:</b>                                                                          |
|-----------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|
| 1.                          | Proposed name of subdivision (to be approved by Planning Commission and County Recorder).                                                                                                                              | Yes                                                                                                    |
| 2.                          | Accurate angular and linear dimensions for all lines, angles and curves used to describe boundaries, streets, easements, areas reserved for public use, etc.                                                           | No, Public Utility Easements are missing from the lots. Typical is 10' rear and front, 7.5' side yard. |
| 3.                          | Identification system for lots, blocks, and names of streets. Lot lines show dimensions in feet and hundredths.                                                                                                        | Clean up street labels and include Public Street below name. Fix lot dimensions on lot 202 and 217     |
| 4.                          | Street addresses shown for each lot as assigned by the City.                                                                                                                                                           | No-Update as submitted by the City                                                                     |
| 5.                          | True angles and distances to nearest street lines or official monuments as accurately described and shown by appropriate symbol.                                                                                       | Yes                                                                                                    |
| 6.                          | Radii, internal angles, points and curvatures, tangent bearings and the length of all arcs.                                                                                                                            | Yes                                                                                                    |
| 7.                          | Accurate location of all monuments to be Installed, shown by appropriate symbol.                                                                                                                                       | Refer to City Engineer                                                                                 |
| 8.                          | Dedication to City of all streets, highways and other public uses and easements included in the proposed subdivision.                                                                                                  | Yes                                                                                                    |
| 9.                          | Street monuments shown on Final Plat as approved by City Engineer.                                                                                                                                                     | Refer to City Engineer                                                                                 |
| 10.                         | Pipes or other iron markers shown on the plat.                                                                                                                                                                         | Refer to City Engineer                                                                                 |
| 11.                         | Accurate outlines and dimensions of any areas to be dedicated or reserved for public use, with the purposes indicated thereon, and any areas to be reserved by deed or covenant for common use of all property owners. | Yes                                                                                                    |
| 12.                         | All boundary, lot and other geometrics (bearings, distances, curve data etc.) on Final Plat accurate to not less than one part in five thousand (1/5000).                                                              | Refer to City Engineer                                                                                 |
| 13.                         | Location, function, ownership and manner of maintenance of common open space not reserved or dedicated for public use.                                                                                                 | Maintenance Agreement for Storm Detention will be required prior to recording.                         |
| 14.                         | Legal boundary description of the subdivision and acreage included.                                                                                                                                                    | Yes                                                                                                    |
| 15.                         | Current inset City map showing location of subdivision.                                                                                                                                                                | Yes                                                                                                    |
| 16.                         | Standard signatures forms/boxes reflected on the Final Plat as designated by City Code                                                                                                                                 | Yes                                                                                                    |

|                                        |                            |
|----------------------------------------|----------------------------|
| <b>8-6-020: Final Plan and Profile</b> | <b>See Engineer Review</b> |
|----------------------------------------|----------------------------|

| <b>Conditional Items of Final Plan Approval</b> |  |
|-------------------------------------------------|--|
| 1.                                              |  |
| 2.                                              |  |

| <b>Conditional Items of Final Plan Approval for Preconstruction</b> |                                                                   |
|---------------------------------------------------------------------|-------------------------------------------------------------------|
| 1.                                                                  | Construction Drawing Prints and PDF files                         |
| 2.                                                                  | Schedule a preconstruction meeting                                |
| 3.                                                                  | Bond estimate using the City template                             |
| 4.                                                                  | Final Inspection Fees as calculated in the approved bond estimate |
| 5.                                                                  | Offsite Improvement Agreement                                     |
| 6.                                                                  | BMP Facilities Maintenance Agreement (Parcel A)                   |
| 7.                                                                  | Streetlight Agreement                                             |
| 8.                                                                  | SWPPP NOI                                                         |
| 9.                                                                  | SWPPP City Permit                                                 |
| 10.                                                                 | Fugitive Dust Control Plan                                        |

| <b>Conditional Items of Final Plan Approval for Recording</b> |                                                                                                       |
|---------------------------------------------------------------|-------------------------------------------------------------------------------------------------------|
| 1.                                                            | Escrow Agreement                                                                                      |
| 2.                                                            | Water Shares                                                                                          |
| 3.                                                            | Title Report - must be dated within 30 days of recording                                              |
| 4.                                                            | Recording fees: \$37/page +\$1/lot and any common space as well as \$1/land-owner signatures over two |



# General Plan Amendment 1000 W 1900 S Wright Development Group





# COUNCIL AGENDA

July 28, 2015

Agenda Item **d**                      Discuss RDA tax rebate payment to Syracuse Family Fun Center aka The Rush Funplex.

## *Factual Summation*

- Any questions about this agenda item may be directed at Finance Director Stephen Marshall. See the attached RDA estimated tax increment spreadsheet. Also see the contract with the Syracuse Family Fun Center.
- The RDA board entered into a contract with the Syracuse Family Fun Center a.k.a. The Rush Funplex on April 11, 2013. As part of this agreement, the Rush agreed to expand its facilities by adding a pool, go-carts, and extra amenities. This expansion was estimated to bring an increase in taxable value of \$6,000,000. In return, the RDA board agreed to rebate a portion of the property taxes paid by the Rush over a period of 20 years. The contract stipulates that if the value added to the RDA is less than \$6,000,000, then a proportionate share of the tax rebate would be paid.
- The Rush Funplex parcel ID was 12-726-0001 in CY2013 and had a total assessed value of \$2,900,000. The Rush amended its parcel ID and combined 2 separate parcels and created a new parcel ID 12-780-0001 for the CY2014 tax year. The total current value assessed on this parcel ID is \$6,330,000. The net increase in value added is \$3,430,000. This means that the proportionate share of the rebate payment that will be owed to Syracuse Family Fun Center in the future is 57.2% of the amounts stipulated in the contract. For example, for the CY2015 tax year that will be paid in April of 2016, the amount in the contract stipulates \$168,000. If you take  $57.2\% \times 168,000 = \$96,096.00$ .

- I have also calculated the estimated benefit that the Rush FunPlex and other Gertge owned properties generate in the RDA as follows:

| <b>Parcel ID</b>               | <b>Assessed Value</b> |
|--------------------------------|-----------------------|
| 127800001                      | \$6,330,000           |
| 127260002                      | \$1,880,000           |
| 127260003                      | \$203,856             |
| 127260005                      | \$560,000             |
| <b>Total Gertge Properties</b> | <b>\$8,973,856</b>    |
| <b>Total of All RDA Prop.</b>  | <b>\$27,404,231</b>   |
| <b>% of Total RDA Value</b>    | <b>32.75%</b>         |
|                                |                       |

- The total estimated value added increment over the remaining years of the RDA is = **\$1,406,674.64**. The total estimated rebate to the Rush Funplex over the remaining years of the RDA = **\$1,391,952**. This is taking into account the adjustment to the 57.2% for actual value added.
- Ed Gertge, owner of the Rush FunPlex, is requesting a possible discussion about amendments to the contract in order to front load the rebate payments over the next few years.

**Recommendation**

Discuss potential amendments to the contract and/or the possibility of front loading future rebate payments.

## 1700 South RDA

|                                   | <b>FINAL<br/>FY2012</b> | <b>FINAL<br/>FY2013</b> | <b>FINAL<br/>FY2014</b> | <b>FINAL<br/>FY2015</b> | <b>Projected<br/>FY2016</b> | <b>Projected<br/>FY2017</b> | <b>Projected<br/>FY2018</b> |
|-----------------------------------|-------------------------|-------------------------|-------------------------|-------------------------|-----------------------------|-----------------------------|-----------------------------|
| <b>Tax Increment Calculation</b>  |                         |                         |                         |                         |                             |                             |                             |
| RDA Area Tax Rate                 | 0.014706                | 0.01459                 | 0.014285                | 0.013538                | 0.013538                    | 0.013538                    | 0.013538                    |
| Est. Tax Incremental Value        | \$ 24,653,960           | \$ 22,828,519           | \$ 22,803,311.00        | \$ 22,966,590.00        | \$ 24,857,789.00            | \$ 24,112,055.33            | \$ 23,388,693.67            |
| Percentage of Tax Incr.           | 100%                    | 80%                     | 80%                     | 80%                     | 80%                         | 80%                         | 75%                         |
| <b>Est. Tax Increment</b>         | <b>\$ 362,561.14</b>    | <b>\$ 266,454.00</b>    | <b>\$ 260,596.00</b>    | <b>\$ 248,737.00</b>    | <b>\$ 269,219.80</b>        | <b>\$ 261,143.20</b>        | <b>\$ 237,477.10</b>        |
| <b>Fun Center Value Added</b>     | <b>\$ 112,805.69</b>    | <b>\$ 83,933.01</b>     | <b>\$ 82,087.74</b>     | <b>\$ 78,352.15</b>     | <b>\$ 88,169.48</b>         | <b>\$ 85,524.40</b>         | <b>\$ 77,773.75</b>         |
| <b>Revenues</b>                   |                         |                         |                         |                         |                             |                             |                             |
| Tax Increment                     | \$ 362,561.14           | \$ 266,454.00           | \$ 260,596.00           | \$ 248,737.00           | \$ 269,219.80               | \$ 261,143.20               | \$ 237,477.10               |
| Interest                          | \$ 2,730.04             | \$ 3,077.84             | \$ 2,053.56             | \$ 2,754.33             | \$ 1,500.00                 | \$ 500.00                   | \$ 500.00                   |
| <b>Total Revenues</b>             | <b>\$ 365,291.18</b>    | <b>\$ 269,531.84</b>    | <b>\$ 262,649.56</b>    | <b>\$ 251,491.33</b>    | <b>\$ 270,719.80</b>        | <b>\$ 261,643.20</b>        | <b>\$ 237,977.10</b>        |
| <b>Expenses</b>                   |                         |                         |                         |                         |                             |                             |                             |
| Infrastructure Impr.              | \$ -                    | \$ 56,922.07            | \$ -                    | \$ -                    | \$ 100,000.00               | \$ 100,000.00               | \$ 50,000.00                |
| Beautification & Tentant Outreach | \$ -                    |                         |                         |                         |                             |                             |                             |
| Repayment to Holrob               | \$ 79,392.00            | \$ 63,514.00            | \$ 63,514.00            | \$ 63,514.00            | \$ 63,515.00                | \$ 63,515.00                | \$ 59,544.00                |
| Repayment to City                 | \$ 40,173.00            | \$ 7,930.00             | \$ 7,930.00             | \$ 7,930.00             | \$ 7,930.00                 | \$ 7,930.00                 | \$ 7,435.00                 |
| Repayment to Fun Center           |                         | <b>\$ 100,000.00</b>    | <b>\$ 296,000.00</b>    | <b>\$ 100,200.00</b>    | <b>\$ 96,096.00</b>         | <b>\$ 96,096.00</b>         | <b>\$ 96,096.00</b>         |
| Interest Expense                  |                         |                         |                         |                         |                             |                             |                             |
| Office Supplies/Prof Tech         |                         | \$ -                    | \$ 2,677.50             | \$ 1,215.00             | \$ 2,000.00                 | \$ 2,000.00                 | \$ 2,000.00                 |
| RDA Management Fee                | \$ 54,384.17            | \$ 39,968.10            | \$ 13,029.80            | \$ 12,436.38            | \$ 13,460.99                | \$ 13,057.16                | \$ 11,873.86                |
| <b>Total Expenses</b>             | <b>\$ 173,949.17</b>    | <b>\$ 268,334.17</b>    | <b>\$ 383,151.30</b>    | <b>\$ 185,295.38</b>    | <b>\$ 283,001.99</b>        | <b>\$ 282,598.16</b>        | <b>\$ 226,948.86</b>        |
| Net increase (decrease)           | \$ 191,342.01           | \$ 1,197.67             | \$ (120,501.74)         | \$ 66,195.95            | \$ (12,282.19)              | \$ (20,954.96)              | \$ 11,028.25                |
| Beginning Fund Balance            | \$ 197,643.13           | \$ 388,985.14           | \$ 390,182.81           | \$ 269,681.07           | \$ 335,877.02               | \$ 323,594.83               | \$ 302,639.88               |
| Change in Fund Balance            | \$ 191,342.01           | \$ 1,197.67             | \$ (120,501.74)         | \$ 66,195.95            | \$ (12,282.19)              | \$ (20,954.96)              | \$ 11,028.25                |
| Ending Fund Balance               | <b>\$ 388,985.14</b>    | <b>\$ 390,182.81</b>    | <b>\$ 269,681.07</b>    | <b>\$ 335,877.02</b>    | <b>\$ 323,594.83</b>        | <b>\$ 302,639.88</b>        | <b>\$ 313,668.12</b>        |

## 1700 South RDA

| Projected<br><u>FY2019</u>          | Projected<br><u>FY2020</u>          | Projected<br><u>FY2021</u>          | Projected<br><u>FY2022</u>          | Projected<br><u>FY2023</u>          | Projected<br><u>FY2024</u>          | Projected<br><u>FY2025</u>          | Projected<br><u>FY2026</u>          |
|-------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|
| 0.013538<br>\$ 22,687,032.86<br>75% | 0.013538<br>\$ 22,006,421.87<br>75% | 0.013538<br>\$ 21,346,229.22<br>75% | 0.013538<br>\$ 20,705,842.34<br>75% | 0.013538<br>\$ 20,084,667.07<br>70% | 0.013538<br>\$ 19,482,127.06<br>70% | 0.013538<br>\$ 18,897,663.25<br>70% | 0.013538<br>\$ 18,330,733.35<br>70% |
| \$ 230,352.79                       | \$ 223,442.20                       | \$ 216,738.94                       | \$ 210,236.77                       | \$ 190,334.36                       | \$ 184,624.33                       | \$ 179,085.60                       | \$ 173,713.03                       |
| \$ 75,440.54                        | \$ 73,177.32                        | \$ 70,982.00                        | \$ 68,852.54                        | \$ 62,334.50                        | \$ 60,464.47                        | \$ 58,650.53                        | \$ 56,891.02                        |
| \$ 230,352.79                       | \$ 223,442.20                       | \$ 216,738.94                       | \$ 210,236.77                       | \$ 190,334.36                       | \$ 184,624.33                       | \$ 179,085.60                       | \$ 173,713.03                       |
| \$ 500.00                           | \$ 500.00                           | \$ 500.00                           | \$ 500.00                           | \$ 500.00                           | \$ 500.00                           | \$ 500.00                           | \$ 500.00                           |
| <u>\$ 230,852.79</u>                | <u>\$ 223,942.20</u>                | <u>\$ 217,238.94</u>                | <u>\$ 210,736.77</u>                | <u>\$ 190,834.36</u>                | <u>\$ 185,124.33</u>                | <u>\$ 179,585.60</u>                | <u>\$ 174,213.03</u>                |
| \$ 50,000.00                        | \$ 75,000.00                        | \$ 100,000.00                       | \$ 75,000.00                        | \$ 70,000.00                        | \$ 70,000.00                        | \$ 60,000.00                        | \$ 60,000.00                        |
| \$ 59,544.00                        | \$ 59,544.00                        | \$ 59,544.00                        | \$ 59,544.00                        | \$ 55,575.00                        | \$ 45,550.00                        | \$ -                                | \$ -                                |
| \$ 7,435.00                         | \$ 7,435.00                         | \$ 7,435.00                         | \$ 7,435.00                         | \$ 6,939.00                         | \$ 10,025.00                        | \$ 62,514.00                        | \$ 62,514.00                        |
| \$ 96,096.00                        | \$ 54,912.00                        | \$ 51,480.00                        | \$ 51,480.00                        | \$ 48,048.00                        | \$ 48,048.00                        | \$ 41,184.00                        | \$ 41,184.00                        |
| \$ 2,000.00                         | \$ 2,000.00                         | \$ 2,000.00                         | \$ 2,000.00                         | \$ 2,000.00                         | \$ 2,000.00                         | \$ 2,000.00                         | \$ 2,000.00                         |
| \$ 11,517.64                        | \$ 11,172.11                        | \$ 10,836.95                        | \$ 10,511.84                        | \$ 9,516.72                         | \$ 9,231.22                         | \$ 8,954.28                         | \$ 8,685.65                         |
| <u>\$ 226,592.64</u>                | <u>\$ 210,063.11</u>                | <u>\$ 231,295.95</u>                | <u>\$ 205,970.84</u>                | <u>\$ 192,078.72</u>                | <u>\$ 184,854.22</u>                | <u>\$ 174,652.28</u>                | <u>\$ 174,383.65</u>                |
| \$ 4,260.15                         | \$ 13,879.09                        | \$ (14,057.01)                      | \$ 4,765.93                         | \$ (1,244.36)                       | \$ 270.11                           | \$ 4,933.32                         | \$ (170.62)                         |
| \$ 313,668.12                       | \$ 317,928.27                       | \$ 331,807.37                       | \$ 317,750.36                       | \$ 322,516.29                       | \$ 321,271.93                       | \$ 321,542.04                       | \$ 326,475.35                       |
| \$ 4,260.15                         | \$ 13,879.09                        | \$ (14,057.01)                      | \$ 4,765.93                         | \$ (1,244.36)                       | \$ 270.11                           | \$ 4,933.32                         | \$ (170.62)                         |
| <u>\$ 317,928.27</u>                | <u>\$ 331,807.37</u>                | <u>\$ 317,750.36</u>                | <u>\$ 322,516.29</u>                | <u>\$ 321,271.93</u>                | <u>\$ 321,542.04</u>                | <u>\$ 326,475.35</u>                | <u>\$ 326,304.73</u>                |

## 1700 South RDA

| Projected<br><u>FY2027</u> | Projected<br><u>FY2028</u> | Projected<br><u>FY2029</u> | Projected<br><u>FY2030</u> | Projected<br><u>FY2031</u> | Projected<br><u>FY2032</u> |                 |
|----------------------------|----------------------------|----------------------------|----------------------------|----------------------------|----------------------------|-----------------|
| 0.013538                   | 0.013538                   | 0.013538                   | 0.013538                   | 0.013538                   | 0.013538                   |                 |
| \$ 17,780,811.35<br>70%    | \$ 17,247,387.01<br>60%    | \$ 16,729,965.40<br>60%    | \$ 16,228,066.44<br>60%    | \$ 15,741,224.44<br>60%    | \$ 15,268,987.71<br>60%    |                 |
| \$ 168,501.64              | \$ 140,097.08              | \$ 135,894.16              | \$ 131,817.34              | \$ 127,862.82              | \$ 124,026.93              |                 |
| \$ 55,184.29               | \$ 45,881.79               | \$ 44,505.34               | \$ 43,170.18               | \$ 41,875.07               | \$ 40,618.82               | \$ 1,406,674.64 |
| \$ 168,501.64              | \$ 140,097.08              | \$ 135,894.16              | \$ 131,817.34              | \$ 127,862.82              | \$ 124,026.93              |                 |
| \$ 500.00                  | \$ 500.00                  | \$ 500.00                  | \$ 500.00                  | \$ 500.00                  | \$ 500.00                  |                 |
| <u>\$ 169,001.64</u>       | <u>\$ 140,597.08</u>       | <u>\$ 136,394.16</u>       | <u>\$ 132,317.34</u>       | <u>\$ 128,362.82</u>       | <u>\$ 124,526.93</u>       |                 |
| \$ 60,000.00               | \$ 60,000.00               | \$ 35,000.00               | \$ 45,000.00               | \$ 40,000.00               | \$ 58,322.33               |                 |
| \$ -                       | \$ -                       | \$ -                       | \$ -                       | \$ -                       | \$ -                       |                 |
| \$ 62,514.00               | \$ 44,653.00               | \$ 53,583.00               | \$ 53,583.00               | \$ 53,583.00               | \$ 53,583.00               |                 |
| \$ 34,320.00               | \$ 34,320.00               | \$ 34,320.00               | \$ 27,456.00               | \$ 27,456.00               | \$ 17,160.00               | \$ 1,391,952.00 |
| \$ 2,000.00                | \$ 2,000.00                | \$ 2,000.00                | \$ 2,000.00                | \$ 2,000.00                | \$ 2,000.00                |                 |
| \$ 8,425.08                | \$ 7,004.85                | \$ 6,794.71                | \$ 6,590.87                | \$ 6,393.14                | \$ 6,201.35                |                 |
| <u>\$ 167,259.08</u>       | <u>\$ 147,977.85</u>       | <u>\$ 131,697.71</u>       | <u>\$ 134,629.87</u>       | <u>\$ 129,432.14</u>       | <u>\$ 137,266.68</u>       |                 |
| \$ 1,742.55                | \$ (7,380.78)              | \$ 4,696.45                | \$ (2,312.53)              | \$ (1,069.32)              | \$ (12,739.74)             |                 |
| \$ 326,304.73              | \$ 328,047.28              | \$ 320,666.50              | \$ 325,362.96              | \$ 323,050.43              | \$ 321,981.11              |                 |
| \$ 1,742.55                | \$ (7,380.78)              | \$ 4,696.45                | \$ (2,312.53)              | \$ (1,069.32)              | \$ (12,739.74)             |                 |
| <u>\$ 328,047.28</u>       | <u>\$ 320,666.50</u>       | <u>\$ 325,362.96</u>       | <u>\$ 323,050.43</u>       | <u>\$ 321,981.11</u>       | <u>\$ 309,241.36</u>       |                 |

AMENDED AGREEMENT FOR THE EXPANSION OF THE  
SYRACUSE FAMILY FUN CENTER

This Amended Agreement for the Development of the Syracuse Family Fun Center site (this “Amended Agreement”) is made and entered into as of this 11<sup>th</sup> day of April, 2013 (the “Effective Date”), by and among SYRACUSE FAMILY FUN CENTER, a limited liability company (the “Developer”), and the REDEVELOPMENT AGENCY OF SYRACUSE CITY, a body corporate and politic of the State of Utah (the “Agency”).

The Developer and the Agency are sometimes referred to individually in this Amended Agreement as a “Party” and collectively as the “Parties.”

RECITALS

- A. In furtherance of the objectives of the Community Development and Renewal Agencies Act, Utah Code Ann. § 17C-3-101, et. seq. (the “Act”), the Agency has undertaken the creation of a redevelopment project area for the development of a certain geographic area known as the “Town Center Project Area” (the “Project Area”), located in Syracuse, Utah; and
- B. The Agency has approved and the City Council of the City has adopted a redevelopment plan which is attached hereto as Exhibit A (the “Redevelopment Plan”) providing for the development of real property located in the Project Area and the future use of such land; and
- C. The Developer desires to expand the Syracuse Family Fun Center (“Expansion”) by adding 80,000 square feet (“sf”) of recreational space as follows:
  - 1. 24,000 sf aquatic center; and
  - 2. 56,000 sf of additional activities, including:
    - a. 28,000 sf of Go-Karts and race track (adult and kiddie-kart size); and
    - b. 28,000 sf with a combination of activities such as:
      - i. Bounce toys;
      - ii. Bowling;

- iii. Batting cages; and
- iv. Locker rooms; and

- D. The Agency believes that the expansion of the Syracuse Family Fun Center is in the vital and best interests of the Agency, and in the best interests of the health, safety, and welfare of community residents, and in accord with the public purposes and provisions of the applicable laws of the State of Utah (the “State”) and requirements under which the Project Area and its development is undertaken and is being assisted by the Agency; and
- E. On August 30, 2012 the parties entered into an Agreement, attached hereto as Exhibit B, which included a construction deadline of May 31, 2013, however as of the date of this Amended Agreement construction has not begun and a new agreement is necessary to fulfill the objectives of both parties; and
- F. On the basis of the foregoing and the undertakings of the Developer pursuant to this Amended Agreement, and to enable the Agency to achieve the objectives of the Redevelopment Plan, the Agency is willing, in the manner set forth herein, to assist the Developer in the expansion of the Syracuse Family Fun Center for the purpose of accomplishing the provisions of the Redevelopment Plan, and the provisions of this Agreement;

NOW THEREFORE, in consideration of the covenants and agreements set forth in this Amended Agreement, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties hereby agree mutually agree to relieve each other of all obligations incurred under the Agreement entered into on August 30, 2012, and instead enter this Amended Agreement:

#### ARTICLE I: DEVELOPER’S OBLIGATIONS

Section 1.1 The Developer hereby agrees to the following:

- A. Development of Facilities. The Developer shall construct, and maintain the following facilities for a minimum useful life of twenty [20] years at the Syracuse Family Fun Center site:

- i. *Aquatic Center.* A 24,000 square foot Aquatic Center will be constructed substantially in accordance with the zoning, subdivision, development, growth management, transportation, environmental, open space, and other land use plans, policies, processes, ordinances, and regulations in existence and effective on the date of final approval of this Amended Agreement, and applying the terms and conditions of this Amended Agreement.
- ii. *Additional Facilities.* An additional 56,000 square feet of space for additional recreational activities, to include but not be limited to: A go-kart race track 28,000 sf in size; bounce toys; bowling alley; batting cages; and locker room facilities for the aquatic center. Such expansion shall be constructed substantially in accordance with the zoning, subdivision, development, growth management, transportation, environmental, open space, and other land use plans, policies, processes, ordinances, and regulations in existence and effective on the date of final approval of this Amended Agreement, and applying the terms and conditions of this Amended Agreement.
- iii. *Infrastructure/On-site Improvements.* The Developer shall construct and develop, in accordance with all applicable city standards, all on-site improvements, including but not limited to, storm water detention facilities, drainage facilities, sidewalks, curb and gutter, roads both ingress and egress as required to access the Syracuse Family Fun Center, landscaping, trails, water systems, sanitary sewer, street lighting, fencing and/or walls, flood control and other improvements required by Syracuse as part of the Site Plan and subdivision approval process. All required onsite improvements shall be completed prior to the date the City issues an occupancy permit (the "Operational Date").

B. Increase Assessed Value. The Developer assumes Expansion will increase value of the property of Syracuse Family Fun Center by no less than six million dollars (\$6,000,000) as

assessed by the Davis County Assessor's Office on January 1, 2014 compared to the January 2013 assessment by said office.

- C. Payment of Fees. The parties anticipate that Expansion will require Developer to pay Syracuse City and other agencies approximately two hundred eight thousand one hundred nineteen dollars and forty cents (\$208,119.40) in building permit fees, site plan review fees, impact fees, and development fees ("Anticipated Fees"), attached hereto as Exhibit C. Developer shall pay the Anticipated Fees, and all other fees assessed by Syracuse City and other government entities which are required to begin construction of Expansion, in the normal course of business, which is anticipated to be when Developer applies for the building permit. In the event the Anticipated Fees are not paid in full prior to the first payment of the Property Tax Rebate (as defined herein), the Agency may deduct all unpaid Anticipated Fees from the first payment of Property Tax Rebate and directly pay Syracuse City the Anticipated Fees up to the full value of the first payment of the Property Tax Rebate. In such event, the Agency shall provide Developer with an itemized list of all Anticipated Fees to Syracuse City which have been paid.
- D. Payment of Ad Valorem Taxes and Supplemental Payments. The Developer shall pay all real and personal property taxes (the "ad valorem taxes") for the Syracuse Family Fun Center site based on the taxable value of the Syracuse Family Fun Center site (the "Assessed Taxable Value") for the time period of this Amended Agreement. Subject to the Developer's right to protest or appeal as provided below, for each tax increment year, all ad valorem taxes and assessments levied or imposed on the Syracuse Family Fun Center, any of the improvements, and any personal property on site shall be paid annually by the Developer or current owner before the delinquency date which is currently set by Utah Code §59-2-1331 as December 1. The Developer shall have the right to protest or appeal the amount of Assessed Taxable Value and taxes levied against the Syracuse Family Fun Center Property by the County Assessor, State Tax Commission or any lawful entity authorized by law to determine the ad valorem taxes against the Syracuse Family

Fun Center site, the improvements, personal property on the Syracuse Family Fun Center site, or any portion thereof in the same manner as any other taxpayer as provided by law. The Developer shall, however, notify the Agency in writing within ten (10) calendar days of the Developer's or then current property owner's filing of any protest or appeal of such assessment determination or taxes and provide a copy to the Agency of any protest or appeal of such assessment and information submitted as part of the protest or appeal. In addition, the Developer shall give to the Agency written notice at least fifteen (15) calendar days prior to the time and date of such protest or appeal is to be heard. The Agency shall have the right, without objection by the Developer, to appear at the time and date of such protest or appeal and to present oral or written information or evidence in support of, or objection to the amount of assessment or taxes which should or should not be assessed against the real or personal property of the Syracuse Family Fun Center site.

- E. Developer hereby agrees to reasonably cooperate with Syracuse Parks and Recreation Department, Syracuse High School, and the Davis County School District to seek out and provide opportunities to residents and students for programs uniquely available to communities with swimming pools. For purposes of this paragraph, "reasonably cooperate" refers only to availability of the facilities and the schedules of activities. "Reasonably cooperate" does not contemplate pricing or payments to use facilities.

## ARTICLE II

### AGENCY OBLIGATIONS AND UNDERTAKINGS

Section 2.1 Agency Rebate to Developer. The Agency has created the Project Area for improvements related to the Syracuse Town Center. In consideration of the Developer's performance of its obligations under this Amended Agreement, and subject to the conditions, terms and limitations set forth in this Amended Agreement, including those set forth in Article I, the Agency agrees to rebate to the Developer no more than two million one hundred thirty thousand dollars (\$2,130,000) of the ad valorem taxes received by the

Agency paid on the real property within the Tax Increment Collection Area (as defined in the Redevelopment Plan) (the “Property Tax Rebate”), to be distributed as indicated in the table below:

| <b>Fiscal Year<br/>July 1 – Jun 30</b> | <b>Projected taxes<br/>received by<br/>Agency</b> | <b>% of tax<br/>increment<br/>received by<br/>Agency</b> | <b>Rebate<br/>amount to<br/>Developer</b> |
|----------------------------------------|---------------------------------------------------|----------------------------------------------------------|-------------------------------------------|
| <b>FY 2013</b>                         | \$266,454.47                                      | 80%                                                      | \$150,000.00 to<br>\$300,000.00           |
| <b>FY 2014</b>                         | \$258,460.84                                      | 80%                                                      | \$96,000.00                               |
| <b>FY 2015</b>                         | \$320,739.01                                      | 80%                                                      | \$168,000.00                              |
| <b>FY 2016</b>                         | \$311,116.84                                      | 80%                                                      | \$168,000.00                              |
| <b>FY 2017</b>                         | \$301,783.34                                      | 80%                                                      | \$168,000.00                              |
| <b>FY 2018</b>                         | \$274,434.22                                      | 75%                                                      | \$168,000.00                              |
| <b>FY 2019</b>                         | \$266,201.20                                      | 75%                                                      | \$168,000.00                              |
| <b>FY 2020</b>                         | \$258,215.16                                      | 75%                                                      | \$96,000.00                               |
| <b>FY 2021</b>                         | \$250,458.71                                      | 75%                                                      | \$90,000.00                               |
| <b>FY 2022</b>                         | \$242,954.64                                      | 75%                                                      | \$90,000.00                               |
| <b>FY 2023</b>                         | \$219,954.94                                      | 70%                                                      | \$84,000.00                               |
| <b>FY 2024</b>                         | \$213,356.29                                      | 70%                                                      | \$84,000.00                               |
| <b>FY 2025</b>                         | \$206,955.60                                      | 70%                                                      | \$72,000.00                               |
| <b>FY 2026</b>                         | \$200,746.96                                      | 70%                                                      | \$72,000.00                               |
| <b>FY 2027</b>                         | \$194,724.53                                      | 70%                                                      | \$60,000.00                               |
| <b>FY 2028</b>                         | \$161,899.53                                      | 60%                                                      | \$60,000.00                               |
| <b>FY 2029</b>                         | \$157,042.55                                      | 60%                                                      | \$60,000.00                               |
| <b>FY 2030</b>                         | \$152,331.33                                      | 60%                                                      | \$48,000.00                               |
| <b>FY 2031</b>                         | \$147,761.33                                      | 60%                                                      | \$48,000.00                               |
| <b>FY 2032</b>                         | \$143,328.49                                      | 60%                                                      | \$30,000.00                               |
| <b>TOTAL</b>                           | <b>\$4,548,929.91</b>                             | <b>N/A</b>                                               | <b>\$2,130, 000.00</b>                    |

A. Projected taxes received is an estimate. The projected taxes received is an estimate based on several assumptions, including but not limited to the following: Davis County will assess an increased value to the Syracuse Family Fun Center site of at least six million dollars

(\$6,000,000.00) based on Expansion; the tax rates will stay the same over the next twenty years; and property values will depreciate at a rate of 3 percent per year. Several variables will affect the tax amount received by the Agency and, except for the rebate payment in Fiscal Years 2013 and 2014 which are addressed hereafter, in no case shall the Agency provide a rebate payment to Developer greater than the amount the Agency receives for the project area in any given fiscal year.

- B. Rebate to Developer. In no case shall the rebate payments to Developer exceed the annual or total Syracuse Family Fun Center portions identified above, a maximum total sum of two million one hundred thirty thousand dollars (\$2,130,000.00), regardless of the amount of taxes received by the Agency. In the event the increased assessment of the Syracuse Family Fun Center based on Expansion is less than six million dollars for fiscal year 2015, the total rebated funds to Developer shall be decreased. In the event the Agency receives less than the projected taxes for the project area as identified herein, the rebated funds to Developer shall be decreased. The decreased rebate amount shall be determined by the following equations:
- a. In case of an assessed increased value based on Expansion of less than six million dollars, the proportion of the identified rebate amount shall be determined by dividing the product of three hundred fifty five thousandths and the increase in assessed value between Fiscal Years 2013 and 2015 by two million one hundred thirty thousand, or  $(\text{Increase Assessed Value} \times .355) / 2,130,000 =$  proportion of total identified rebate which Developer shall receive. For example, if the assessed increased value based on Expansion is \$5,000,000.00 then Developer would only receive a proportion of .8333 of the maximum possible rebate of \$2,130,000.00, which is \$1,775,000.00.
  - b. In case of the Agency receiving less than the projected taxes for the project area in any given year, the proportion of the identified rebate amount shall be determined by dividing the actual received taxes for the project area by the projected received taxes for the project area, or  $\text{actual taxes received} / \text{projected taxes received} =$  proportion of identified rebate which

Developer shall receive.

- C. **Public Financing.** The Agency, as an inducement to the Developer to expand the Syracuse Family Fun Center in accordance with this Amended Agreement, shall provide the Property Tax Rebate as described above. The Agency has determined that without public participation, land acquisition and public infrastructure costs create a significant barrier to attracting private capital and investment. Beginning in fiscal year 2015, the dollar amount rebated to Developer by the agency will be exclusively dependent upon the available tax increment provided to the Agency by the Project Area. At the time that the Developer has been rebated a total value of two million one hundred thirty thousand dollars (\$2,130,000) or the appropriate proportion based on the calculations herein, all further rebates to Developer shall cease under this Amended Agreement.
  
- D. **Payments of Rebate in Fiscal Year 2013.** The total costs related to the Syracuse Family Fun Center Expansion are estimated at five million dollars (\$5,000,000.00). The Developer has provided verification that \$5,000,000.00 of private financing has been secured, which is attached hereto as Exhibit D. Upon entry into this Amended Agreement by all parties, the Agency shall immediately pay Developer a onetime payment of one hundred thousand dollars (\$100,000.00). The Agency shall also retain two hundred thousand dollars (\$200,000.00) to be used by the Agency to pay the Anticipated Fees for Expansion to Syracuse City and other government agencies. If the total assessed fees exceed \$200,000.00, then Developer shall be responsible to pay all additional fees beyond that amount.
  
- E. **Payments of Rebate in Subsequent Years.** For each fiscal year after Fiscal Year 2013, on or before April 1 the Agency shall provide the rebate payment as calculated and described in subsection 2.1.B herein. The parties understand that for Fiscal Year 2014, the Agency's received tax increment will not include any increased value based on the Expansion. Accordingly, Developer's entitlement to a rebate payment in Fiscal Year 2014 depends exclusively on whether Developer's construction of Expansion is completed and a certificate of occupancy (either temporary or permanent) is granted on or before December 31, 2013. If construction is complete and a certificate of occupancy has been issued on or before December 31, 2013, the

Agency shall issue Developer a rebate payment of \$96,000.00 for fiscal year 2014. If Developer has not completed construction or if a certificate of occupancy has not been issued on or before December 31, 2013, then the Agency is not obligated under this Amended Agreement to issue Developer any rebate payment for fiscal year 2014. Rebate payments in subsequent years after fiscal year 2014 will be calculated according to subsection 2.1.B herein.

- F. Issuance of Permits/Approval of Site Plan. The Agency will cooperate with the Developer, as requested in obtaining necessary approval of the Site Plan, zoning approval, and the issuance of building permits, and other planning requirements necessary for the Developer to construct the improvements outlined in this Amended Agreement, however all approval shall be in compliance with city, state, and federal law. The Agency reserves the right to review and approve the conceptual and final plan and drawings for the Syracuse Family Fun Center. The Agency agrees any approval required by the Agency shall not be unreasonably withheld, conditioned or delayed.
  
- G. Sole Source of Agency's Funding. The Developer understands and agrees that the only source of monies available to the Agency to pay its obligations hereunder are tax increment monies actually received by the Agency from the Town Center Project Area based upon the value of the improvements to be constructed by the Developer. Only available tax increment monies from the Project Area, less any negative tax increment from the Project Area deducted by the County Assessor's office, will be available to the Agency to meet said obligations. In the event the Agency, in good faith, incurs other obligations or dedicates funds for projects outside this Amended Agreement and does not have funds to make the rebate payment through no fault of the Developer or the Agency, the parties shall renegotiate the terms of rebate payment.

### ARTICLE III: CONSTRUCTION REQUIREMENTS

Section 3.1 Issuance of Permits. The Developer shall have the sole responsibility of obtaining all necessary permits and approvals to construct the improvements and shall make application for such permits and approvals directly to Syracuse City and other appropriate agencies and departments.

Section 3.2 Times for Construction. The Developer agrees that it shall promptly begin and diligently prosecute to completion the expansion of the Syracuse Family Fun Center and that such construction shall be completed no later than December 31, 2013 unless such date is extended by the Agency, or the Developer is unable to timely undertake or complete the Improvements because of any of the reasons set forth in the Amended Agreement herein. The Developer understands and agrees that time is of the essence of this Amended Agreement. Developer acknowledges and agrees that unless the Project is timely constructed and completed and becomes part of Davis County's final assessment tax roll on January 1, 2014, the available tax increment necessary to pay the Agency obligations will not materialize, and the Agency would be unable to receive and pay its obligations under this Amended Agreement.

Section 3.3 Access to Site. The completion of the Project and the work of the Developer shall be subject to inspection by representatives of the Agency. The Developer shall permit access to the Site by the Agency for purposes of inspection, and, to the extent necessary, to carry out the purposes of this and other sections or provisions of this Amended Agreement. Inspections shall be made during reasonable business hours upon three business days notice and shall be made in accordance with standard project safety guidelines.

#### ARTICLE IV: REMEDIES

Section 4.1 Default by Developer; No Construction. If the Developer defaults or breaches any of its obligations contained in this Amended Agreement and does not timely cure such default or breach as provided in this Amended Agreement after the expiration of all applicable notice and cure periods, then the Agency may terminate this Amended Agreement. The Agency may also seek repayment of any paid portion of the tax increment identified herein by all means available.

Section 4.2 General Remedies; Agency and Developer. Subject to the other provisions of this Article V, in the event of any default or breach of this Amended Agreement or any of its terms, covenants or conditions by any Party hereto, such Party shall, upon written notice from the other Party, proceed immediately to cure or remedy such default or breach, and in any event, do so within thirty (30) calendar days after receipt of such notice or if such default or failure is of a type that cannot reasonably be cured within such thirty (30) day period, within sixty (60) days provided that such cure is

commenced within a thirty (30) day period and diligently pursue to completion, unless a longer period of time is agreed to by the Parties in writing. In case such action is not taken, or diligently pursued, or the default or breach shall not be cured or remedied within the time periods provided above, the aggrieved Party may institute such proceedings as may be necessary or desirable, at its option, to cure or remedy such default or breach, including, but not limited to, proceedings to compel specific performance by the Party in default which is not cured within the time limits contained in this Amended Agreement, the non-defaulting Party may, at its option, take such action as allowed by law, in equity and/or provided for in this Amended Agreement. Any delay by a Party in instituting or prosecuting any such actions or proceedings or otherwise asserting its rights under this Article shall not operate as a waiver of such rights.

Section 4.3 Extensions by Agency. The Agency may in writing extend the time for the Developer's performance of any term, covenant or condition of this Amended Agreement or permit the curing of any default upon such terms and conditions as may be mutually agreeable to the parties provided, however, that any such extension or permissive curing of any particular default shall not operate to release any of the Developer's obligations nor constitute a waiver of the Agency's rights with respect to any other term, covenant or condition of this Amended Agreement or any other default in, or breach of, this Amended Agreement.

Section 4.4 Remedies Cumulative/Non-Waiver. The rights and remedies of the Parties to this Amended Agreement, whether provided by law or by this Amended Agreement, shall be cumulative, and the exercise by any party of any one or more of such remedies shall not preclude the exercise by it, at the same or different times, of any other such remedies for the same default or breach or of any of its remedies for any other default or breach by the other Party, except as otherwise provided in Section 4.1. No waiver made by any Party with respect to the performance, or manner or time thereof, or any obligation of the other Party or any condition to its own obligation under this Amended Agreement shall be considered a waiver of any rights of the Party making the waiver with respect to the particular obligation of the other Party or condition to its own obligation beyond those expressly waived and to the extent thereof, or a waiver in any respect in regard to any other rights of the Party making the waiver or any other obligations of the other Party.

## ARTICLE V: MISCELLANEOUS PROVISIONS

Section 4.5 Government Records Access and Management Act. This Amended Agreement and all documents referenced in this Amended Agreement or made a part of hereof, including without limitation, all documents, evaluations or assessments provided by the Developer and/or relied upon by the Agency in entering into or performing this Amended Agreement, shall be subject to the provisions of the Utah Government Records Access and Management Act (“GRAMA”).

Section 4.6 Party Representatives.

(a) The Agency hereby appoints the City Manager as the Agency representative to assist in the administrative management of this Amended Agreement and to coordinate performance of obligations by the Developer and the Agency under this Amended Agreement.

(b) The Developer hereby appoints Ed Gertge to act as its representative in connection with its performance of this Amended Agreement unless and until another representative is designated by written notice to the Agency. Said designated representative shall have the responsibility of working with the Agency to coordinate the performance of the Developer and obligations under this Amended Agreement.

Section 4.7 Standard of Performance/Professionalism. The Developer acknowledges the standard of performance and professionalism required in the performance of its obligations under this Amended Agreement. The Developer agrees to perform its obligations under this Amended Agreement with the level of respect and deference to the community and its financial contribution.

Section 4.8 Governmental Immunity. The Developer acknowledges that the Agency is a body Corporate and politic of the State of Utah, subject to the Utah Governmental Immunity Act, Utah Code Ann. Sections 63-30d-101, et. seq. (the “Act”). The Developer further acknowledges and agrees that nothing contained in this Amended Agreement shall be construed in any way, to modify (whether to increase or decrease), the limits of liability set forth in that Act or the basis for liability as established in the Act.

Section 4.9 Indemnity. The Developer agrees to indemnify, hold harmless and defend the Agency, its officers, agents and employees from

and against any and all losses, damages, injuries, liabilities, and claims, including claims for personal injury, death, or damage to personal property or profits and liens of workmen and material men (suppliers), however allegedly caused, resulting directly or indirectly from, or arising out of, the construction, development, operation or use of the Subject Property, breach of this Amended Agreement on the part of the Developer, or the negligent acts or omissions by the Developer or their agents, representatives, officers, employees or subcontractors in the performance of this Amended Agreement; provided, there is excluded from this Paragraph, and the Developer shall not be obligated to indemnify, hold harmless or defend the Agency against any losses, damages, injuries, liabilities, and claims arising from the negligence or willful misconduct of the Agency, or its officers, agents and employees.

Section 4.10 No Agency. No agent, employee or servant of the Developer or the Agency is or shall be deemed to be an employee, agent or servant of the other Party. None of the benefits provided by any Party or by the Developer to its employees, including but not limited to worker's compensation insurance, health insurance and unemployment insurance, are available to the employees, agents, contractors or servants of the other Party or the Developer. The Parties shall each be solely and entirely responsible for their respective acts and for the acts of their respective agents, employees, contractors and servants throughout the term of this Amended Agreement. The Parties shall each make all commercially reasonable efforts to inform all persons and entities with whom they are involved in connection with this Amended Agreement to be aware that the Developer is an independent contractor.

Section 4.11 Ethical Standards. The Developer represents that they have not: (a) provided an illegal gift or payoff to any officer or employee of the Agency, or former officer or employee of the Agency, or to any relative or business entity of a officer or employee of the Agency, or relative or business entity of a former officer or employee of the Agency; (b) retained any person to solicit or secure this contract upon an agreement or understanding for a commission, percentage, brokerage or contingent fee, other than bona fide employees of bona fide commercial agencies established for the purpose of securing business; (c) breached any of the ethical standards set forth in State statute; or (d) knowingly influenced, and hereby promises that it will not knowingly influence, any officer or employee of the Agency or former officer or employee of the Agency to

breach any of the ethical standards set forth in State statute or the City ordinances.

Section 4.12 No Officer or Employee Interest. It is understood and agreed that no officer or employee of the Agency has or shall have any pecuniary interest, direct or indirect, in this Amended Agreement or the proceeds resulting from the performance of this Amended Agreement. No officer, manager, employee or member of the Developer or any member of any of such persons' families shall serve on any City board or committee or hold any such position which either by rule, practice, or action nominates, recommends, or supervises the Developer's operations, or authorizes funding or payments to the Developer. If they currently hold such positions, they will disclose their affiliation with the developer, and will abstain from making any input, recommendation, or decision regarding the Developer.

Section 4.13 Compliance with Laws. Each Party agrees to comply with all federal, state and local laws, rules and regulations in the performance of its duties and obligations under this Amended Agreement. Any violation by any Party of applicable law shall constitute an event of default under this Amended Agreement and such defaulting Party shall be liable for and indemnify, hold harmless and defend the other Party from and against any and all liability arising out of or connected with the violation. The Developer is solely responsible, at its expense and cost, to acquire, maintain and renew during the term of this Amended Agreement, all necessary permits and licenses required for its lawful performance of its duties and obligations under this Amended Agreement. For purposes of this Amended Agreement, the term "applicable law" or any similar term shall not include an ordinance, resolution, regulation, rule or procedure adopted or enacted by the Agency after the satisfaction of the conditions set forth in Article III, above, which would prevent the Agency's performance of its obligations under this Amended Agreement.

Section 4.14 Non-Discrimination. The Developer, and all persons acting on its behalf, agree that they shall comply with all federal, state and City laws, rules and regulations governing discrimination and they shall not discriminate in the engagement or employment of any professional person or any other person qualified to perform the services required under this Amended Agreement.

Section 4.15 Labor Regulations and Requirements. The Developer agrees to comply with all applicable provisions of Title 34 of the Utah Code,



DEVELOPER: Syracuse Family Fun Center, LLC.  
1806 South 2000 West  
Syracuse, Utah 84075  
Attention: Ed Gertge  
Fax: (801) 779-2693

with a simultaneous copy to: Justin Baer, Attorney for Developer,  
136 East South Temple, Suite 1400  
Salt Lake City, Utah 84111

Section 4.18 Time. The Parties agree that time is of the essence in the performance of this Amended Agreement and each and every term and provision hereof.

Section 4.19 Entire Agreement. The Agency and the Developer acknowledge and agree that this Amended Agreement, and each of the other agreements referred to in this Amended Agreement, constitutes the entire integrated understanding between the Agency and the Developer, and that there are no other terms, conditions, representations or understanding, whether written or oral, concerning the rights and obligations of the Parties to this Amended Agreement, except as set forth in this Amended Agreement. This Amended Agreement may not be enlarged, modified or altered, except in writing, signed by the parties.

Section 4.20 Governing Law. It is understood and agreed by the Parties hereto that this Amended Agreement shall be governed by the laws of the State of Utah and the Ordinances of the City, both as to interpretation and performance. All actions, including but not limited to court proceedings, administrative proceedings, arbitration and mediation proceedings, shall be commenced, maintained, adjudicated and resolved within the jurisdiction of the State of Utah.

Section 4.21 Estoppel Certificate. Within ten (10) business days after written request of Developer or its lender Agency shall provide an estoppel certificate to Developer, a prospective purchaser or an existing prospective lender certifying that this Amended Agreement is in full force and effect, that no defaults exist (or specifying any defaults which do exist) and providing such other factual information pertaining to this Amended

Agreement as Developer, such lender or a prospective purchaser of part or all of the Project may reasonably request. The Developer shall pay any actual, out-of-pocket reasonable attorney's fees incurred by the Agency in connection with the foregoing.

Section 4.22 Miscellaneous. In addition to the foregoing, the parties to this Amended Agreement agree as follows:

(a) No waiver of any of the provisions of this Amended Agreement shall be deemed, or shall constitute, a waiver of any other provision, whether or not similar, nor shall any waiver constitute a continuing waiver. No waiver shall be binding unless executed, in writing, by the party making the waiver.

(b) The recitals and the exhibits attached to this Amended Agreement shall be and hereby are incorporated in and an integral part of this Amended Agreement by this reference.

(c) This Amended Agreement shall be binding upon, and shall inure to the benefit of the parties to it and their respective successors and assigns.

(d) In the event that any provision of this Amended Agreement shall be held invalid and unenforceable, such provision shall be severable from, and such invalidity and unenforceability shall not be construed to have any effect on, the remaining provisions of this Amended Agreement.

(e) The Parties agree to use reasonable diligence to fulfill their respective obligations under this Amended Agreement at all times that this Amended Agreement is in effect.

(f) Nothing in this Amended Agreement is or shall be intended to provide or convey any actionable right or benefit to or upon any person or persons other than the Developer and the Agency. Except as otherwise specifically provided in this Amended Agreement, each party shall bear its own costs and expenses (including legal and consulting fees) in connection with this Amended Agreement and the negotiation of all agreements, including without limitation the Amended Agreement, and preparation of documents contemplated by this Amended Agreement.

(g) All obligations of the Parties set forth in this Amended Agreement which are contemplated to be performed or satisfied after the Closing in accordance herewith shall survive the Closing and the delivery of any instrument of conveyance made in connection therewith.

(h) Except as otherwise provided in this Amended Agreement, whenever a period of time is in this Amended Agreement prescribed for action to be taken by a Party, said Party shall not be liable or responsible for, and there shall be excluded from the computation of any such period of time, any delays due to a Force Majeure Event; for purposes of this Amended Agreement, "Force Majeure Event" means any act or event, whether foreseen or unforeseen, that meets all three of the following tests:

(i) The act or event prevents a Party, in whole or in part, from:

(A) performing its obligations under this Amended Agreement or another specified agreement; or

(B) satisfying any conditions to the obligations under this Amended Agreement.

(ii) The act or event is beyond the reasonable control of and not primarily the fault of a Party.

(iii) A Party has been unable to avoid or overcome the act or event by the exercise of commercially reasonable due diligence.

(iv) In furtherance of such definition, and not in limitation of such definition, each of the following acts and events is deemed to be a Force Majeure Event: war, flood, lightning, drought, earthquake, fire, volcanic eruption, landslide, hurricane, cyclone, typhoon, tornado, explosion, civil disturbance, act of God or the public enemy, terrorist acts, military action, epidemic, famine or plague, shipwreck, action of a court or public authority, or strike, work-to-rule action, go-slow or similar labor difficulty, and such failure, standing alone, prevents Developer from fulfilling one or more of its obligations under this Amended Agreement. The foregoing list

of Force Majeure Events is not exhaustive, and the principle of ejusdem generis is not to be applied in determining whether a particular act or event qualifies as a Force Majeure Event. Notwithstanding the foregoing, a Force Majeure Event shall not mean or include economic hardship, changes in market conditions, insufficiency of revenues or funds, or the financial condition of a Party, or the sale, transfer, liquidation, insolvency, failure, secession, disbandment, dissolution or termination of any person owning any interest in a Party.

IN WITNESS WHEREOF, the Parties have executed this Amended Agreement as of the day and year recited above.

DEVELOPER:

SYRACUSE FAMILY FUN CENTER  
LLC, a Utah limited liability company

By: Matthew A. Gortge

Name: Matthew A. Gortge

Title: Manager

STATE OF UTAH )

) ss.

COUNTY OF DAVIS )

On 11 April, 2013, personally appeared before me Matthew A. Gortge who being by me duly sworn did say that he is the manager of SYRACUSE FAMILY FUN CENTER LLC, and that said instrument was signed on behalf of said limited liability company.



Brenda Victoria Leota

NOTARY PUBLIC

AGENCY:

REDEVELOPMENT AGENCY OF SYRACUSE CITY

By: *[Signature]*

Name: Robert P. Rice

Title: City Manager

APPROVED AS TO LEGAL FORM:

By: *[Signature]*

STATE OF UTAH )

) ss.

COUNTY OF DAVIS )

On 11 April, 2013, personally appeared before me Robert Rice, who being by me duly sworn did say that he is the city manager of the REDEVELOPMENT AGENCY OF SYRACUSE CITY, and that said instrument was signed on behalf of the Redevelopment Agency of Syracuse City, by authority of law.



*[Signature]*

NOTARY PUBLIC

EXHIBIT A  
REDEVELOPMENT PLAN



## *Davis County Clerk/Auditor*

Steve S. Rawlings, CGFM  
Clerk/Auditor

Carl P. Allen, CPA  
Chief Deputy/Administration

Jonathan Lee, CPA  
Chief Deputy / Finance

June 22, 2006

Utah State Tax Commission  
% Teri Chidester  
210 North 1950 West  
Salt Lake City Utah 84134

Dear Teri,

Enclosed is a copy of the new redevelopment for Syracuse City, 1700 South Redevelopment Plan. I have enclosed a copy of the ordinance, a copy of the map showing the redevelopment area and a copy of the serial numbers involved in the plan.

Please let me know if you need more information.

Sincerely,

A handwritten signature in cursive script, appearing to read "Diane Law".

Diane Law  
Accounting Technician  
Davis County Clerk/Auditor Dept.

12-048-0093 Child Care  
12-092-0084, 0085, 0067, 0068, 0022, 0021, 0025, 0024  
12-085-0068, 0002, 0014, 0040

SW 10 } 4n-2w  
SE 9 }

NW 15 } 4n-2w  
NE 16 }

no fee  
7

Base 1/4  
200m

12-052-0043

ORDINANCE NO. E 2020175 B 3632 P 324  
RICHARD T. MAUGHAN, DAVIS CNTY RECORDER  
2004 SEP 27 11:16 AM FEE .00 DEP MJW  
REC'D FOR SYRACUSE CITY

12-458-0001, 0002 (not in RDA)

12-012-0009  
(IN)

AN ORDINANCE ADOPTING THE REDEVELOPMENT PLAN FOR THE 1700 SOUTH STREET REDEVELOPMENT PROJECT AS THE OFFICIAL REDEVELOPMENT PLAN FOR THE CENTRAL BUSINESS DISTRICT REDEVELOPMENT PROJECT AREA.

12-048-0093  
IN OR OUT

WHEREAS, acting pursuant to the Utah Neighborhood Development Act, as amended (the "Act"), Utah Code Annotated, the Syracuse Redevelopment Agency ("Agency"), in consultation with the Syracuse City Planning Commission (the "Planning Commission"), and the Agency's staff and consultants, has caused to be prepared a Proposed Redevelopment Plan for the 1700 South Street Project (the "Proposed Redevelopment Plan");

WHEREAS, the Planning Commission has prepared and submitted to the Agency its Report and Recommendations on the Proposed Redevelopment Plan for the 1700 South Street Redevelopment Project (the "Planning Commission Report");

WHEREAS, the Agency has caused to be prepared and has approved the Agency's Report to Accompany the Redevelopment Plan for the 1700 South Street Redevelopment Project (the "Agency Report");

WHEREAS, the Planning Commission has been given the opportunity to consider the proposed changes in the Proposed Redevelopment Plan and the Agency Report;

WHEREAS, the City Council has considered the Agency Report, the Planning Commission Report, the matters contained in the record of the Hearing, and all evidence and testimony for and against the adoption of the Proposed Redevelopment Plan submitted to it at or prior to the Hearing;

WHEREAS, the Agency has determined in its Report that the Project Area is a blighted area and that the Project Area is restricted to buildings, improvements, or lands which are detrimental or inimical to the public health, safety, or welfare;

WHEREAS, the Syracuse City Council ("City Council") concurs in the findings of the Agency that the Project Area is a blighted area and that the Project Area is restricted to buildings, improvements, or lands which are detrimental or inimical to the public health, safety, or welfare;

WHEREAS, the Planning Commission and the Agency have recommended the adoption of the Proposed Redevelopment Plan with the modifications, if any, that have been incorporated by the Modification Resolution and the Agency has submitted the same to the City Council for action;

WHEREAS, the City Council has concurred in the modifications, if any, recommended by the Agency and the Planning Commission in the Proposed Redevelopment Plan, has made the recommended modifications in the Proposed Redevelopment Plan, and has overruled all objections to the adoption of the

Proposed Redevelopment Plan received by the City Council at or prior to the Hearing, whether written or oral, except insofar as such objections are the basis for the modifications recommended by the Agency and subsequently made by the City Council;

WHEREAS, the City Council has determined that the owners of less than forty percent (40%) of the area of the property included within the Project Area proposed in the Proposed Redevelopment Plan as modified (the "Official Redevelopment Plan"), excluding property owned by public agencies or dedicated to public use, made objections in writing prior to or at the hearing;

WHEREAS, the City Council finds and determines that the Official Redevelopment Plan would redevelop the Project Area in conformity with the Utah Neighborhood Development Act, as amended; that it would further the interests of the public peace, health, safety and welfare; that the adoption and carrying out of the Official Redevelopment Plan is economically sound and feasible; and that a number of other appropriate reasons call for the adoption and implementation of the Official Redevelopment Plan for the 1700 South Street Redevelopment Project (the "Redevelopment Project");

BE IT ORDAINED BY THE CITY COUNCIL OF SYRACUSE CITY, UTAH

SECTION 100            Adoption of the Plan

The Syracuse City Council hereby approves and adopts the Official Redevelopment Plan for the 1700 South Street Redevelopment Project Area, which is the Proposed Redevelopment Plan as modified by the City Council to incorporate changes recommended by the Agency, if any.

SECTION 200            Legal Description

The legal description of the boundaries of the 1700 South Street Redevelopment Project ("Project Area") are as provided in Exhibit A to this ordinance, which Exhibit A is attached hereto and incorporated herein by this reference.

SECTION 300            Purpose and Intent of City Council

The purpose and intent of the City Council with respect to the Project Area are as follows:

- A. To reduce and eliminate existing blight and to prevent further deterioration within the Project Area;
- B. To facilitate new development of types and quality desired by the community;
- C. To encourage the businesses already located in Syracuse to renovate and beautify;
- D. To take any or all additional steps which may be appropriate or necessary to promote or further the aim of improving the Project Area (and, indirectly, surrounding areas) and to prevent further deterioration within the Project Area.

SECTION 400      The Redevelopment Plan

E 2020175 B 3632 P 326

The Official Redevelopment Plan, which incorporates modifications to the Proposed Redevelopment Plan recommended by the Agency made by the City Council, and the final Report to Accompany the Redevelopment Plan for the 1700 South Street Redevelopment Project, including the Report and Recommendations of the Syracuse Planning Commission on the proposed Redevelopment Plan for the 1700 South Street Redevelopment Project, are incorporated herein by this reference.

SECTION 500      Designation of the Redevelopment Plan as the Official Redevelopment Plan for the Project Area

The proposed Redevelopment Plan as modified and approved by the City Council is hereby adopted and approved by the City Council and is designated as the Official Redevelopment Plan for the 1700 South Street Redevelopment Project (the "Official Redevelopment Plan").

SECTION 600      Findings and Determinations of City Council

The City Council hereby makes the following findings and determinations:

A.      Conditions of the Project Area.

1.      Blight. In view of the various existing conditions described in the final Agency Report, and in light of the various findings made in and on the basis of the Agency Report, the Project Area is a blighted area, the redevelopment of which is necessary to effectuate the public purposes of the Act.
2.      Detrimental or Inimical. In view of the various existing conditions described in the Agency Report, and in light of the various findings made in and on the basis of the Agency Report, the Project Area is restricted to buildings, improvements or lands which are detrimental or inimical to the public health, safety, or welfare.
3.      Findings Not Exhaustive. Nothing herein shall be construed to imply that the Agency Report exhaustively describes all the facts and conditions that are the basis of the findings in the foregoing two paragraphs, and other additional justification for these findings may exist which have not been expressly noted.

B.      Conformity with Utah Neighborhood Development Act and Other Public Purposes. The Official Redevelopment Plan will redevelop the Project Area in conformity with the Act, and in the interests of the public peace, health, safety and welfare in that:

1.      It will enable the Agency to make financing alternatives available to parties electing to become participants in the Redevelopment Project and to developers, thereby providing necessary assistance for investment, redevelopment,

rehabilitation, and the elimination of blight within the Project Area;

2. It will help to prevent erosion of Syracuse City's economic base;
  3. It will help attract desirable businesses to locate and expand within the Project Area;
  4. It will facilitate revitalization and beautification of the Project Area;
  5. It will enable the Agency to help meet some of the infrastructure needs of the City of Syracuse which are important for revitalization of the Project Area; and
  6. It will contribute in a variety of other ways to the redevelopment of the Project Area in conformity with the Act, and to the furthering of the interests of public peace, health, safety and welfare.
- C. Feasibility. The adoption and carrying out of the Official Redevelopment Plan is economically sound and feasible in that the Official Redevelopment Plan, states that proposed pursuant to and in furtherance of the Official Redevelopment Plan will proceed and be carried out only if and when financing becomes available, and the financing of projects is primarily based upon the willingness of public and private entities to invest and develop in the Project Area.
- D. Conformity to Comprehensive Plan. The Official Redevelopment Plan conforms to the Syracuse City Master Plan, as amended, as more particularly shown in the Agency and Planning Commission Reports.
- E. Effects of Carrying Out the Redevelopment Plan. The carrying out of the Official Redevelopment Plan will promote the public peace, health, safety and welfare of the community, and will effectuate the purpose and policy of the Act in that it will promote and facilitate:
1. The elimination or reduction of blight in the Project Area:
  2. Measures which will prevent further stagnation, deterioration, and/or fragmentation within the Project Area:
  3. The attraction of desirable businesses into the Project Area;
  4. The revitalization and beautification of the Project Area; and;
  5. Other measures which will promote the public peace, health, safety and welfare and which would be consistent with the purposes of the Act.

- F. Relocation. The Agency has a feasible method or plan for the relocation of families and persons displaced from the Project Area in the event that the Redevelopment Plan may result in the temporary or permanent displacement of any occupants of housing facilities in the Project Area, in that the Redevelopment Plan specifies that the Relocation Rules and Regulations for Implementation of the Utah Relocation Assistance Act for the 1700 South Street Redevelopment Project ("Relocation Rules") shall govern relocation of persons, businesses, and other entities displaced by Agency action. The Relocation Rules specify that "no person shall be required to move from his dwelling on account of any project of the Agency unless the Agency Governing Board is satisfied that replacement housing is available to this person."

SECTION 700      Availability of Replacement Housing

The Syracuse City Council is satisfied permanent housing facilities will be available within three years from the time occupants of the Project Area may be or are displaced and that pending the development of such facilities there will be available to such displaced occupants adequate temporary housing facilities at rents comparable to those in the community at the time of their displacement. Moreover, the Relocation Rules, which govern relocation and persons displaced from the Project Area under the Official Redevelopment Plan as indicated in Section F hereof, impose a more stringent requirement. They provide that "no person shall be required to move from his dwelling on account of any project until the Agency and if the Agency Governing Board is satisfied that replacement housing is available to this person." Persons may not be displaced from property pursuant to the Official Redevelopment Plan unless or until this condition is met, and meeting this requirement assures (and shall be construed to require) that replacement housing be available in substantially less than three years.

SECTION 800      Participation Rules

This Official Redevelopment Plan shall operate subject to the Rules Governing Participation and Preferences by Owners, Operators of Businesses, and Tenants in the 1700 South Street Redevelopment Project.

SECTION 900      The Agency's Governing Board

As required by the Utah Neighborhood Development Act, as amended, and as specifically provided for in the Agency's bylaws, the governing body of the Syracuse Redevelopment Agency shall be of the same individuals who constitute the legislative body of the City of Syracuse.

SECTION 1000      Public Hearings

The Agency shall hold a public hearing on any proposed development within the Project Area with respect to which the Agency proposes to enter into a legally binding agreement (e.g., a participation agreement or a development agreement) that will obligate the financial resources of the Agency, including but not limited to tax increment financing. Prior to such public hearing, the Agency shall give such general public notice as the City would normally provided in connection with a hearing on a proposed zoning

change by Syracuse City Planning Commission. In addition, the Agency shall give notice to landowners whose property is located within 300 feet of proposed development in the Project Area covered by this Section 1000. This notice shall be provided in the same manner that individualized notice is given prior to making any zoning changes in the City.

SECTION 1100 Severability

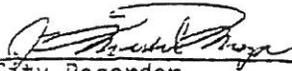
If any one or more provision, section, subsection, sentence, clause, phrase or word of this Ordinance or the application thereof to any person, property or circumstance is found to be unconstitutional or otherwise contrary to law, the same is declared to be severable and the balance of this Ordinance shall remain effective. The City Council hereby declares that it would have passed this Ordinance, and each provision, section, subsection, sentence, clause, phrase or word thereof, irrespective of the fact that any one or more provision, section, subsection, sentence, clause, phrase or word be declared unconstitutional or otherwise contrary to law.

SECTION 1200 Effective Date

This Ordinance shall become effective on the 9<sup>th</sup> day of March, 1993, or, if a summary of this Ordinance is required, on the date said summary of this Ordinance is posted.

PASSED AND ADOPTED BY THE CITY COUNCIL OF SYRACUSE CITY, UTAH this 9 day of March 1993.

ATTEST:

  
\_\_\_\_\_  
City Recorder

  
\_\_\_\_\_  
Mayor



EXHIBIT A

E 2020175 B 3632 P 330

The boundary description for the proposed redevelopment project area are as follows:

Beginning at the Northeast corner of the intersection of 1700 South and 2000 West in Syracuse and continuing North 253 feet more or less along the East right-of-way of 2000 West, thence East 123 feet, thence North 60 feet thence West 183 feet more or less to the West right-of-way of 2000 West Street; thence North 430 feet more or less to the South property line of parcel 12-048-0063, thence West 847 feet more or less to the Southwest corner of parcel 12-048-0048, thence South 730 feet more or less to the North right-of-way of 1700 South, thence West along the North right-of-way of 1700 South to the East right-of-way of 2500 West Street, thence South 80 feet more or less to the South right-of-way of 1700 South Street, thence East along said right-of-way 1965 feet more or less to the West property line of parcel 12-092-0024, thence South along said property line 800 feet more or less to the Southwest corner of parcel 12-092-0025, thence East along the South property line of said parcel 12-092-0025, 400 feet, thence North 200, thence East 233 feet more or less to the West right-of-way of 2000 West Street; thence East to the East side of 2000 West Street, thence North 210 feet more or less to the South property line of parcel 12-085-0014, thence East along said South property line of 650 feet more or less, thence North 350 feet more or less to the South right-of-way of 1700 South Street, thence West along said right-of-way 185 feet more or less to the East property line of parcel 12-085-0041, thence South 206 feet, thence <sup>West</sup> 329.7 feet, thence North 87.85 feet, thence East 29 feet more or less, thence North 118.15 feet, to the South right-of-way of 1700 South Street, thence North across 1700 South Street, to the North right-of-way of 1700 South, thence West 140 feet more or less to the point of beginning. Excepting there from parcel 12-092-0009.

EXHIBIT B  
2012 AGREEMENT

AGREEMENT FOR THE EXPANSION OF THE SYRACUSE FAMILY  
FUN CENTER

This Agreement for the Development of the Syracuse Family Fun Center site (this "Agreement") is made and entered into as of this 30<sup>th</sup> day of August, 2012 (the "Effective Date"), by and among SYRACUSE FAMILY FUN CENTER, a limited liability company (the "Developer"), and the REDEVELOPMENT AGENCY OF SYRACUSE CITY, a body corporate and politic of the State of Utah (the "Agency").

The Developer and the Agency are sometimes referred to individually in this Agreement as a "Party" and collectively as the "Parties."

RECITALS

- A. In furtherance of the objectives of the Community Development and Renewal Agencies Act, Utah Code Ann. § 17C-3-101, et. seq. (the "Act"), the Agency has undertaken the creation of a redevelopment project area for the development of a certain geographic area known as the "Town Center Project Area" (the "Project Area"), located in Syracuse, Utah; and
- B. The Agency has approved and the City Council of the City has adopted a redevelopment plan which is attached hereto as Exhibit A (the "Redevelopment Plan") providing for the development of real property located in the Project Area and the future use of such land; and
- C. The Developer desires to expand the Syracuse Family Fun Center ("Expansion") by adding 80,000 square feet ("sf") of recreational space as follows:
  - 1. 24,000 sf aquatic center; and
  - 2. 56,000 sf of additional activities, including:
    - a. 28,000 sf of Go-Karts and race track (adult and kiddie-kart size); and
    - b. 28,000 sf with a combination of activities such as:
      - i. Bounce toys;
      - ii. Bowling;
      - iii. Batting cages; and

iv. Locker rooms; and

- D. The Agency believes that the expansion of the Syracuse Family Fun Center is in the vital and best interests of the Agency, and in the best interests of the health, safety, and welfare of community residents, and in accord with the public purposes and provisions of the applicable laws of the State of Utah (the "State") and requirements under which the Project Area and its development is undertaken and is being assisted by the Agency; and
- E. On the basis of the foregoing and the undertakings of the Developer pursuant to this Agreement, and to enable the Agency to achieve the objectives of the Redevelopment Plan, the Agency is willing, in the manner set forth herein, to assist the Developer in the expansion of the Syracuse Family Fun Center for the purpose of accomplishing the provisions of the Redevelopment Plan, and the provisions of this Agreement;

NOW THEREFORE, in consideration of the covenants and agreements set forth in this Agreement, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties hereby agree as follows:

#### ARTICLE I: DEVELOPER'S OBLIGATIONS

Section 1.1 The Developer hereby agrees to the following:

- A. Development of Facilities. The Developer shall construct, and maintain the following facilities for a minimum useful life of twenty [20] years at the Syracuse Family Fun Center:
  - i. *Aquatic Center.* A 24,000 square foot Aquatic Center will be constructed substantially in accordance with the zoning, subdivision, development, growth management, transportation, environmental, open space, and other land use plans, policies, processes, ordinances, and regulations in existence and effective on the date of final approval of this Agreement, and applying the terms and conditions of this Agreement.

- ii. *Additional Facilities.* An additional 56,000 square feet of space for additional recreational activities, to include but not be limited to: A go-kart race track 28,000 sf in size; bounce toys;; bowling alley; batting cages; and locker room facilities for the aquatic center. Such expansion shall be constructed substantially in accordance with the zoning, subdivision, development, growth management, transportation, environmental, open space, and other land use plans, policies, processes, ordinances, and regulations in existence and effective on the date of final approval of this Agreement, and applying the terms and conditions of this Agreement.
  - iii. *Development Infrastructure/On-site Improvements.* The Developer shall construct and develop, in accordance with all applicable city standards, all on-site improvements, including but not limited to, storm water detention facilities, drainage facilities, sidewalks, curb and gutter, roads both ingress and egress as required to access the Syracuse Family Fun Center, landscaping, trails, water systems, sanitary sewer, street lighting, fencing and/or walls, flood control and other improvements required by Syracuse as part of the Site Plan and subdivision approval process. All required onsite improvements shall be completed prior to the date the City issues an occupancy permit (the "Operational Date").
- B. *Increase Assessed Value.* The Developer agrees to construct expansions of not less than six million dollars (\$6,000,000) of incremental assessed value related to the Syracuse Family Fun Center on or before May 31, 2013.
- C. *Payment of Fees.* The Developer shall, on or before Nov. 30, 2012, pay all required building permit fees, site plan review fees, impact fees, development fees, and other fees required by Syracuse or other governmental agencies and organizations. In the event the fees are not paid prior to settlement of the Property Tax Rebate (as defined herein), the Agency shall be able to deduct the payment of said fees from

the Property Tax Rebate.

- D. Payment of Ad Valorem Taxes and Supplemental Payments. The Developer shall pay all real and personal property taxes (the “ad valorem taxes”) for the Syracuse Family Fun Center site based on the taxable value of the Syracuse Family Fun Center site (the “Assessed Taxable Value”) for the 2013 year time period. Subject to the Developer’s right to protest or appeal as provided below, for each tax increment year, all ad valorem taxes and assessments levied or imposed on the Syracuse Family Fun Center, any of the improvements, and any personal property on site shall be paid annually by the Developer or current owner on or before the due date which is currently set by law as November 30th. The Developer shall have the right to protest or appeal the amount of Assessed Taxable Value and taxes levied against the Syracuse Family Fun Center Property by the County Assessor, State Tax Commission or any lawful entity authorized by law to determine the ad valorem taxes against the Syracuse Family Fun Center site, the improvements, personal property on the Syracuse Family Fun Center site, or any portion thereof in the same manner as any other taxpayer as provided by law. The Developer shall, however, notify the Agency in writing within ten (10) calendar days of the Developer’s or then current property owner’s filing of any protest or appeal of such assessment determination or taxes and provide a copy to the Agency of any protest or appeal of such assessment and information submitted as part of the protest or appeal. In addition, the Developer shall give to the Agency written notice at least fifteen (15) calendar days prior to the time and date of such protest or appeal is to be heard. The Agency shall have the right, without objection by the Developer, to appear at the time and date of such protest or appeal and to present oral or written information or evidence in support of, or objection to the amount of assessment or taxes which should or should not be assessed against the real or personal property of the Syracuse Family Fun Center site.

- E. Developer hereby agrees to reasonably cooperate with Syracuse Parks and Recreation Department, Syracuse High School, and

the Davis County School District to seek out and provide opportunities to residents and students for programs uniquely available to communities with swimming pools.

## ARTICLE II

### AGENCY OBLIGATIONS AND UNDERTAKINGS

Section 2.1 Agency Rebate to Developer. The Agency has created the Project Area for improvements related to the Syracuse Town Center. In consideration of the Developer’s performance of its obligations under this Agreement, and subject to the conditions, terms and limitations set forth in this Agreement, including those set forth in Article I, the Agency agrees to rebate to the Developer no more than two million one hundred thirty thousand dollars (\$2,130,000) of the ad valorem taxes received by the Agency paid on the real property within the Tax Increment Collection Area (as defined in the Redevelopment Plan) (the “Property Tax Rebate”), to be distributed as indicated in the table below:

| <b>Fiscal Year<br/>July 1 – Jun<br/>30</b> | <b>Projected taxes<br/>received by<br/>Agency</b> | <b>% of tax<br/>increment<br/>received by<br/>Agency</b> | <b>Rebate<br/>amount to<br/>Developer</b> |
|--------------------------------------------|---------------------------------------------------|----------------------------------------------------------|-------------------------------------------|
| <b>FY 2013</b>                             | \$358,883.57                                      | 100%                                                     | \$300,000.00                              |
| <b>FY 2014</b>                             | \$430,117.39                                      | 100%                                                     | \$168,000.00                              |
| <b>FY 2015</b>                             | \$408,668.52                                      | 100%                                                     | \$168,000.00                              |
| <b>FY 2016</b>                             | \$388,235.10                                      | 100%                                                     | \$168,000.00                              |
| <b>FY 2017</b>                             | \$368,823.34                                      | 100%                                                     | \$168,000.00                              |
| <b>FY 2018</b>                             | \$280,305.74                                      | 80%                                                      | \$168,000.00                              |
| <b>FY 2019</b>                             | \$266,290.45                                      | 80%                                                      | \$96,000.00                               |
| <b>FY 2020</b>                             | \$252,975.93                                      | 80%                                                      | \$96,000.00                               |
| <b>FY 2021</b>                             | \$225,306.69                                      | 75%                                                      | \$90,000.00                               |
| <b>FY 2022</b>                             | \$214,041.35                                      | 75%                                                      | \$90,000.00                               |
| <b>FY 2023</b>                             | \$189,783.33                                      | 70%                                                      | \$84,000.00                               |
| <b>FY 2024</b>                             | \$180,294.17                                      | 70%                                                      | \$84,000.00                               |
| <b>FY 2025</b>                             | \$146,810.96                                      | 60%                                                      | \$72,000.00                               |
| <b>FY 2026</b>                             | \$139,470.42                                      | 60%                                                      | \$72,000.00                               |
| <b>FY 2027</b>                             | \$110,414.08                                      | 50%                                                      | \$60,000.00                               |
| <b>FY 2028</b>                             | \$104,893.38                                      | 50%                                                      | \$60,000.00                               |

|                |                |     |                |
|----------------|----------------|-----|----------------|
| <b>FY 2029</b> | \$99,648.71    | 50% | \$60,000.00    |
| <b>FY 2030</b> | \$75,733.02    | 40% | \$48,000.00    |
| <b>FY 2031</b> | \$71,946.37    | 40% | \$48,000.00    |
| <b>FY 2032</b> | \$63,222.87    | 37% | \$30,000.00    |
| <b>TOTAL</b>   | \$4,375,875.39 | N/A | \$2,130,000.00 |

A. Projected taxes received is an estimate. The projected taxes received is an estimate based on several assumptions, including but not limited to the following: Davis County will assess an increased value to the Syracuse Family Fun Center site of at least six million dollars (\$6,000,000.00) the tax rates will stay the same over the next twenty years; and property values will depreciate at a rate of 5 percent per year. Several variables will affect the tax amount received by the agency and in no case shall the Agency provide a rebate to Developer greater than the amount the Agency receives for the project area in any given fiscal year.

B. Rebate to Developer. In no case shall the rebate payments to Developer exceed the annual or total Syracuse Family Fun Center portions identified above, a maximum total sum of two million one hundred thirty thousand dollars (\$2,130,000), regardless of the amount of taxes received by the Agency. In the event the increased assessment of the Syracuse Family Fun Center is less than six million dollars between tax years 2012 and 2014, the rebated funds to Developer shall be decreased. In the event the Agency receives less than the projected taxes for the project area as identified herein, the rebated funds to Developer shall be decreased. The decreased rebate amount shall be determined by the following equations.

a. In case of an assessed increased value of less than six million dollars, the proportion of the identified rebate amount shall be determined by dividing the product of three hundred fifty five thousandths and the increase in assessed value between tax years 2012 and 2014 by two million one hundred thirty thousand, or  $(\text{increase assessed value} \times .355) / 2,130,000 =$  proportion of identified rebate which Developer shall receive.

b. In case of the Agency receiving less than the projected taxes for the project area in any given year, the proportion of the

identified rebate amount shall be determined by dividing the actual received taxes for the project area by the projected received taxes for the project area, or actual taxes received / projected taxes received = proportion of identified rebate which Developer shall receive.

- C. Public Financing. The Agency, as an inducement to the Developer to expand the Syracuse Family Fun Center in accordance with this Agreement, shall provide the Property Tax Rebate as described above. The Agency has determined that without public participation, land acquisition and public infrastructure costs create a significant barrier to attracting private capital and investment. Beginning in fiscal year 2014, the dollar amount rebated to Developer by the agency will be exclusively dependent upon the available tax increment provided to the Agency by the Project Area. At the time that the Developer has been rebated a total value of two million one hundred thirty thousand dollars (\$2,130,000), all further rebates to Developer shall cease under this agreement.
- D. Payments of Rebate. The total costs related to the Syracuse Family Fun Center are estimated at five million dollars (\$5,000,000). The Developer shall provide verification that five million dollars (\$5,000,000) of private financing has been secured, which shall be made available, from time to time, upon fulfillment of certain customary construction funding conditions. Upon receiving evidence of private financing, the Agency shall provide the rebate for Fiscal Year 2013. For each subsequent fiscal year, the Agency shall provide the rebate on or before April 1.
- E. Issuance of Permits/Approval of Site Plan. The Agency will cooperate with the Developer, as requested in obtaining necessary approval of the Site Plan, zoning approval, and the issuance of building permits, and other planning requirements necessary for the Developer to construct the improvements outlined in this Agreement. The Agency reserves the right to review and approve the conceptual and final plan and drawings for the Syracuse Family Fun Center. The Agency agrees any approval required by the Agency shall not be unreasonably withheld, conditioned or delayed.

F. Sole Source of Agency's Funding. The Developer understands and agrees that the only source of monies available to the Agency to pay its obligations hereunder are tax increment monies actually received by the Agency from the Town Center Project Area based upon the value of the improvements to be constructed by the Developer. Only available tax increment monies from the Project Area, less any negative tax increment from the Project Area deducted by the County Assessor's office, will be available to the Agency to meet said obligations. In the event the Agency incurs other obligations or dedicates funds for projects outside this agreement and does not have funds to make the rebate payment through no fault of the Developer, the Agency will make up the deficiency between what was paid and what was calculated as owed to the developer in later years, until the deficiency has been paid in full.

### ARTICLE III: CONSTRUCTION REQUIREMENTS

Section 3.1 Issuance of Permits. The Developer shall have the sole responsibility of obtaining all necessary permits and approvals to construct the improvements and shall make application for such permits and approvals directly to Syracuse and other appropriate agencies and departments.

Section 3.2 Times for Construction. The Developer agrees that it shall promptly begin and diligently prosecute to completion the expansion of the Syracuse Family Fun Center and that such construction shall be completed no later than May 31, 2013 unless such date is extended by the Agency, or the Developer is unable to timely undertake or complete the Improvements because of any of the reasons set forth in the Agreement herein. The Developer understands and agrees that time is of the essence of this Agreement. Developer acknowledges and agrees that unless the Project is timely constructed and completed and becomes part of Davis County's final assessment tax roll, the available tax increment necessary to pay the Agency obligations will not materialize, and the Agency would be unable to receive and pay its obligations.

Section 3.3 Access to Site. The completion of the Project and the work of the Developer shall be subject to inspection by representatives of the Agency. The Developer shall permit access to the Site by the Agency for purposes of inspection, and, to the extent necessary, to carry out the purposes of this and other sections or provisions of this Agreement. Inspections shall be made during reasonable business hours upon three

business days notice and shall be made in accordance with standard project safety guidelines.

#### ARTICLE IV: REMEDIES

Section 4.1 Default by Developer; No Construction. If the Developer defaults or breaches any of its obligations contained in this Agreement and does not timely cure such default or breach as provided in this Agreement after the expiration of all applicable notice and cure periods, then the Agency may terminate this Agreement. The Agency may also seek repayment of any paid portion of the tax increment identified herein by all means available.

Section 4.2 General Remedies; Agency and Developer. Subject to the other provisions of this Article V, in the event of any default or breach of this Agreement or any of its terms, covenants or conditions by any Party hereto, such Party shall, upon written notice from the other Party(ies), proceed immediately to cure or remedy such default or breach, and in any event, do so within thirty (30) calendar days after receipt of such notice or if such default or failure is of a type that cannot reasonably be cured within such thirty (30) day period, within sixty (60) days provided that such cure is commenced within a thirty (30) day period and diligently pursue to completion, unless a longer period of time is agreed to by the Parties in writing. In case such action is not taken, or diligently pursued, or the default or breach shall not be cured or remedied within the time periods provided above, the aggrieved Party may institute such proceedings as may be necessary or desirable, at its option, to cure or remedy such default or breach, including, but not limited to, proceedings to compel specific performance by the Party in default which is not cured within the time limits contained in this Agreement, the non-defaulting Party may, at its option, take such action as allowed by law, in equity and/or provided for in this Agreement. Any delay by a Party in instituting or prosecuting any such actions or proceedings or otherwise asserting its rights under this Article shall not operate as a waiver of such rights.

Section 4.3 Extensions by Agency. The Agency may in writing extend the time for the Developer's performance of any term, covenant or condition of this Agreement or permit the curing of any default upon such terms and conditions as may be mutually agreeable to the parties provided, however, that any such extension or permissive curing of any particular default shall not operate to release any of the Developer's obligations nor

constitute a waiver of the Agency's rights with respect to any other term, covenant or condition of this Agreement or any other default in, or breach of, this Agreement.

Section 4.4 Remedies Cumulative/Non-Waiver. The rights and remedies of the Parties to this Agreement, whether provided by law or by this Agreement, shall be cumulative, and the exercise by any party of any one or more of such remedies shall not preclude the exercise by it, at the same or different times, of any other such remedies for the same default or breach or of any of its remedies for any other default or breach by the other Party, except as otherwise provided in Section 4.1. No waiver made by any Party with respect to the performance, or manner or time thereof, or any obligation of the other Party or any condition to its own obligation under this Agreement shall be considered a waiver of any rights of the Party making the waiver with respect to the particular obligation of the other Party or condition to its own obligation beyond those expressly waived and to the extent thereof, or a waiver in any respect in regard to any other rights of the Party making the waiver or any other obligations of the other Party.

#### ARTICLE V: MISCELLANEOUS PROVISIONS

Section 4.5 Government Records Access and Management Act. This Agreement and all documents referenced in this Agreement or made a part of hereof, including without limitation, all documents, evaluations or assessments provided by the Developer and/or relied upon by the Agency in entering into or performing this Agreement, shall be subject to the provisions of the Utah Government Records Access and Management Act ("GRAMA").

Section 4.6 Party Representatives.

(a) The Agency hereby appoints the City Manager as the Agency representative to assist in the administrative management of this Agreement and to coordinate performance of obligations by the Developer and the Agency under this Agreement.

(b) The Developer hereby appoints Ed Gertge to act as its representative in connection with its performance of this Agreement unless and until another representative is designated by written notice to the Agency. Said designated representative shall

have the responsibility of working with the Agency to coordinate the performance of the Developer and obligations under this Agreement.

Section 4.7 Standard of Performance/Professionalism. The Developer acknowledges the standard of performance and professionalism required in the performance of its obligations under this Agreement. The Developer agrees to perform its obligations under this Agreement with the level of respect and deference to the community and its financial contribution. The Developer further agrees that it will not accept any fee or financial remuneration from any person or entity other than the Agency for its performance under this Agreement.

Section 4.8 Governmental Immunity. The Developer acknowledges that the Agency is a body Corporate and politic of the State of Utah, subject to the Utah Governmental Immunity Act, Utah Code Ann. Sections 63-30d-101, et. seq. (the "Act"). The Developer further acknowledges and agrees that nothing contained in this Agreement shall be construed in any way, to modify (whether to increase or decrease), the limits of liability set forth in that Act or the basis for liability as established in the Act.

Section 4.9 Indemnity. The Developer agrees to indemnify, hold harmless and defend the Agency, its officers, agents and employees from and against any and all losses, damages, injuries, liabilities, and claims, including claims for personal injury, death, or damage to personal property or profits and liens of workmen and material men (suppliers), however allegedly caused, resulting directly or indirectly from, or arising out of, the construction, development, operation or use of the Subject Property, breach of this Agreement on the part of the Developer, or the negligent acts or omissions by the Developer or their agents, representatives, officers, employees or subcontractors in the performance of this Agreement; provided, there is excluded from this Paragraph, and the Developer shall not be obligated to indemnify, hold harmless or defend the Agency against any losses, damages, injuries, liabilities, and claims arising from the negligence or willful misconduct of the Agency, or its officers, agents and employees.

Section 4.10 No Agency. No agent, employee or servant of the Developer or the Agency is or shall be deemed to be an employee, agent or servant of the other Party. None of the benefits provided by any Party or by the Developer to its employees, including but not limited to worker's compensation insurance, health insurance and unemployment insurance, are available to the employees, agents, contractors or servants of the other Party

or the Developer. The Parties shall each be solely and entirely responsible for their respective acts and for the acts of their respective agents, employees, contractors and servants throughout the term of this Agreement. The Parties shall each make all commercially reasonable efforts to inform all persons and entities with whom they are involved in connection with this Agreement to be aware that the Developer is an independent contractor.

Section 4.11 Ethical Standards. The Developer represents that they have not: (a) provided an illegal gift or payoff to any officer or employee of the Agency, or former officer or employee of the Agency, or to any relative or business entity of a officer or employee of the Agency, or relative or business entity of a former officer or employee of the Agency; (b) retained any person to solicit or secure this contract upon an agreement or understanding for a commission, percentage, brokerage or contingent fee, other than bona fide employees of bona fide commercial agencies established for the purpose of securing business; (c) breached any of the ethical standards set forth in State statute; or (d) knowingly influenced, and hereby promises that it will not knowingly influence, any officer or employee of the Agency or former officer or employee of the Agency to breach any of the ethical standards set forth in State statute or the City ordinances.

Section 4.12 No Officer or Employee Interest. It is understood and agreed that no officer or employee of the Agency has or shall have any pecuniary interest, direct or indirect, in this Agreement or the proceeds resulting from the performance of this Agreement. No officer, manager, employee or member of the Developer or any member of any of such persons' families shall serve on any City board or committee or hold any such position which either by rule, practice, or action nominates, recommends, or supervises the Developer's operations, or authorizes funding or payments to the Developer. If they currently hold such positions, they will disclose their affiliation with the developer, and will abstain from making any input, recommendation, or decision regarding the Developer.

Section 4.13 Public Funds and Public Monies.

(a) For purposes hereof, "Public Funds" and "Public Monies" mean monies, funds, and accounts, regardless of the source from which they are derived, that are owned, held, or administered by the state or any of its boards, commissions, institutions, departments, divisions, agencies, bureaus, laboratories, or other similar

instrumentalities, or any county, city, school district, political subdivision, or other public body. The terms also include monies, funds or accounts that have been transferred by any of the aforementioned public entities to a private contract provider for public programs or services. At this time, the Developer does not anticipate providing public programs or services. Nevertheless, The Developer understands, acknowledges and agrees that said funds shall maintain the nature of Public Funds while in the Developer's possession.

(b) Notwithstanding any term or provision of this Agreement to the contrary, the Developer, as a potential recipient of Public Funds and Public Monies pursuant to this Agreement and the other agreements related hereto, expressly understands that it and its officers, managers, members and employees are obligated to receive, keep safe, transfer, disburse and use these Public Funds and Public Monies solely as authorized by law and this Agreement. The Developer understands that its officers, managers, members and employees may be criminally liable under Utah Code Ann. § 76-8-402, for misuse of Public Funds or Public Monies. The Developer expressly understands that the Agency shall monitor any expenditure by the Developer of Public Funds contemplated by this Agreement and shall impose and enforce any and all such requirements in connection therewith as may be required by applicable law. The Developer further expressly understands that the Agency may withhold Public Funds or require repayment of Public Funds from the Developer for contract noncompliance, failure to comply with directives regarding the use of Public Funds, or for misuse of Public Funds or Public Monies.

Section 4.14 Compliance with Laws. Each Party agrees to comply with all federal, state and local laws, rules and regulations in the performance of its duties and obligations under this Agreement. Any violation by any Party of applicable law shall constitute an event of default under this Agreement and such defaulting Party shall be liable for and indemnify, hold harmless and defend the other Party from and against any and all liability arising out of or connected with the violation. The Developer is solely responsible, at its expense and cost, to acquire, maintain and renew during the term of this Agreement, all necessary permits and licenses required for its lawful performance of its duties and obligations under this Agreement. For purposes of this Agreement, the term "applicable

law” or any similar term shall not include an ordinance, resolution, regulation, rule or procedure adopted or enacted by the Agency after the satisfaction of the conditions set forth in Article III, above, which would prevent the Agency’s performance of its obligations under this Agreement.

Section 4.15 Non-Discrimination. The Developer, and all persons acting on its behalf, agree that they shall comply with all federal, state and City laws, rules and regulations governing discrimination and they shall not discriminate in the engagement or employment of any professional person or any other person qualified to perform the services required under this Agreement.

Section 4.16 Labor Regulations and Requirements. The Developer agrees to comply with all applicable provisions of Title 34 of the Utah Code, and with all applicable federal, state and local labor laws. The Developer shall indemnify and hold the Agency harmless from and against any and all claims for liability arising out of any violation of this Paragraph or the laws referenced by the Developer, its agents or employees.

Section 4.17 Assignment. The Developer shall not assign or transfer its duties of performance nor its rights to compensation under this Agreement, without the prior written approval of the Agency, which shall not be unreasonably withheld, conditioned or delayed. In addition, if the assignment or transfer of the rights under this Agreement is to a person or entity which acquires substantially all of the assets of the Developer, the burden of proof shall be on the Agency to establish that its disapproval is reasonable. If the Agency withholds such approval, it shall specify in reasonable written detail the basis for the disapproval. The Agency reserves the right to assert any claim or defense it may have against the Developer and against any assignee or successor-in-interest of the Developer. Notwithstanding the foregoing, the surviving entity in any merger, consolidation or reorganization in which the Developer is a participant shall constitute a permitted assignment (“Permitted Assignment”) and shall not require prior approval of the Agency. The Developer shall provide written notice of a Permitted Assignment promptly after the same occurs.

Section 4.18 Notices. All notices to be given under this Agreement shall be made in writing and shall be deemed given upon personal or hand delivery, by confirmed facsimile transmission, by email, upon the next business day immediately following the day sent if sent by overnight express carrier, or upon the third business day following the day sent if sent postage



other terms, conditions, representations or understanding, whether written or oral, concerning the rights and obligations of the Parties to this Agreement, except as set forth in this Agreement. This Agreement may not be enlarged, modified or altered, except in writing, signed by the parties.

Section 4.21 Governing Law. It is understood and agreed by the Parties hereto that this Agreement shall be governed by the laws of the State of Utah and the Ordinances of the City, both as to interpretation and performance. All actions, including but not limited to court proceedings, administrative proceedings, arbitration and mediation proceedings, shall be commenced, maintained, adjudicated and resolved within the jurisdiction of the State of Utah.

Section 4.22 Estoppel Certificate. Within ten (10) business days after written request of Developer or its lender Agency shall provide an estoppel certificate to Developer, a prospective purchaser or an existing prospective lender certifying that this Agreement is in full force and effect, that no defaults exist (or specifying any defaults which do exist) and providing such other factual information pertaining to this Agreement as Developer, such lender or a prospective purchaser of part or all of the Project may reasonably request. The Developer shall pay any actual, out-of-pocket reasonable attorney's fees incurred by the Agency in connection with the foregoing.

Section 4.23 Miscellaneous. In addition to the foregoing, the parties to this Agreement agree as follows:

(a) No waiver of any of the provisions of this Agreement shall be deemed, or shall constitute, a waiver of any other provision, whether or not similar, nor shall any waiver constitute a continuing waiver. No waiver shall be binding unless executed, in writing, by the party making the waiver.

(b) The recitals and the exhibits attached to this Agreement shall be and hereby are incorporated in and an integral part of this Agreement by this reference.

(c) This Agreement shall be binding upon, and shall inure to the benefit of the parties to it and their respective successors and assigns.

(d) In the event that any provision of this Agreement shall be held invalid and unenforceable, such provision shall be severable

from, and such invalidity and unenforceability shall not be construed to have any effect on, the remaining provisions of this Agreement.

(e) The Parties agree to use reasonable diligence to fulfill their respective obligations under this Agreement at all times that this Agreement is in effect.

(f) Nothing in this Agreement is or shall be intended to provide or convey any actionable right or benefit to or upon any person or persons other than the Developer and the Agency. Except as otherwise specifically provided in this Agreement, each party shall bear its own costs and expenses (including legal and consulting fees) in connection with this Agreement and the negotiation of all agreements, including without limitation the Agreement, and preparation of documents contemplated by this Agreement.

(g) All obligations of the Parties set forth in this Agreement which are contemplated to be performed or satisfied after the Closing in accordance herewith shall survive the Closing and the delivery of any instrument of conveyance made in connection therewith.

(h) Except as otherwise provided in this Agreement, whenever a period of time is in this Agreement prescribed for action to be taken by a Party, said Party shall not be liable or responsible for, and there shall be excluded from the computation of any such period of time, any delays due to a Force Majeure Event; for purposes of this Agreement, "Force Majeure Event" means any act or event, whether foreseen or unforeseen, that meets all three of the following tests:

(i) The act or event prevents a Party, in whole or in part, from:

(A) performing its obligations under this Agreement or another specified agreement; or

(B) satisfying any conditions to the obligations under this Agreement.

(ii) The act or event is beyond the reasonable control of and not primarily the fault of a Party.

(iii) A Party has been unable to avoid or overcome the act or event by the exercise of commercially reasonable due diligence.

(iv) In furtherance of such definition, and not in limitation of such definition, each of the following acts and events is deemed to be a Force Majeure Event: war, flood, lightning, drought, earthquake, fire, volcanic eruption, landslide, hurricane, cyclone, typhoon, tornado, explosion, civil disturbance, act of God or the public enemy, terrorist acts, military action, epidemic, famine or plague, shipwreck, action of a court or public authority, or strike, work-to-rule action, go-slow or similar labor difficulty, and such failure, standing alone, prevents Developer from fulfilling one or more of its obligations under this Agreement. The foregoing list of Force Majeure Events is not exhaustive, and the principle of ejusdem generis is not to be applied in determining whether a particular act or event qualifies as a Force Majeure Event. Notwithstanding the foregoing, a Force Majeure Event shall not mean or include economic hardship, changes in market conditions, insufficiency of revenues or funds, or the financial condition of a Party, or the sale, transfer, liquidation, insolvency, failure, secession, disbandment, dissolution or termination of any person owning any interest in a Party.

IN WITNESS WHEREOF, the Parties have executed this Agreement as of the day and year recited above.

DEVELOPER:

SYRACUSE FAMILY FUN CENTER  
LLC, a Utah limited liability company

By: Ed Gertge

Name: Ed Gertge

Title: Developer

STATE OF UTAH        )  
                                  ) ss.  
COUNTY OF DAVIS    )

On August 30, 2012, personally appeared before me Edward Gertge who being by me duly sworn did say that he is the Developer of SYRACUSE FAMILY FUN CENTER LLC, and that said instrument was signed on behalf of said limited liability company.



Brenda Victoria Leota  
NOTARY PUBLIC

AGENCY:

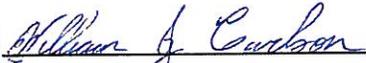
REDEVELOPMENT AGENCY OF  
SYRACUSE CITY

By: 

Name: Robert Rice

Title: City Manager

APPROVED AS TO LEGAL FORM:

By: 

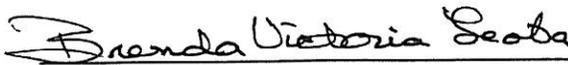
STATE OF UTAH        )

) ss.

COUNTY OF DAVIS    )

On August 30 2012, personally appeared before me Robert Rice, who being by me duly sworn did say that he is the City Manager of the REDEVELOPMENT AGENCY OF SYRACUSE CITY, and that said instrument was signed on behalf of the Redevelopment Agency of Syracuse City, by authority of law.





NOTARY PUBLIC

## EXHIBIT C

### ANTICIPATED FEES<sup>1</sup>

| Fee Type             | Anticipated Fee            |
|----------------------|----------------------------|
| Secondary Impact     | \$14,810.40                |
| Sewer Connection     | \$300.00                   |
| Sewer Impact         | \$1,500.00                 |
| Storm Sewer Impact   | \$22, 738                  |
| Traffic Impact       | \$116,400.00               |
| Building Permit      | \$18,256.00                |
| Plan Review          | \$11,931.00                |
| State Surcharge      | \$184.00                   |
| Public Safety Impact | \$22,000.00                |
| <b><i>TOTAL</i></b>  | <b><i>\$208,119.40</i></b> |

---

<sup>1</sup> These anticipated fee calculations are based on estimated square footage of Expansion and could vary based on actual plan submittal. The Agency does not assess these fees on Developer and accordingly does not have authority to state exactly what fees will be assessed by the City and other governmental agencies on Developer. This is only an estimate , but will be used in determining the amount of the first rebate payment that will be retained by the Agency to pay Syracuse City and other government agencies.

EXHIBIT D  
EVIDENCE OF PRIVATE FINANCING



6985 Union Park Center  
Suite 150  
Cottonwood Heights, UT 84047

March 26, 2013

Syracuse Family Fun Center, LLC  
1806 South 2000 West  
Syracuse, UT 84075

Re: Your Application for SBA 7(a)

You recently submitted an Application for SBA 7(a), to Proficio Bank ("The Bank") in the amount of \$5,000,000.00 ("Application"). This letter confirms The Bank's willingness to extend the loan subject to the conditions stated below, and included in the attached SBA Authorization; and other critical matters relevant to the loan ("Loan").

- I. Conditions Precedent. The Loan is conditioned upon at least the following requirements. All of these and any other conditions set by The Bank, and the SBA must be met to The Bank's satisfaction prior to any closing.
  - A. No breach of any warranty or representation contained in your Application;
  - B. No material adverse change in your financial business, or operational condition as of the Loan closing;
  - C. The Bank's receipt from you of the following:
    1. First priority secured mortgage interest in, or deed of trust or similar agreement covering: Land and Buildings of 1806 South 2000 West in Syracuse, Utah ("Property");
    2. Completed and executed documents customarily required by The Bank, and the SBA as may be requested in the SBA Authorization;
    3. Mortgage title insurance policy for the Loan amount to be arranged by The Bank as applicable in accordance with local regulations and requirements;
    4. Current Real Estate appraisal, satisfactory to the Bank;
    5. Current property survey meeting The Bank standards, or waivers from the exception from the Title Company;
    6. Appropriate environmental reports including all information, studies, examinations, and investigations in your possession or control as to ground, air, and/or water regarding: ownership and property uses, history, and/or the likely or potential presence of any hazardous, toxic, or dangerous substances or wastes identified and/or regulated by federal, state, or local laws and regulations, including without limitation, any that might result from underground storage tanks, asbestos, and petroleum or petroleum products;
    7. True copies of policies or certificates of insurance that show your procurement of casualty, liability, and all other risk insurance coverages that meet the requirements set forth in Attachment A;

8. Evidence acceptable to The Bank that the Property is in compliance with applicable land use restrictions, zoning laws, ordinances, and regulations;
9. Payment of all of The Bank's filing fees, recording fees/taxes, costs, and expenses, including, without limitation, all attorney fees incident to making and closing the Loan;
10. Your representation and warranty that there are no:
  - a. Previous or current unfulfilled existing obligations that you or any of your affiliates or owners owe to The Bank, except as disclosed in writing to The Bank as part of the Application;
  - b. Claims for damages arising directly or indirectly from any and all previous loans or credit accommodations between The Bank and you or any of your affiliates or owners;
11. Your waiver of and release of The Bank from, any and all past and present claims, defenses, causes of action, or damages, arising from any and all dealings and relationships between The Bank and you and any of your affiliates;
12. Your agreement to indemnify and hold The Bank and its officers, directors, agents, and employees harmless from and against any loss, claims, or expenses, including, but not limited to, reasonable attorney fees, arising out of or relating to the Loan; and
13. Approval subject to SBA Approval and all SBA loan requirements; and
14. The Bank's receipt of an assignment of Life Insurance in the amount of \$5,000,000.00 on the life of Dwight Gailey and Ed Gertge if required by SBA; and
15. Your agreement to provide all needed information, and documentation required by the Bank and the SBA.

D. Your procurement of all governmental and third party consents as necessary or appropriate in connection with the Loan.

II. Loan Parameters. The general terms of the Loan are as follows: (The general terms of the Loan are to be outlined in the loan documentation, and provided to you for review prior to loan closing.)

- A. Amount: \$5,000,000.00
- B. Processing Fee: \$2,500.00
- C. Construction Fee: payment for the inspection reports by the third party
- D. Interest Rate: The interest rate on the principal balance outstanding under the loan will be determined as follows and is subject to any interest rate change that may occur between the date of this letter and the actual date of closing (choose fixed or floating):

Floating at the Wall Street Journal Prime rate (currently 3.25%) plus 175 basis points as of five business days immediately prior to closing, adjusted every five years.

In no case is the interest rate/spread commitment valid after the Reply Deadline indicated below.

- E. Payment Terms: Construction term and then 300 successive monthly installment payments as follows:
  1. Construction duration of up to 12 months with interest only monthly payments accruing at Prime plus 175 basis points.

- 2. Blended Payments: 299 payments representing both principal and interest, and one final payment of the balance due.
- F. Term: 300 months; Amortization: 300 months – both after the construction has finished within twelve months.
- I. Collateral: First priority security interest in the Property, structures on it, and related fixtures;
- J. Additional Security:
  - 1. Guaranties of : Ed Gertge and Dwight Gailey
- B. Reply Deadline: April 12, 2013. You must return an executed copy of this letter to The Bank by the reply deadline date. Unless expressly extended by The Bank in writing, this commitment letter expires 60 days after the Reply Deadline. After this commitment letter expires, The Bank will no longer consider your Application and the foregoing Loan parameters will no longer be valid.

III. Other Matters. In addition to the foregoing, the following points apply to our future discussions regarding your Application and the Loan.

- A. This commitment letter is limited to the express terms contained herein and is not an offer or commitment to make any other loan or credit accommodation, or create any additional obligation to you.
- B. No third party is entitled to rely on this letter in any way.**
- C. This letter is provided to you on a confidential basis and you may not disclose its existence or its contents to any third party without The Bank’s prior written consent.
- D. The substantive laws of the state in which the Property is located will govern all claims of any nature arising in connection with this letter.

If you wish to pursue a lending relationship with The Bank under the minimum terms and conditions set forth above, please sign below where indicated and return this letter to The Bank. Upon receipt, The Bank will sign and return to you a copy bearing both parties' signatures.

Sincerely,

*Agnieszka Murek*

VP , SBA Business Development

Syracuse Family Fun Center, LLC

The Bank

Signature: \_\_\_\_\_

Signature: \_\_\_\_\_

By (print): \_\_\_\_\_

By (print): \_\_\_\_\_

Title: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

## MINIMUM INSURANCE REQUIREMENTS

The following coverages are minimum requirements for this real estate loan. This material is intended to assist you in meeting your obligation to maintain insurance coverage necessary to protect the interest of The Bank and to assist you in the development of an insurance program for your business.

### \* Building Coverage

- The property must be covered by an All Risk Policy (including windstorm)
- Coverage must be in an amount equal to the full replacement cost of the building(s):
- Deductible may not exceed the lesser of \$5,000 or 1% of the building value.
- Ordinance or Law endorsement is required
- The Bank must be included as additional insured, as well as SBA as follows:

*The Bank*

*Its successors and/or assigns (as their interest may appear)*

*6985 Union Park Center Suite 150*

*Cottonwood Heights, UT 84047*

*U.S Small Business Administration*

*Standard 7a Loan Guaranty Processing Center*

*6501 Sylvan Road, Suite 122*

*Citrus Heights, CA 95610*

### \* Business Interruption

- A minimum of 4 months business interruption coverage, equal to the net operating income for the period.
- Extra expense must be included

### \* Personal Property

- Coverage must be the full replacement cost / or maximum insurable value.

### \* Vehicle Property

- Full Comprehensive and Collision Coverage of the Collateral vehicle equal to the Blue Book Value of the Vehicle
- Deductible no greater than \$1,000.00
- The Bank to be listed as the lien holder

### \* Comprehensive Commercial General Liability

- Required for: Personal injury, bodily injury, death, and property damage liability.
- Not less than \$1,000,000.00 per occurrence.

### \* Flood, - Building and Contents

- Flood Coverage is required if the property is located in a Federal Emergency Management Agency (FEMA) designated area. Flood Hazard Determination Attached
- Building: Coverage is required at the lesser of loan amount or maximum coverage under the National Flood Insurance Program (NFIP - \$500,000.00 as of January 2005) as deemed sufficient to cover any building damage or loss on a replacement cost basis.
- Personal Property Coverage for any equipment / fixtures for collateral property

### Workers Compensation

- In form and amount in compliance with State regulations

### \* OTHER

- All policies must include a standard, non-contributory loss payee/mortgage clause with 10 days advance notice naming The Bank as follows:

The Bank

*Its successors and/or assigns (as their interest may appear)*

*6985 Union Park Center Suite 150*

*Cottonwood Heights, UT 84047*

*\*If the policy has not been issued, binders or other acceptable evidence of property insurance will be acceptable on an interim basis, not to exceed 60 days from issuance. If insurance is provided under a blanket policy, a certified copy of the policy is acceptable*

**\*\*\*\*Any Deviation to the Minimum Insurance Requirements must be approved by The Bank prior to loan closing.\*\*\*\***



# COUNCIL AGENDA

## July 28, 2015

Agenda Item e                      West Davis Corridor Letter

### *Factual Summation*

- Any question regarding this agenda item may be directed at Brody Bovero, City Manager.
- At the July 14<sup>th</sup> City Council meeting, the Council expressed a desire to discuss the West Davis Corridor in preparation of the expected Record of Decision by UDOT, and possibly review, reaffirm, or edit the previous letter issued by the City regarding the Shared Solutions alternative.
- In a meeting with Councilmember Lisonbee and Mayor Palmer, it was decided that the best course of action would be to discuss the West Davis Corridor and address the upcoming issues related to the expected Record of Decision.
- Councilmember Lisonbee asked the other Councilmembers to send their comments to the City Manager in order to provide direction in the drafting of a letter to UDOT.
- Based on the input received from Councilmembers Lisonbee and Gailey as of Wednesday, July 22<sup>nd</sup>, City Manager Brody Bovero has drafted the attached letter for the Council's consideration.
- Also included for reference are the minutes of the March 10 City Council meeting during which a similar item was discussed.



**Mayor**  
Terry Palmer

**City Council**  
Brian Duncan  
Mike Gailey  
Craig Johnson  
Karianne Lisonbee  
Douglas Peterson

**City Manager**  
Brody Bovero

July 28, 2015

Carlos M. Braceras, Director  
Utah Department of Transportation  
4501 South 2700 West  
Salt Lake City, Utah 84114

Randy Jefferies, Project Manager  
UDOT West Davis Corridor EIS  
466 North 900 West  
Kaysville, Utah 84037

Re: West Davis Corridor

Dear Mr. Braceras and Mr. Jefferies,

In light of the expected Record of Decision for the West Davis Corridor, the Syracuse City Council would like to present its strongly held concerns regarding the impact of the highway through our City.

The impacts of a limited access highway through the middle of our City will no doubt create a physical division in our community, making it more difficult for our residents, both young and old, to traverse across neighborhoods as they have been able to for decades. If an alternative exists that would provide the regional transportation need without a limited access highway, the City would be interested in this. While the City did not agree with all of the Shared Solutions alternative, and in particular the assumed requirement that the City would effectively forfeit its future land use decision-making powers to make it happen, the idea of an alternative to the highway is of interest to this City Council.

The City respects UDOT and the NEPA process, and recognizes that the decision of the WDC rests with the State. Should the highway alternative be chosen, the City will be supportive; but with grave concerns regarding the impacts to our neighborhoods as it relates to noise, unsightly road design and landscaping, exhaust, and accessibility across the highway.

In addition, Syracuse City has made a substantial investment in its trail systems and bike route program to make it one of the most bike and pedestrian friendly cities in Davis

County. Included in these trail systems are the associated natural landscapes and views of west Davis County and Antelope Island, which has become an iconic hallmark of our City and a draw to our City that provides economic benefits. Through careful design, it is our expectation that UDOT will incorporate and protect these resources along with the implementation of a highway.

While Syracuse City will accept the highway if such decision is made, this City Council has an expectation that UDOT will not only construct the highway with great sensitivity to Syracuse City, but to all the communities that will be bisected by its structure.

Syracuse City will continue to encourage UDOT, the State Legislature, and the other affected cities, to work together in ensuring that the roadway design mitigates the potential negative impacts typically brought by a limited-access highway.

The City Council desires to continue working with the surrounding municipalities in a cooperative manner to solve land use and transportation issues. A large transportation investment such as the proposed West Davis Highway would become a lasting landmark on this region. We owe it to ourselves and future generations to ensure that such a structure is built with the appropriate sensitivities in mind.

Respectfully submitted,

Terry Palmer  
Mayor, Syracuse City

Cc: State Senator Jerry Stevenson  
State Representative Curtis Oda  
State Representative Brad R. Wilson  
Davis County Commission  
Weber County Commission  
Mayor and Council of Centerville City  
Mayor and Council of Farmington City  
Mayor and Council of Layton City  
Mayor and Council of Kaysville City  
Mayor and Council of West Point City  
Mayor and Council of Clinton City  
Mayor and Council of Roy City  
Mayor and Council of Hooper City

[9:01:01 PM](#)

11. Recommendation on the Shared Solution Proposal.

A staff memo from the Community and Economic Development Department explained the Shared Solution Coalition has approached Davis County municipalities with an alternative proposal to the West Davis Corridor Highway. The Utah Department of Transportation has asked these Cities to determine if the Shared Solution land use assumptions are reasonable and feasible for Syracuse City. If the cities indicate that the Shared Solution land use assumptions are feasible and reasonable, UDOT will run additional tests to see if the other assumptions made by Shared Solutions are also feasible and reasonable. If the Shared Solutions alternative passes the additional testing, it would become Scenario #47. If UDOT then indicates that #47 would become the preferred alternative, UDOT will be returning to the cities requiring them to amend their land uses to reflect the Shared Solutions alternative before the final determination can be made on the selection of the preferred scenario and final decision. The current objective is to determine if the Shared Solution land use assumptions are reasonable and feasible for Syracuse City through resolution at the March 10, 2015 City Council Meeting. The Syracuse City Planning Commission voted unanimously during their February 17, 2015 regular meeting to recommend denial to the City Council for the Shared Solution land use proposal and have determined that it is not reasonable and feasible for Syracuse City.

[9:01:05 PM](#)

Mr. Bovero reviewed the staff memo and read a draft letter indicating the City's position on the Shared Solution.

“Dear Mr. Braceras, Mr. Jefferies and Mr. Borgenicht,

The Shared Solution Coalition has presented the Syracuse City Mayor, Council, Planning Commission and staff with an alternative proposal to the West Davis Corridor Highway. The Utah Department of Transportation has asked for a determination if the Shared Solution land use assumptions are reasonable and feasible for Syracuse City and if the City would incorporate the land use scenario into the general plan and zoning map, should this alternative be selected by UDOT based upon a complete Environmental Impact Study.

The City Council does not believe the proposed land use changes are in harmony with the current General Plan for Syracuse City, and does not agree that the City would change its General Plan and Zoning Ordinance to accommodate the proposed land use.

Based on transportation studies conducted by the City, the Council has real concerns with the impacts on the City's local road network, and the additional demands that will be placed on local road capacities, should the Shared Solutions proposal be implemented.

The City Council desires to continue working with the surrounding municipalities in a cooperative manner to solve land use and transportation issues, but does not agree that the proposed land use solution brought by Shared Solutions is best for the general health, safety, and welfare of the public in Syracuse City.

Respectfully submitted,

Terry Palmer  
Mayor, Syracuse City”

[9:03:15 PM](#)

COUNCILMEMBER DUNCAN MADE A MOTION TO AUTHORIZE THE MAYOR TO EXECUTE THE LETTER INDICATING THE CITY'S POSITION REGARDING THE SHARED SOLUTION. COUNCILMEMBER GAILEY SECONDED THE MOTION.

[9:03:48 PM](#)

Councilmember Duncan stated he is not opposed to the Shared Solution concept, but he feels the concept has been co-opted by another party that is seeking to control the way Syracuse City is zoned and planned for the future. He is willing to work with other cities and UDOT to come up with solutions that solve transportation problems without giving up control of planning the future of the City. Councilmember Johnson agreed and clarified that the City is also not endorsing the West Davis Corridor proposal. Councilmember Peterson agreed as well.

City Council Regular Meeting  
March 10, 2015

9:05:20 PM

Mayor Palmer stated there has been a motion and second regarding the letter and he called for a vote: ALL VOTED IN FAVOR.



## SYRACUSE CITY

### Syracuse City Council Special Meeting Agenda

**July 28, 2015 – immediately following the City Council work session, which begins at 6:00 p.m.**

City Council Conference Room

Municipal Building, 1979 W. 1900 S.

1. Meeting called to order
2. Approval of minutes:
  - a. Work Session of May 26, 2015
  - b. Work Session of June 9, 2015
  - c. Regular Meeting of June 9, 2015
  - d. Work Session of June 23, 2015
  - e. Special Meeting of June 23, 2015
  - f. Work Session of July 14, 2015
  - g. Regular Meeting of July 14, 2015
3. Proposed Resolution R15-24 amending the Syracuse City General Plan Land Use Map adopted in 1976, as amended, by changing the land use designation for property located at approximately 3600 W. 1700 S. from Professional Office to Business Park.
4. Proposed Ordinance 2015-16 amending the existing zoning map of Title Ten by changing from Professional Office Zone (PO) to Business Park Zone (BP) the parcel of property located at approximately 3600 W. 1700 S.
5. Proposed Resolution R15-25 amending the Syracuse City General Plan Land Use Map adopted in 1976, as amended, by changing the land use designation for property located at approximately 1373 S. 2000 W. from R-1 Residential to Professional Office.
6. Proposed Ordinance 2015-17 amending the existing zoning map of Title Ten by changing from R-1 Residential to Professional Office Zone (PO) the parcel of property located at approximately 1373 S. 2000 W.
7. Final Subdivision Approval, Spring Haven Estates located at 1840 S. 3475 W., R-1 Zone, applicant Josh Hughes.
8. Final Subdivision Approval, Trails Edge Phase 3-5 located at 3500 W. 700 S., R-3 Zone, applicant Mark Sandberg.
9. Final Subdivision Approval, Tivoli Gardens Phase 2 located at 1875 S. 1000 W., R-3 Zone, applicant Wright Development Group.
10. Consideration of letter to the Utah Department of Transportation re: the West Davis Corridor Project.
11. Proposed Resolution R15-26 appointing the Syracuse City Attorney.
12. Consideration of adjourning into Closed Executive Session pursuant to the provisions of Section 52-4-205 of the Open and Public Meetings Law for the purpose of discussing the character, professional competence, or physical or mental health of an individual; pending or reasonably imminent litigation; or the purchase, exchange, or lease of real property (roll call vote).
13. Adjourn.

~~~~~

In compliance with the Americans Disabilities Act, persons needing auxiliary communicative aids and services for this meeting should contact the City Offices at 801-825-1477 at least 48 hours in advance of the meeting.

CERTIFICATE OF POSTING

The undersigned, duly appointed City Recorder, does hereby certify that the above notice and agenda was posted within the Syracuse City limits on this 23rd day of July, 2015 at Syracuse City Hall on the City Hall Notice Board and at <http://www.syracuseut.com/>. A copy was also provided to the Standard-Examiner on July 23, 2015.

CASSIE Z. BROWN, CMC
SYRACUSE CITY RECORDER



COUNCIL AGENDA

July 28, 2015

Agenda Item #2

Approval of Minutes.

Factual Summation

- Please see the draft minutes of the following meeting(s):
 - a. Work Session Meeting of May 26, 2015.
 - b. Work Session Meeting of June 9, 2015.
 - c. Regular Meeting of June 9, 2015.
 - d. Work Session Meeting of June 23, 2015.
 - e. Special Meeting of June 23, 2015.
 - f. Special Meeting of June 25, 2015.
 - g. Work Session Meeting of July 14, 2015.
 - h. Regular Meeting of July 14, 2015.

- Any question regarding this agenda item may be directed at Cassie Brown, City Recorder.

Minutes of the Syracuse City Council Work Session Meeting, May 26, 2015

Minutes of the Work Session meeting of the Syracuse City Council held on May 26, 2015, at 6:00 p.m., in the Council Work Session Room, 1979 West 1900 South, Syracuse City, Davis County, Utah.

Present: Councilmembers: Brian Duncan
Mike Gailey
Craig A. Johnson
Karianne Lisonbee
Douglas Peterson

Mayor Terry Palmer
City Manager Brody Bovero (participated via telephone)
City Recorder Cassie Z. Brown

City Employees Present:
City Attorney Clint Drake
Finance Director Steve Marshall
Public Works Director Robert Whiteley
Fire Chief Eric Froerer
Police Chief Garret Atkin
Acting Community and Economic Development Director Noah Steele
Police Lieutenant Lance Call
Police Lieutenant Heath Rogers
Administrative Intern Taylor Greenwell

The purpose of the Work Session was to receive public comments; have continued discussion regarding a proposed parking ordinance; review the concept plan report for Spring Haven, located at approximately 1840 S. 3475 W.; discuss a proposed code amendment in Title Ten of City Code pertaining to accessory structures; discuss water conservation; discuss the Fiscal Year (FY) 2016 to 2020 Employee Compensation Plan; discuss the FY 2015 to 2016 budget in general; and discuss Council business.

Councilmember Gailey offered an invocation.

[6:04:55 PM](#)

Public comments

[6:05:00 PM](#)

Brandon Law stated that he is the President of Layton Canal Irrigation and represents Black Island Farms; he wanted to discuss water conservation in the City and he asked that the City participate in enforcing water restrictions to ensure that

1 residents and businesses are properly conserving water. He stated the area is currently experiencing drought conditions that
2 could have severe impacts on land owners in the future, particularly farmers.

3
4 [6:06:06 PM](#)

5 **Continued discussion of proposed parking ordinance.**

6 A staff memo from the Police Chief explained he is requesting the adoption of an additional parking ordinance.
7 According to ordinance 11.05.010, Syracuse City has adopted State laws related to parking violations. These laws can be
8 found primarily in 41-6a-1401 - 41-6a-1404 of the Utah Code. The purpose of this proposed ordinance is to allow the
9 Department to better address parking concerns of residents and to provide increased safety. This ordinance would be added to
10 Chapter 11 Section 20 of the Syracuse City Code.

11 [6:06:21 PM](#)

12 Chief Atkin reviewed his staff memo and referred to the proposed ordinance and State Laws pertaining to parking.
13 The Council had a general discussion regarding the proposed ordinance amendments. There was a focus on amendments that
14 the Council felt would impact a resident's right to monitor and maintain their private property in a manner they see fit. They
15 suggested that many parking issues could be addressed by the City's public nuisance ordinance. Councilmembers Duncan
16 and Johnson indicated they are not supportive of an ordinance that would be stricter than sections of State Code that provide
17 parking restrictions. Chief Atkin indicated he will consider the feedback received tonight in order to proceed with amending
18 his proposal pertaining to a parking ordinance.

19
20 [6:38:55 PM](#)

21 **Concept Plan Report, Spring Haven, located at**
22 **approximately 1840 S. 3475 W.**

23 A staff memo from the Community and Economic Development Department explained
24 Syracuse City staff has conducted a concept review of Spring Haven Subdivision:

25 Subdivision Name: Spring Haven
26 Location: 1840 S 3475 W

1 Concept Plan Review May 6, 2014

2 Current Zoning: R-1 Residential

3 Total Area: 3.1 Acres

4 Net Developable Acres: 2.48 acres

5 Density Allowed: 7 lots

6 Density Requested: 7 lots

7 Staff is providing this report in accordance with Syracuse City Code Section 8.20.030, which reads:

8 **8.20.030 Pre-Application Review.**

9 The developer shall meet with City staff to review the plan of the proposed subdivision. The pre-
10 application meeting shall be attended by staff from applicable city departments, special service districts,
11 county agency and others as deemed necessary by the Community Development Director.

12 The Community Development Director shall report to the Planning Commission and City Council of pre-
13 application meetings during regular work sessions.

14 [6:39:08 PM](#)

15 City Planner Steele reviewed the staff memo.

16 [6:40:44 PM](#)

17 The Council engaged in a discussion regarding the development of properties adjacent to the subject property, with a
18 focus on creating adequate access to the subject property. Councilmember Lisonbee asked that every effort be made to consider
19 appropriate access for the subject property and future development of adjacent properties.

20

21 [6:53:14 PM](#)

22 **Code amendment, Title Ten, pertaining to accessory**

23 **structures**

24 A staff memo from the Community and Economic Development Department explained the Planning Commission held
25 discussions regarding accessory structures on February 17, March 17, April 7, and April 21, 2015. The Council had a discussion
26 regarding the topic on May 12 and chose to table and discuss the item further in a work session. The Planning Commission has

1 conducted a review of the accessory structure ordinance in Title X of the City Code. The following is a summary of the changes:

- 2 • Clarify confusing language throughout
- 3 • Remove the fencing requirement
- 4 • Change the setback requirements
- 5 • Change the allowed height requirements
- 6 • Change the pool/hot tub requirements

7 [6:53:28 PM](#)

8 City Planner Steele reviewed the staff memo and he reviewed the changes that have been made to the proposed ordinance
9 since it was last reviewed by the City Council. The Council had a focused discussion regarding the fencing requirements around
10 pools and hot tubs, concluding that the fencing height must be a minimum of four-feet.

12 [7:07:48 PM](#)

13 **Water conservation discussion**

14 During the May 12, 2015 City Council meeting, Councilmember Lisonbee asked that an item be added to the next
15 work session meeting agenda to discuss water conservation efforts. Her request was seconded by Councilmembers Gailey
16 and Peterson.

17 [7:07:57 PM](#)

18 Councilmember Lisonbee noted she has received comments from residents requesting water restrictions be
19 implemented by the City. She stated that in the past she has been against such restrictions, but this is an exceptionally low
20 water year. She proposed a temporary resolution for this season only. She stated that the council has seen in the past that
21 some residents follow the suggested watering schedule but many do not. She stated that there is a possibility that the
22 secondary system would be shut off prior to the end of the season this year due to low water levels and restricted supply from
23 the water company. She noted that residential users have a larger impact than residential users.

24 [7:11:22 PM](#)

25 Councilmember Johnson stated he will not support a resolution that allows the City to penalize residents that are not
26 following the suggested watering schedule. Councilmember Lisonbee noted that guidelines were posted last year and though

1 some residents followed them at the beginning of the growing season, there were not many residents following them at the
2 end of the season and this caused the City's secondary water pumps to be overtaxed. She noted that if the Council does not
3 address the issue they are being irresponsible to every citizen in the City. She proposed that the resolution include a trigger
4 point, such as the level of the reservoirs, and if that trigger point is reached water restrictions could be enacted and violations
5 of the restrictions could result in a civil penalty.

6 [7:13:10 PM](#)

7 The Council and Mayor engaged in a discussion regarding the availability of water with Public Works Director
8 Whiteley, with Mayor Palmer indicating he is not supportive of mandatory watering restrictions. Mr. Whitley indicated
9 water levels are at an all-time low since 1981. He noted water demand through the month of May has been low due to the
10 multiple rain storms, but that will not be the case through the duration of the growing season. Discussion and debate
11 regarding Councilmember Lisonbee's proposal ensued, with Councilmember Johnson and Mayor Palmer indicating they
12 would prefer to allow citizens to self-regulate with use of the City's suggested watering schedule. Councilmember Lisonbee
13 noted that some residents have proven they are not willing to self-regulate in the past. Councilmember Duncan stated he
14 would prefer to give the citizenry fair warning of the potential to enact a resolution allowing for enforcement of watering
15 restrictions before actually taking such a drastic measure. Councilmember Lisonbee noted that if the City is placed in a
16 situation where it is necessary to shut down water pumps prior to the conclusion of the growing season, the residents that
17 have actually tried to conserve water will be most impacted though they did not contribute to the problem.

18 [7:33:34 PM](#)

19 Mr. Whiteley noted that he and his staff are monitoring reservoir levels multiple times each day and he tracks how
20 each reservoir recharges in a day; if recharge is not occurring at a rate adequate to meet demand, he becomes concerned and it
21 may become necessary to turn off water pumps. When he reaches that point he will approach the Council to suggest firm
22 action. The Council could call a special meeting at that point in time to consider such an action. The risk is that it could be
23 too late to act once such a situation occurs. He recognized that Councilmember Lisonbee is trying to be proactive to address
24 this issue. Council discussion of the issue continued with a focus on steps that can be taken to educate the citizens regarding
25 the dire water situation; they determined to delay taking action on mandatory water restrictions at this point in time.
26 Councilmember Peterson concluded he feels that at some point in time the City will need to implement a secondary water
27 metering system that will better enable them to regulate themselves.

1 [7:39:54 PM](#)

2 Councilmember Gailey suggested that the City schedule a town hall meeting to discuss the current water conditions
3 with the citizenry. Mayor Palmer and City Manager Bovero indicated they will work to schedule such a meeting.

4

5 [7:41:38 PM](#)

6 **FY2016-2020 Employee Compensation Plan**

7 A staff memo from the City Manager explained in order to attract and retain the best employees possible, the City
8 has adopted The Recruitment and Retention Policy, which outlines responsibilities of leadership, employee compensation,
9 and performance measurement. The policy on employee compensation is to pay employees at the 60th to 70th percentile of the
10 market wage levels. The current compensation plan was successful in determining the proper wage scales for the market, but
11 did not yet address the means by which employees move through their respective wage scales. The proposed compensation
12 plan outlines a plan meet the City's adopted policy, in order to obtain the best talent for the benefit of the citizens of Syracuse
13 City.

14 [7:41:58 PM](#)

15 Mr. Bovero reviewed his staff memo and used the aid of a PowerPoint presentation to provide the Council with
16 information regarding the proposed amendments to the City's Employee Compensation Plan, concluding he is recommending
17 elimination of a merit bonus in favor of only providing merit increases to employees eligible for such an increase in any
18 given year.

19 **The meeting audio failed from 7:55 p.m. to 8:09 p.m.**

20 [8:09:56 PM](#)

21 Councilmember Peterson inquired as to when the City should receive the results of the efficiency audit; he would
22 like to understand the results of the audit before taking significant action to address wage compression. He noted, however,
23 that he would be willing to support the changes to the Employee Compensation Plan by eliminating the merit bonus included
24 in the Plan.

25 [8:12:57 PM](#)

1 Council discussion of Mr. Bovero’s proposal continued with a focus on the changes in potential employee
2 compensation costs if the merit bonus were eliminated in favor of only offering merit increases each year, with the entire
3 Council concluding they are supportive of eliminating the merit bonus, but they would prefer to wait to take action on the
4 wage compression issue until the City receives the results of the efficiency audit. Mr. Bovero stated he feels the Council’s
5 actions to amend the employee compensation plan will be viewed positively by City employees. Councilmember Lisonbee
6 stated she appreciates that City Administration’s proposal relative to amendments to the plan is data driven.

7

8 [8:21:50 PM](#)

9 **General Fiscal Year (FY) 2015-2016 Budget discussion**

10 A staff memo from the Finance Director explained this agenda item is set to discuss any budget questions the City
11 Council may have from their review of the proposed budgets provided at the budget retreat.

12 [8:22:06 PM](#)

13 Mr. Marshall reviewed his staff memo as well as the schedule for adopting the final FY 2015-2016 budget. He
14 indicated he has made minor amendments to the budget upon receiving feedback from the Council at the budget retreat. He
15 noted he met with Davis County today and they are projecting a five percent increase in home values in the area; they will
16 recommend lowering the property tax rate, which will result in the amount of money the City receives for property tax
17 revenue remaining constant.

18

19 [8:24:04 PM](#)

20 **Council business**

21 The Council and Mayor provided brief reports regarding the activities they have participated in since the last City
22 Council meeting.

23

24

25 The meeting adjourned at 8:44 p.m.

26

1 _____
2 Terry Palmer
3 Mayor
4
5 Date approved: _____

Cassie Z. Brown, CMC
City Recorder

Minutes of the Syracuse City Council Work Session Meeting, June 9, 2015

Minutes of the Work Session meeting of the Syracuse City Council held on June 9, 2015, at 6:03 p.m., in the Council Work Session Room, 1979 West 1900 South, Syracuse City, Davis County, Utah.

Present: Councilmembers: Mike Gailey
Craig A. Johnson
Karianne Lisonbee
Douglas Peterson

Mayor Terry Palmer
City Manager Brody Bovero

Excused: Councilmember Brian Duncan
City Recorder Cassie Z. Brown

City Employees Present:
Finance Director Steve Marshall
Public Works Director Robert Whiteley
Fire Chief Eric Froerer
Police Chief Garret Atkin
Parks and Recreation Director Kresta Robinson
Acting Community and Economic Development Director Noah Steele

The purpose of the Work Session was to review the agenda for the business meeting to begin at 7:00 p.m.; review the following items forwarded by the Planning Commission:

- Proposed Resolution R15-02, General Plan Amendment request from General Commercial to Planned Residential Development Zone, located at 1600 W. 1700 S., applicant Q-2 LLC.
- Final Subdivision Approval, Monterey Estates Phases 6 & 7, located at approximately 1500 W. 700 S.
- Preliminary Subdivision Plan Approval, Keller Crossing, located at approximately 1975 S. 1000 W.
- Preliminary Subdivision Plan Approval, Spring Haven, located at approximately 1840 S. 3475 W.
- Proposed Ordinance 15-06 amending Title Eight of the Syracuse City Code pertaining to subdivisions, and specifically pertaining to dead-end streets;

and discuss Council business.

[6:04:05 PM](#)

Agenda review

Mayor Palmer briefly reviewed the agenda for the business meeting to begin at 7:00 p.m. He noted the agenda for the business meeting was amended yesterday to include an agenda item to allow City Manager Bovero and Public Works

1 Director Whiteley to provide the citizens with information regarding the City's current culinary water contamination issue.
2 The Council had a discussion regarding further amendments to the agenda by moving planning items ahead of the water
3 advisory report item on the agenda, concluding someone would make a motion during the business meeting to formalize the
4 amendment.

5

6 [6:08:01 PM](#)

7 **Review items forwarded by the Planning Commission:**
8 **Proposed Resolution R15-02, General Plan Amendment**
9 **request from General Commercial to Planned**
10 **Residential Development Zone, located at 1600 W. 1700**
11 **S., applicant Q-2 LLC.**

12 A staff memo from the Community and Economic Development (CED) Department explained the current general
13 plan designation for this parcel is General Commercial. The applicant has requested to break up the parcel and zone the
14 northern part as Planned Residential Development while leaving a little over one half acre along Antelope Drive in the
15 General Commercial zoning. The applicant has indicated intent to develop a 55 and older patio home community. A rezone
16 will also be required upon approval of this application. The applicant requested both portions of his property adjacent to
17 Banbury Dr. be General Planned PRD. The Planning Commission did not feel that the PRD zone was appropriate for the west
18 side of Banbury. The applicant requested a recommendation on the east portion of the property and will amend his
19 application to address a more suitable zone for the west parcel. The Planning Commission recommends approval to the City
20 Council for the General Plan Amendments for the Property owned by Q-2, LLC, at approximately 1600 W 1700 S, from
21 General Commercial to PRD (Planned Residential Development), subject to all applicable requirements of the City's
22 municipal codes.

23 [6:08:25 PM](#)

24 Acting CED Director Steele reviewed the staff memo. The Council had a brief discussion regarding the
25 configuration of the proposed development, with a focus on appropriate access points for the subject property.

26 [6:08:43 PM](#)

1 The Council had a discussion regarding the application and the proposed configuration of the development, with
2 Councilmember Johnson asking if the application is conforming to the newly adopted PRD regulations. Councilmember
3 Lisonbee answered yes. There was also a focus on access to the property, specifically the portion of the property located in
4 close proximity to Banbury Drive, with Mr. Steele noting those issues would be addressed during the future development
5 review steps that will be imposed on the subdivision. He also reviewed the concepts for the development, noting the
6 applicant has indicated he plans to develop a senior living community with some duplexes. Councilmember Lisonbee noted
7 she is comfortable approving the PRD designation for all property east of Banbury Drive, but she is concerned about the land
8 use designation for the portion to the west. She noted she may be comfortable with R-3 Residential zoning for that property,
9 unless the applicant plans to use the property for open space, which she feels would be ideal for the area. Councilmember
10 Peterson stated he does not want the property to the west to remain commercial and he is not sure R-3 provides adequate
11 continuity in the area. Councilmember Gailey agreed. Councilmember Lisonbee stated she understands Councilmember
12 Peterson's comments, but feels that approving PRD on both sides of Banbury would 'close in' the existing Banbury
13 development. She stated she is comfortable approving PRD zoning for the property east of Banbury Drive, but she is
14 cautious about moving forward with assigning PRD zoning to the west side of Banbury; she stated she would like to ask the
15 applicant to go through the process to rezone the property to the east, but reiterated she would support R-3 zoning on the west
16 side of Banbury. Mr. Steele noted the benefit to allowing PRD on both sides of Banbury is that the applicant would be
17 required to meet open space requirements included in the City's ordinances; those same open space requirements do not
18 apply to R-3 zoning. Councilmember Lisonbee agreed, but noted she would prefer to follow the Planning Commission's
19 recommendation at this point and only approve the PRD application for the property on the east side of Banbury Drive.

20

21 [6:23:18 PM](#)

22 **Review items forwarded by the Planning Commission:**

23 **Final Subdivision Approval, Monterey Estates Phases 6**

24 **& 7, located at approximately 1500 W. 700 S.**

1 A staff memo from Acting Community and Economic Development (CED) Director Steele explained this request is
2 for two additional phases to the Monterey Estates development. Approval of this request will complete the subdivision north,
3 to the boundary of the new Syracuse Arts Academy. City staff has no outstanding concerns with this request.

4	Subdivision Name:	Monterey Estates Phase 6 & 7
5	Location:	1500 W 700 S
6	Zone:	R-3 Residential
7	Applicant:	Ivory Homes
8	Total Acreage	14.32 acres
9	Net Developable Acres:	11.46 acres
10	Allowed Lots (5.44 units/acre)	62
11	Proposed Lots	52

12 The memo outlined the timeline for review of the application:

13 General Plan Amendment Approval

14	Planning Commission	August 5, 2014
15	City Council	August 12, 2014

16 Rezone Approval

17	Planning Commission	August 5, 2014
18	City Council	August 12, 2014

19 Concept Plan Staff Review December 10, 2014

20 Preliminary Plan Approval

21	Planning Commission	February 17, 2015
22	City Council	March 10, 2015

23 Preliminary Plan Approval

24	Planning Commission	June 2, 2015
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25 The Planning Commission moved to recommend approval, to the City Council, of the final subdivision plan for
26 Monterey Estates Phase 6 & 7 located at approximately 1500 W 700 S, R-3 zone, subject to all applicable requirements of the
27 City's municipal codes and city staff reviews.

1 [6:23:32 PM](#)

2 Acting CED Director Steele reviewed the staff memo.

3 [6:23:50 PM](#)

4 Councilmember Lisonbee noted it was her understanding that 1350 West would continue through to the south of the
5 Arts Academy School and connect to another City road, but the plans show the road coming to a dead end. Councilmember
6 Johnson stated he recalled discussions about that option, but does not believe it was ever finalized. Councilmember Gailey
7 agreed.

8 [6:31:41 PM](#)

9 City Manager Bovero noted the City has been in discussions with Ivory Homes regarding the potential construction
10 of a trail from the south through the power line heading north to the property that was deeded to the City; this is part of the
11 City's regional trail plan and provides connectivity to the trail on the north side of State Road 193. The trail construction
12 could be in lieu of the payment of impact fees. If the Council is comfortable with the action it will be included in a
13 development agreement for the project. Councilmember Johnson asked if the project would change the layout of the
14 subdivision, to which Mr. Bovero answered no and indicated it is an offsite improvement. Councilmember Peterson stated he
15 is supportive of the project and he thinks it is a great idea. Mr. Bovero noted that he will continue with negotiations of the
16 project. Discussion then centered on other trail and park improvements that may be appropriate upon the completion of the
17 trail connection.

18

19 [6:26:39 PM](#)

20 **Review items forwarded by the Planning Commission:**

21 **Preliminary Subdivision Plan Approval, Keller Crossing,**

22 **located at approximately 1975 S. 1000 W.**

23 A staff memo from the Community and Economic Development (CED) Department explained Syracuse City staff
24 has conducted a Preliminary review for Keller Crossing:

25 Subdivision Name: Keller Crossing

26 Location: 1975 S 1000 W

1	Current Zoning:	A-1 Agricultural
2	General Plan:	R-2 Residential and General Commercial
3	Requested Zoning:	R-2/R-3
4	Total Area:	18.58 Acres
5	R-2	10.07
6	R-3	8.56
7	Net Developable Acres:	14.86 acres
8	R-2	8.56
9	R-3	6.84
10	R-2 Density Allowed:	32 lots
11	Requested:	27 lots
12	R-3 Density Allowed:	37 lots
13	Requested:	23 lots

14 The memo outlined the timeline for review of the application:

15	Concept Plan Review	April 29, 2015
16	Preliminary Plan Review	
17	Planning Commission	June 2, 2015

18 The Planning Commission moved to recommend approval, to the City Council, of the Preliminary
19 Subdivision Plan for Keller Crossing located at approximately 1975 S 1000 W, R-1/R-2 Zone, subject to all
20 applicable requirements of the City's municipal codes and city staff reviews.

21 [6:26:54 PM](#)

22 Acting CED Director Steele reviewed the staff memo

23

24 [6:27:12 PM](#)

25 **Review items forwarded by the Planning Commission:**

26 **Preliminary Subdivision Plan Approval, Spring Haven,**

1 **located at approximately 1840 S. 3475 W.**

2 A staff memo from the Community and Economic Development (CED) Department explained Syracuse City staff has
3 conducted a Preliminary review of the Spring Haven Subdivision.

4	Subdivision Name:	Spring Haven
5	Location:	1840 S 3475 W
6	Current Zoning:	R-1 Residential
7	Total Area:	3.1 Acres
8	Net Developable Acres:	2.48 acres
9	Density Allowed:	7 lots
10	Density Requested:	7 lots

11 The memo outlined the timeline for review of the application:

12	Concept Plan Review	May 6, 2014
13	Preliminary Plan Approval	
14	Planning Commission	June 2, 2015

15 The Planning Commission moved to recommend approval, to the City Council, of the Preliminary Subdivision Plan
16 for Spring Haven Estates located at approximately 1840 S 3475 W, R-1 Zone, subject to all applicable requirements of the
17 City's municipal codes and city staff reviews.

18 [6:27:20 PM](#)

19 Acting CED Director Steele reviewed the staff memo.

21 [6:28:29 PM](#)

22 **Review items forwarded by the Planning Commission:**
23 **Proposed Ordinance 15-06 amending Title Eight of the**
24 **Syracuse City Code pertaining to subdivisions, and**
25 **specifically pertaining to dead-end streets.**

26 A staff memo from the Community and Economic Development (CED) Department explained due to the expense of

1 installation, maintenance and removal of temporary turn-arounds within the boundary of a subdivision, Public Works is
2 recommending to modify the Dead End street ordinance. The Syracuse City Planning Commission hereby recommends that the
3 City Council approve the adoption of Ordinance 15-06, Amending Title Eight.

4 [6:28:38 PM](#)

5 Acting CED Director Steele reviewed the staff memo. Mr. Whiteley reviewed the two options available to the Council in
6 regards to addressing issues with dead-end streets and temporary turnarounds.

7
8 [6:37:18 PM](#)

9 **Council business**

10 Mr. Bovero reported the boil order for culinary water has been partially listed for all property east of 3000 West,
11 including 3000 West. He noted a reverse 911 call, press release, notification on the City's website and Facebook page have
12 been used to notify resident. The local volunteer network has been enlisted to spread the word as well.

13 [6:39:52 PM](#)

14 A resident, no name or address given, discussed the City's recent parks survey and noted that the City does not have
15 a recreational vehicle (RV) park and if such a park were developed people would stay longer in Syracuse and spend more
16 money here, which means the park could be paid for in a short period of time. He stated he commonly hears complaints that
17 people visiting Antelope Drive do not have many camping options and the often go to other cities to camp and park their
18 RVs. Councilmember Peterson stated the City is working to allow overnight camping in Jensen Park, but the idea of a RV
19 park could be taken under advisement. There was a brief discussion about the amount of land available near Jensen Park
20 with a focus on whether the land could be used for something like an RV park.

21
22
23 The meeting adjourned at 6:44 p.m.
24

25 _____
26 Terry Palmer
27 Mayor
28

Cassie Z. Brown, CMC
City Recorder

1 Date approved: _____

Minutes of the Syracuse City Council Regular Meeting, June 9, 2015.

Minutes of the Regular meeting of the Syracuse City Council held on June 9, 2015, at 7:00 p.m., in the Council Chambers, 1979 West 1900 South, Syracuse City, Davis County, Utah.

Present: Councilmembers: Mike Gailey
Craig A. Johnson
Karianne Lisonbee
Douglas Peterson

Mayor Terry Palmer
City Manager Brody Bovero

Excused: Councilmember Brian Duncan
City Recorder Cassie Z. Brown

City Employees Present:
City Attorney Clint Drake
Finance Director Steve Marshall
Public Works Director Robert Whiteley
Fire Chief Eric Froerer
Police Chief Garret Atkin
Parks and Recreation Director Kresta Robinson
Acting Community Development Director Noah Steele

7:00:51 PM

1. Meeting Called to Order/Adopt Agenda

Mayor Palmer called the meeting to order at 7:00 p.m. as a regularly scheduled meeting, with notice of time, place, and agenda provided 24 hours in advance to the newspaper and each Councilmember. Councilmember Gailey provided an invocation. Councilmember Peterson then led all present in the Pledge of Allegiance.

7:03:19 PM

COUNCILMEMBER GAILEY MOVED TO MOVE ITEMS EIGHT, NINE, AND TEN AHEAD OF ITEM 4A ON THE AGENDA AND ADOPT THE AGENDA WITH THOSE CHANGES. COUNCILMEMBER PETERSON SECONDED THE MOTION; ALL VOTED IN FAVOR. Councilmember Duncan was not present when this vote was taken.

7:03:49 PM

2. Presentation of the Syracuse City and Wendy's "Award for Excellence"

to Shea Robbins and Aiden Adams.

1 The City wishes to recognize citizens who strive for excellence in athletics, academics, arts and/or community
2 service. To that end, in an effort to recognize students and individuals residing in the City, the Community and Economic
3 Development, in conjunction with Jeff Gibson, present the recipients for the “Syracuse City & Wendy’s Award for
4 Excellence”. This monthly award recognizes the outstanding performance of a male and female who excel in athletics,
5 academics, arts, and/or community service. The monthly award recipients will each receive a certificate and be recognized at
6 a City Council meeting; have their photograph placed at City Hall and the Community Center; be written about in the City
7 Newsletter, City’s Facebook and Twitter Feed, and City’s website; be featured on the Wendy’s product television; and
8 receive a \$10 gift certificate to Wendy’s.

9 Mayor Palmer noted both teens receiving the award for June 2015 were nominated by Bluff Ridge Elementary
10 School.

11 Shea Robbins

12 Shea has demonstrated persistence with her education. This is a student who never gives up! She continues to strive
13 for excellence by setting habits that will support her in her education. Things like a consistent study time, a quiet
14 place to study equipped with all the supplies she’ll need to be successful. She also understands how important it is to
15 read. So, she spends 30 minutes a night reading, which supports all other academic areas.

16 Shea participated in the state-wide Reflections contest in literature and took 1st place at the district for her age group.
17 She is an excellent and creative writer. Her teachers love to read what she writes.

18 She is a great example of a student leader. She is the first to lead out on any task given to her and is often found
19 leading discussions in her classroom. She includes others at recess and at lunch. She is funny, charming, and eager
20 to please others. Her teachers just love her.

21

22 Aiden Adams

23 Aiden is an exceptional student who models leadership among his peers. He strives to do what is right at all times
24 and models excellent social skills. Aiden is surrounded by a group of friends all the time. People love to be around
25 him. Although he is quiet, he has a great sense of humor that others really enjoy.

1 He is a top student He has scored a “highly proficient” in English Language Arts, Mathematics, and Science for the
2 past 4 years. He sets high academic expectations for himself and doesn’t let anything get in the way of
3 accomplishing his goals.

4 Aiden is one of those students every teacher dreams of. Respectful, kind, studious, committed, and never gives up
5 He loves all things STEM and desires to go onto bigger and brighter things for his future.

6

7 [7:10:04 PM](#)

8 3. Approval of Minutes:

9 The following minutes were reviewed by the City Council: Work Session and Regular Meeting of May 12, 2015.

10 [7:10:13 PM](#)

11 COUNCILMEMBER PETERSON MADE A MOTION TO APPROVE THE MINUTES LISTED ON THE
12 AGENDA. COUNCILMEMBER LISONBEE SECONDED THE MOTION; ALL VOTED IN FAVOR, WITH THE
13 EXCEPTION OF COUNCILMEMBER GAILEY WHO ABSTAINED FROM VOTING DUE TO THE FACT THAT HE
14 WAS NOT IN ATTENDANCE DURING THE MAY 12 MEETINGS. Councilmember Duncan was not present when this
15 vote was taken.

16

17 [7:10:53 PM](#)

18 8. Final Subdivision Approval, Monterey Estates Phases 6 & 7, located
19 at approximately 1500 W. 700 S.

20 A staff memo from Acting Community and Economic Development (CED) Director Steele explained this request is
21 for two additional phases to the Monterey Estates development. Approval of this request will complete the subdivision north,
22 to the boundary of the new Syracuse Arts Academy. City staff has no outstanding concerns with this request.

23	Subdivision Name:	Monterey Estates Phase 6 & 7
24	Location:	1500 W 700 S
25	Zone:	R-3 Residential
26	Applicant:	Ivory Homes
27	Total Acreage	14.32 acres

1	Net Developable Acres:	11.46 acres
2	Allowed Lots (5.44 units/acre)	62
3	Proposed Lots	52
4	The memo outlined the timeline for review of the application:	
5	General Plan Amendment Approval	
6	Planning Commission	August 5, 2014
7	City Council	August 12, 2014
8	Rezone Approval	
9	Planning Commission	August 5, 2014
10	City Council	August 12, 2014
11	Concept Plan Staff Review	December 10, 2014
12	Preliminary Plan Approval	
13	Planning Commission	February 17, 2015
14	City Council	March 10, 2015
15	Preliminary Plan Approval	
16	Planning Commission	June 2, 2015

17 The Planning Commission moved to recommend approval, to the City Council, of the final subdivision plan for
18 Monterey Estates Phase 6 & 7 located at approximately 1500 W 700 S, R-3 zone, subject to all applicable requirements of the
19 City's municipal codes and city staff reviews.

20 [7:11:18 PM](#)

21 Acting CED Director Steele reviewed the staff memo.

22 [7:12:06 PM](#)

23 COUNCILMEMBER LISONBEE MADE A MOTION TO GRANT FINAL SUBDIVISION APPROVAL FOR
24 MONTEREY ESTATES PHASES SIX AND SEVEN, LOCATED AT APPROXIMATELY 1500 W. 700 S., WITH ONE
25 AMENDMENT:

- 26 • THE DEVELOPER IS ASKED TO ENTER INTO A DEVELOPMENT AGREEMENT WITH REGARDS
27 TO THE CONSTRUCTION OF A TRAIL IN LIEU OF IMACT FEES.

1 COUNCILMEMBER GAILEY SECONDED THE MOTION; ALL VOTED IN FAVOR. Councilmember Duncan
2 was not present when this vote was taken.

3

4 [7:12:53 PM](#)

5 9. Preliminary Subdivision Plan Approval, Keller Crossing, located at
6 approximately 1975 S. 1000 W.

7 A staff memo from the Community and Economic Development (CED) Department explained Syracuse City staff
8 has conducted a Preliminary review for Keller Crossing:

9	Subdivision Name:	Keller Crossing
10	Location:	1975 S 1000 W
11	Current Zoning:	A-1 Agricultural
12	General Plan:	R-2 Residential and General Commercial
13	Requested Zoning:	R-2/R-3
14	Total Area:	18.58 Acres
15	R-2	10.07
16	R-3	8.56
17	Net Developable Acres:	14.86 acres
18	R-2	8.56
19	R-3	6.84
20	R-2 Density Allowed:	32 lots
21	Requested:	27 lots
22	R-3 Density Allowed:	37 lots
23	Requested:	23 lots

24 The memo outlined the timeline for review of the application:

25	Concept Plan Review	April 29, 2015
26	Preliminary Plan Review	
27	Planning Commission	June 2, 2015

1 The Planning Commission moved to recommend approval, to the City Council, of the Preliminary
2 Subdivision Plan for Keller Crossing located at approximately 1975 S 1000 W, R-1/R-2 Zone, subject to all
3 applicable requirements of the City’s municipal codes and city staff reviews.

4 [7:13:00 PM](#)

5 Acting CED Director Steele reviewed the staff memo

6 [7:13:47 PM](#)

7 COUNCILMEMBER PETERSON MADE A MOTION TO GRANT PRELIMINARY SUBDIVISION PLAN
8 APPROVAL FOR KELLER CROSSING, LOCATED AT APPROXIMATELY 1975 S. 1000 W. COUNCILMEMBER
9 LISONBEE SECONDED THE MOTION; ALL VOTED IN FAVOR. Councilmember Duncan was not present when this
10 vote was taken.

11
12 [7:14:07 PM](#)

13 10. Preliminary Subdivision Plan Approval, Spring Haven, located at
14 approximately 1840 S. 3475 W.

15 A staff memo from the Community and Economic Development (CED) Department explained Syracuse City staff has
16 conducted a Preliminary review of the Spring Haven Subdivision.

17	Subdivision Name:	Spring Haven
18	Location:	1840 S 3475 W
19	Current Zoning:	R-1 Residential
20	Total Area:	3.1 Acres
21	Net Developable Acres:	2.48 acres
22	Density Allowed:	7 lots
23	Density Requested:	7 lots

24 The memo outlined the timeline for review of the application:

25	Concept Plan Review	May 6, 2014
26	Preliminary Plan Approval	

1 Planning Commission June 2, 2015

2 The Planning Commission moved to recommend approval, to the City Council, of the Preliminary Subdivision Plan
3 for Spring Haven Estates located at approximately 1840 S 3475 W, R-1 Zone, subject to all applicable requirements of the
4 City's municipal codes and city staff reviews.

5 [7:14:26 PM](#)

6 Acting CED Director Steele reviewed the staff memo.

7 [7:15:15 PM](#)

8 COUNCILMEMBER LISONBEE MADE A MOTION TO GRANT PRELIMINARY SUBDVSION PLAN
9 APPROVAL FOR SPRING HAVEN, LOCATED AT APPROXIMATLEY 1840 S. 3475 W. COUNCILMEMBER
10 JOHNSON SECONDED THE MOTION; ALL VOTED IN FAVOR. Councilmember Duncan was not present when this
11 vote was taken.

12

13 [7:15:50 PM](#)

14 4. Proposed Resolution R15-16 appointing Christopher Weaver to the
15 Syracuse City Arts Council with his term expiring June 30, 2016.

16 An administrative staff memo indicated Arts Council leadership has requested that Christopher Weaver be appointed
17 to the board to fill a vacancy. Syracuse City Code Title Three provides a process for appointing members of the Arts Council
18 as follows:

19 3.09.020(B) Terms of Office. The terms of office for the five (5) Board members, who are not a
20 member of the Recreation Department, shall be for five (5) years. These members' terms shall be staggered
21 so that no more than one (1) member's term expires at the same time. The terms of office for at-large and
22 ex-officio members shall be five (5) years from the date of appointment. The term of office for the
23 Recreation Department staff designated as a member of the Board shall be as determined by the
24 Department Director. Appointments to the Board shall be made no later than the first City Council meeting
25 in July of each year. In circumstances where appointments are not made prior to the first City Council
26 meeting in July of each year, said appointments shall be made as soon as reasonably possible thereafter.

1 [7:16:13 PM](#)

2 COUNCILMEMBER JOHNSON MADE A MOTION TO ADOPT PROPOSED RESOLUTION R15-16
3 APPOINTING CHRISTOPHER WEAVER TO THE SYRACUSE ARTS COUNCIL WITH HIS TERM ENDING JUNE 30,
4 2016. COUNCILMEMBER LISONBEE SECONDED THE MOTION; ALL VOTED IN FAVOR. Councilmember Duncan
5 was not present when this vote was taken.

6

7 [7:16:49 PM](#)

8 5. Presentation of Water Advisory

9 City Manager Bovero used the aid of a PowerPoint presentation to provide the Council and residents with
10 information regarding the recent water contamination situation within the City and the progress that has been made in
11 resolving the issue.

- 12 • Morning, June 2nd – City charges secondary system at Gailey Farms Subdivision
- 13 • Wednesday, June 3rd around noon – Syracuse Public Works received first call from a resident reporting
14 discolored water.
- 15 • Wednesday at 2pm: began and testing and flushing. 7 pm tests showed good condition
- 16 • Thursday, June 4th: Additional calls for discolored water. Flushing and testing resumed, plus investigative
17 sample from City and Health Department.
- 18 • Additional sample was taken from Weber Basin from their Syracuse source point.
- 19 • Morning, Friday, June 5th: City received Health Department’s sample result positive for E-coli and
20 Coliform. City immediately shut down secondary system.
- 21 • City met with Health Department at 10am on Friday. Second positive sample arrived. The Health
22 Department advised that a public notice was not necessary at this time, until further tests confirm the initial
23 results.
- 24 • City, in cooperation with the Health Department, issued a “soft warning” at 1 pm.
- 25 • Public Works Water Division discovered the problem at 2pm and isolated the cross-connection to stop
26 further mixing of secondary and culinary water.
- 27 • Late Friday Afternoon, City met with Health Department to discuss

- 1 • Determination was made to publish boil order at approximately 5 pm.
- 2 • City officials met to develop course of action. In conjunction with Health Department, two notices were
- 3 developed. One for the media outlets, and one for social media and website. Also, reverse 911 call and
- 4 notification of the local volunteer network.
- 5 • City officials worked through the night developing best course of action to address resident's concerns.
- 6 • The City opened the Emergency Operations Center at 5 am on Saturday to set up phone bank, social media
- 7 communication, water distribution, and further information dissemination methods.
- 8 • Since Friday evening, City has staffed the incident 24/day, and continually flushed and tested the system.
- 9 • City has distributed over 1,045 cases of bottled water.
- 10 • The hotline has been staffed with volunteers in the evenings since yesterday.

11 The presentation indicated the State of Utah requires the City use on of the following incident reporting methods:

12 Broadcast Media (TV/Radio)

- 13 • Post notice in conspicuous location
- 14 • Hand deliver
- 15 • Any method approved by Director

16 The following methods were used by Syracuse City:

- 17 • Broadcast Media (TV/Radio)
- 18 • Website
- 19 • Social Media
- 20 • Reverse 911
- 21 • Local Volunteer Network
- 22 • 5 Notification methods (4.5 hours)
- 23 • Opened EOC 5 am (12 hours)
- 24 • Set up phone banks for hotline to handle call volume 6am (13 hrs)
- 25 • Obtained bottled water for distribution 10am (17 hours)
- 26 • Held press conference detailing the incident (19 hours)

27 The presentation reviewed the effectiveness of various notification methods:

City Council Regular Meeting
June 9, 2015

- 1 • Reverse 911:
- 2 • 8,880 on call list
- 3 • 4,393 calls were reached
- 4 • 2,752 went to voice mail
- 5 • 1,509 live answer
- 6 • 30% of calls were outside of Syracuse
- 7 • Estimated reach: 1,954 – voicemail, 1,071- live answer
- 8 • 10,587 people
- 9 • Syracuse City has approx. 7,366 households (27k pop)
- 10 • Social Media (Facebook):
- 11 • 119,360 impressions
- 12 • 17,600 clicks
- 13 • 3,700 engaged
- 14 • Estimated Reach: 21,300
- 15 • Broadcast Media
- 16 • Unknown impressions
- 17 • KSL, Fox, Ch2, Ch4, and radio
- 18 • Website
- 19 • Unknown impressions
- 20 • 9:38pm on Friday, server crashed due to traffic load
- 21 • 10:00pm, Server was online again
- 22 • Local Volunteer Network
- 23 • Unknown Reach
- 24 • 5 District Coordinators
- 25 • 5 Geographic regions of the City
- 26 • Network of block captains

1 Public Works Director Whiteley read the following statement regarding the circumstances that led to the cross-
2 contamination of the City's culinary water system.

3 City crews discovered a cross connection of culinary and secondary water mains. These mains were installed 7 years
4 ago in 775 South. The cross connection did not create a contamination at that time because both mains in 775 South
5 were tapped to culinary water mains in 2000 West and filled with culinary water.

6 Gailey Farm is a new subdivision that connected onto the culinary water main on 775 South running it through the
7 subdivision and connected to existing culinary water mains in adjacent roadways. The same process was followed
8 for the installation of secondary water mains. A connection was made at 775 South running mains through the
9 subdivision with connections made to secondary water mains of surrounding developments. It was unknown that the
10 secondary water main which already existed in 775 South was connected to and filled with culinary water.

11 When valves on the secondary water system serving Gailey Farm were opened, the culinary and secondary water
12 was mixed. The city was first notified of the water discoloration on Wednesday from phone calls. City crews
13 mobilized immediately to the call and have been working round-the-clock since to remedy the situation.

14 In order to expedite the identification of a potential cross connection, the secondary water was shut down system-
15 wide within the hour after the first failed water sample. Searching for cross-connections can be like looking for a
16 needle in a haystack. Without knowing the point of contamination, the search area could include searching every
17 home and business within a one to two mile radius. Knowing that we could use some help, we notified residents via
18 social media to watch for any sprinklers in operation. In the meantime, our crews worked fervently to locate the
19 source. Approximately four hours later, the source was discovered by our water maintenance workers. The source
20 was immediately isolated to discontinue additional contamination.

21 System flushing continued and a portable chlorine injection was setup at the point of contamination in order to treat
22 the water rapidly using the same flow path that the contamination followed. Meanwhile daily water quality testing
23 was performed system-wide to determine the extent of the contamination. Test results gave a clear indication that
24 water quality was improving every day. We are continuing to test each day to ensure that our water users have full
25 confidence in the water prior to lifting the boil order. It is our intention to have three days of clean test results. With
26 the exception of failed testing at one location on the west end of our system, all of the results have passed since
27 Monday's collection. We have determined that as of 5:00 pm today, the boil order can be lifted. Residents and

1 businesses can begin flushing their own water lines by simply running the clean water through them. Information
2 regarding specifics of how to flush is on the city website.

3 An exhibit has been created to show the sampling that has been performed throughout the city since Thursday. This
4 is a thorough sampling of the entire water system. The different symbols represent different days. Colors represent
5 pass/fail. Green is pass, red is fail, yellow is coliform only fail. The only failed samples occurred at the original area
6 on Friday and Saturday where the discolored water was identified as well as one sample site on the west end of the
7 system that failed both Saturday and Sunday. Each of the areas that failed were re-tested and have passed.

8 Since we are committed to providing the city with quality drinking water, we are lifting the boil order on all areas
9 east of 3000 West including all who are on 3000 West. Our goal is to achieve three days of clean test results
10 throughout the entire water system.

11 The public works department employees take their job very seriously. They are dedicated individuals who are
12 committed to high quality work. They sacrifice numerous hours of family and personal time without complaint to
13 help keep our city operating. They are truly unsung heroes who are interested in our wellbeing.

14 Mr. Bovero then reported that the boil order for culinary water has been partially listed for all property east of 3000
15 West, including 3000 West. He noted a reverse 911 call, press release, notification on the City's website and Facebook page
16 have been used to notify resident. The local volunteer network has been enlisted to spread the word as well. He noted there is
17 no single notification method that is perfect, which is why the City has used several different methods currently available.
18 He concluded that the work he has seen performed over the past weekend was a great demonstration of dedication by City
19 staff, many of which are also residents of the City. He is proud of what he has seen, but acknowledged there is always room
20 for improvement. He invited the public to provide feedback regarding the things they feel the City could have done better or
21 what they feel was done incorrectly. He then referred to the City's website, which includes a wealth of information for
22 residents to use regarding techniques that are effective in flushing water lines.

23

24 [7:50:42 PM](#)

25 6. Public Comments

26 [7:50:57 PM](#)

1 Joe Peterson stated he lives north of the Junior High School and four people in his family have become ill as a result
2 of the water contamination. He stated his questions are regarding the communication criteria used by the City and he asked if
3 there was a delay in relaying needed information to the public. He stated the information that was eventually presented was
4 good, but the City was late in presenting it. He understands that the City did not want to cause hysteria by providing
5 information, but it would have been better to give the citizens a 'heads up' that there could be a problem. He asked if the
6 City plans to do anything different in the event that a similar situation occurs in the future.

7

8 [7:52:37 PM](#)

9 Pat Zaugg thanked the City workers and volunteers who worked tirelessly on the cross contamination issue. She
10 then stated that if the City is receiving numerous phone calls about discoloration of drinking water, the callers should not
11 simply be advised to run their water for 20 minutes in order for it to be safe to drink. She stated she knows several people
12 who had brown water coming from their faucets, yet the City was telling them it was safe to drink and she feels that the City
13 should have contacted those people immediately to conduct an inspection. She agreed with Mr. Peterson's comments and
14 noted that she would prefer that the City notify the residents that there could be a problem with the culinary water and let the
15 residents judge for themselves whether it is safe to drink water; she had two small grandchildren in her home consuming
16 culinary water during two of the four days where there were questions about the safety of the water and that is unpleasant for
17 her. She noted that she received the first reverse 911 call at 9:35 p.m. on Friday evening; she found out about the issue much
18 earlier around 7:00 p.m. and she feels improvements can be made in communicating issues such as this to the citizens. She
19 concluded she is the emergency preparedness specialist in her area and she never received a call from anyone in the City and
20 she feels the process of communicating with individuals such as that in the community needs to be improved.

21

22 [7:56:37 PM](#)

23 Robert Jellco stated he lives in the Canterbury Subdivision. He addressed Mr. Whiteley and the plat map that he has
24 that identifies all culinary and secondary water connections and asked if there is an ordinance in place that requires that a
25 developer pass a City inspection for their connections prior to proceeding with their project. He stated developers should
26 have guidance from the City in connecting to the City's water system to prevent something like this from occurring in the

1 future. He also suggested that a developer be penalized for creating a problem such as this one. He then thanked the City
2 employees for their efforts and addressing the situation as soon as they were aware of it.

3

4 [7:58:27 PM](#)

5 Larae Williams stated she is new to the community and her first night in her new home was June 4; it was not until
6 Friday evening that a gentleman in her neighborhood notified her of the water contamination issue. She agrees with Mr.
7 Peterson that the City should notify residents as soon as there is any indication of water contamination. She referenced Mr.
8 Whiteley's map and stated she is unsure whether she is in the boil area. She wondered if there are preventive measures that
9 can be taken to keep something like this from happening again.

10

11 [8:00:26 PM](#)

12 Doreen Young stated she is curious about what a soft notification is and why the residents did not receive one
13 sooner. She stated she also drank water and did become ill because she did not learn of the contamination until Friday night.
14 She stated residents should be notified as soon as there is a concern about a contamination. She also asked who is
15 responsible for the bad connection and whether they are going to be paying for the extra water and filters that residents have
16 been forced to pay for. She asked if residents will receive postcards regarding the partial lift of the boil order.

17

18 [8:01:44 PM](#)

19 Tamara VanDyck stated she lives on Banbury Drive and she has an extensive water softener system in her house
20 with five filters and she asked who will be paying to replace them since they will cost approximately \$200. She added her
21 girlfriend became violently ill on Friday night and was nearly forced to go to the hospital. She agreed that the City should
22 have notified residents much sooner at the sign of a problem.

23

24 [8:02:49 PM](#)

25 Spencer Cook stated he lives on 700 South. He thanked the Public Works employees for all their hard work and for
26 distributing water to citizens, which is going above and beyond. However, he agrees with some of the comments that have

1 been made about the slow response to the situation. He referenced the lifted boil order for the area east of 3000 West and
2 asked that residents receive confirmation of clean samples for the past three days for that area.

3
4 [8:04:17 PM](#)

5 Allen Miller stated he lives in the Rock Creek Subdivision and he has a couple of questions. First is why the City is
6 not inspecting connections to the water systems. He noted he had a house fire two years ago and he went through an
7 extensive inspection as he was rebuilding his home and he wondered why water connections are not being inspected as
8 diligently; or, if the connections are being inspected he wondered who is responsible for missing this error. He then
9 wondered if the same situation will occur upon completion of the construction on 700 South. The City needs to make sure
10 that contractors are doing work correctly, especially in regards to patching the roads in which they are performing work. He
11 asked if the City will give residents a break on their water bill for the increased costs associated with flushing residential
12 water systems since that is not the fault of each individual home owner.

13
14 [8:05:57 PM](#)

15 TJ Jensen stated that he has two issues to address with the Council; first he addressed the body as the Vice President
16 of the Layton Canal Irrigation Company and noted that the City is operating within 30 percent reduced water provisions this
17 year. The amount of Layton Canal water currently available should last until October 1. He then addressed the Council as the
18 Chair of the Planning Commission; he referenced the application to amend the General Plan for property located on 1700
19 South. The question was raised during the work session about the land use designation for the property to the west of
20 Banbury Drive and he noted that the Planning Commission only made a recommendation regarding the property to the east of
21 Banbury Drive. He reported the Planning Commission is in the middle of general plan revisions and should be providing
22 some recommendations to the Council in the near future; the property to the west of Banbury Drive could be considered
23 during that process. He noted the City has received complaints about the frequency with which the general plan is being
24 amended and he anticipates the General Plan Steering Committee will make a recommendation to codify a restriction upon
25 amending the general plan more frequently than once every two years.

26
27 [8:08:41 PM](#)

1 Chris Semrow stated that he understands the boil has been partially lifted, but he wondered if there will be elevated
2 levels of chlorine in the drinking water and, if so, how long will that be the case.

3

4 [8:09:14 PM](#)

5 Miland Palmer stated that he has a public health background. He first thanked the City for their response to the
6 situation and indicated he feels staff has done a good job; the situation could have been much worse, but there is some
7 improvement that can occur. He appreciated information being shared through social media and the fact that social media
8 was being monitored and questions were responded to. He asked how the City plans to react to a future emergency during
9 which phones or social media may not be available; it will be necessary to depend upon a block captain system and word of
10 mouth. His observation is that system did not work well in this situation and he did not receive a phone call or visit from his
11 block captain and that issue needs to be assessed. He stated that as unfortunate as the event was, it presents the City with a
12 great opportunity to assess the systems and plans that are in place to ensure a better response on the future.

13

14 [8:10:52 PM](#)

15 Tina Wood stated she lives on Allison Way; she did receive a personal visit from someone informing her of the
16 water contamination. She stated she understands that it takes time to test to determine if the water is safe and she feels the
17 City handled the situation well. Her concern is that if she had known there was a possibility the water was contaminated she
18 would have taken measures to protect her family, specifically her three year old who has a very rare metabolic disorder which
19 could result in death due to vomiting or diarrhea. She stated she is so grateful that her son did not get ill, but if he had gotten
20 ill he would have spent days in the hospital recovering from something that most people get over fairly easily. She stated the
21 emergency response system needs to be adjusted somewhat because there are some people with real health issues who cannot
22 handle E-coli and something should be done to notify them.

23

24 [8:13:03 PM](#)

25 Bruce Schofield relayed the story of a situation that occurred some time ago in Syracuse when the artesian wells ran
26 dry and the City had no water. Hooper water lines were eventually ran to provide water to residents below the bluff and
27 those lines were purchased by Syracuse City and became part of the City's water system. He feels the importance of proper

1 and accurate inspections should be stressed to the City's inspectors because it is not acceptable for something like this to be
2 missed. He stated it does not make sense to locate culinary and secondary lines so close to one another. He concluded by
3 thanking the City for their response.

4
5 [8:15:42 PM](#)

6 Jamen Wood stated he lives on Allison Way. He noted he appreciated the efforts of City staff, but agreed there may
7 be some room for improvement. He stated he is confused about how the cross connection impacted people not living in the
8 subdivision in which the connection occurred.

9
10 [8:16:42 PM](#)

11 Rick Hartmann stated that at 1:30 a.m. on Wednesday his wife woke with a fever and upset stomach and began
12 vomiting; she had the same symptoms for four days until she heard of the contamination on Sunday. He stated there is
13 problem with the timing of notifying residents of the issue, but he thanked everyone that worked hard to resolve the issue
14 once it was identified. He agreed that proper inspections of water connections must be done.

15
16 [8:18:15 PM](#)

17 Kevin Homer stated it seems that there is uncertainty about the practice of inspecting water line connections and he
18 suggested that a moratorium be placed on any additional connections until an internal and external review can be conducted
19 to ensure that the inspection process is appropriately improved.

20
21 [8:19:14 PM](#)

22 Mayor Palmer then responded to the comments regarding the lack of or slow notification of the water contamination
23 issue. He reported he has been working to create an emergency preparedness committee and appointing members of the
24 community to the committee. He met with six of the members that will be appointed and worked with them to disseminate
25 information to the residents, but he will work with them to improve notification efforts for future emergencies.

26 [8:21:10 PM](#)

1 Mr. Whiteley then stated he is unsure of the inspection process that was used to inspect the water line connection for
2 the Titan Subdivision; the work was done seven years ago and all he knows that the connection was made incorrectly. He
3 stated he was not employed by the City at that time and is unaware of the inspection policies that were in place then. He
4 stated he is very interested to learn what went wrong at that time, but reported that the inspection process has been greatly
5 improved and involves all Divisions of the Public Works Department, the superintendents of which work closely with the
6 City Engineer to determine that all subdivision design and construction work is done correctly. His staff is very careful to
7 make sure that all development work is up to code and in line with engineering standards, to the point that some developers
8 have been required to remove infrastructure that has been installed incorrectly or against code. He assured the Council,
9 Mayor, and citizens that the current inspection process is top-notch.

10 [8:25:20 PM](#)

11 Councilmember Lisonbee asked why the connection was not caught until this time. Mr. Whiteley stated he is not
12 sure why the incorrect connection was not caught until now; he indicated that new culinary water lines are blue and new
13 secondary water lines are purple, but after being in the soil for seven years, the outside of the purple line was almost entirely
14 white and that could be a reason that the incorrect correction was not identified until now. He added that seven years ago the
15 same methods of marking water lines were not used as are used today. Councilmember Lisonbee stated that she is referring
16 to when Gailey Farms connected to the water line; the developer thought they were connecting to a secondary water line
17 because it was purple. Mr. Whiteley stated that is correct and noted the developer of Gailey Farms made the connection
18 correctly because they connected purple pipes to purple pipes and blue pipes to blue pipes and no one realized at the time that
19 the purple pipe had culinary water and the blue pipe had secondary water. He then addressed the question about the level of
20 chlorine in the water system; the maximum contaminant level for chlorine is 4.0 parts per million for drinking water and the
21 City's chlorine levels typically range from 0.3 to 0.5 parts per million and since the contamination the levels have only been
22 increased to range between 0.5 and 1.0 parts per million. He then reviewed the boundaries of the area in which the boil order
23 has been lifted and noted that all samples in that area have been verified as clean for three full days.

24 [8:33:12 PM](#)

25 Councilmember Lisonbee stated she has heard from many residents about the timing of the notification of the
26 contamination issue. She stated that while the City acted within State law regarding water testing and notification of the
27 contamination, she understands the concerns that have been expressed and would like to suggest that the City work to

1 develop an action plan for earlier notification that can be employed in similar situations in the future. Councilmember Gailey
2 agreed and noted that one of the best comments he heard is that this is a great opportunity for the City to evaluate and
3 determine how the City could make improvements to better respond to future emergencies. Councilmember Lisonbee
4 encouraged residents in volunteering on a committee relating to emergency preparedness and response to contact her.

5 [8:35:29 PM](#)

6 Mr. Bovero stated City Administration can work to identify deficiencies within the public notification system, which
7 could potentially include a registry for people with compromised immune systems by which they could receive earlier and
8 more direct notification of potential problems. He addressed Ms. Zaugg's comments about the fact that she was not
9 contacted as the emergency preparedness representative for her area. He noted that Syracuse is divided into five geographic
10 areas that coincide with the five LDS stakes in the City; each of the five areas has an emergency coordinator and each of
11 them was notified. He encouraged residents to become aware of who their emergency coordinator is. He then referenced
12 comments regarding an ordinance requiring proper inspections and noted that the City currently required two levels of
13 inspections; developers agree to build their development according to the approved plans and the plans and the work
14 completed are inspected. He stated that at this time City staff is not fully aware of why the cross connection was missed in
15 inspection, but he plans to conduct an investigation into what occurred. He stated that the City and residents are incurring
16 costs and there may be a potential for legal action in the situation that could aid the City and residents in recovering those
17 costs. He then addressed the question about what a soft notification is. He noted it is not an official public notice, but
18 information that the City provides to residents about any situation that may be occurring. He added the City has published
19 information about properly flushing water systems that can be found on the City's website. He addressed the question about
20 whether residents will get a break on their water rates for the month of June and noted that is a decision for the Council to
21 make and he plans to facilitate discussion regarding that issue at the next City Council meeting. He then addressed the
22 question about how a cross connection impacts areas outside of the development in which the cross connection occurred; he
23 noted the entire water system is ultimately connected together as water users and what occurs in one part of the system has
24 the potential to travel elsewhere. The general flow is from east to west and the risk of problems travelling east is very low and
25 this is part of the reason that it was possible to lift the boil order for areas east of 3000 West. Mr. Whiteley agreed. Mr.
26 Bovero then addressed comments regarding the lack of notification for some and noted that the City used many different
27 methods to notify residents, but he again encouraged that residents become aware of who their block captain is and ensure

1 those block captains have correct contact information for them. He concluded the City will be conducting an internal and
2 external review of the City's inspection process.

3 [8:45:57 PM](#)

4 Councilmember Peterson asked if the health department is tracking illnesses that may have occurred as a result of
5 the contamination. Mr. Bovero noted that the City has had steady communication with the health department and he asked a
6 representative of the health department to provide information about their tracking methods. Dave Spence, Davis County
7 Health Department Environmental Health Services Director, noted that the health department is tracking illnesses and has
8 been instructing callers to visit their physician and ask for specific test to determine the cause of their illnesses. As of this
9 evening there are two confirmed cases that could have potentially been caused by the water contamination. Mayor Palmer
10 asked if a resident must visit a doctor to confirm their illness was caused by the contamination, to which Mr. Spence
11 answered yes.

12 [8:48:31 PM](#)

13 Councilmember Lisonbee asked if the health department is aware of the strain of E-coli found in the water. Mr.
14 Spence answered no and stated that the E-coli test used for water does not identify the strain of the bacteria and the test does
15 not indicate whether it is a strain that can cause illness. Councilmember Lisonbee asked if there is a test that identifies the
16 strain. Mr. Spence stated his lab does not have the capability of identifying the strain.

17 [8:49:32 PM](#)

18 Councilmember Gailey stated there has been concern about filters harboring bacteria and he would suspect that
19 bacteria can pass through the filters, which is why dilution is the most critical defense mechanism available to the residents.
20 Mr. Spence stated there are so many different types of filters and the only advice he can offer is for residents to refer to the
21 manufacturer of the filter to determine if bacteria can pass through the filter. He stated that it is important to have chlorine in
22 the system because it will be pulled through lines and cleanse them.

23 [8:51:37 PM](#)

24 A resident re-approached and asked how long the valve at Gailey Farms had been open before the problem was
25 identified. Mr. Palmer stated that the valve was opened last Tuesday morning at 8:50 a.m. The resident asked why an
26 investigative sample of the water was not taken on Tuesday rather than waiting until Friday. Mr. Whiteley stated the City

1 received the first complaint Wednesday and he was not aware of the potential for a cross contamination on Tuesday. The
2 resident asked when the first investigative test was completed. Mr. Whiteley stated that chlorine residual test was done on
3 Wednesday and an investigative test was done Thursday; it is not uncommon to see mineral deposits stirred up with higher
4 water flows and that is the reason the investigative test was not done until Thursday. The resident stated if there was a
5 concern the investigative test should have been conducted and she asked if the test is very expensive. Mr. Whiteley stated
6 that the investigative test does cost money, but that is not the reason that the test was not completed. He stated his first
7 concern is the same as the concerns of the residents and he and his staff did everything possible to ensure the citizens have
8 access to a safe drinking water system. The resident stated that she was raised with the philosophy of “better safe than sorry”
9 and she feels the City should have done all testing possible rather than waiting to see if people started getting sick.
10 Councilmember Lisonbee stated that was not the City’s reaction; the results of the chlorine residual test were good on
11 Wednesday and there was no further concern due to the fact that it is common to see discolored water each spring as
12 sediment in the line is stirred up. She stated no one intentionally decided to wait to see if anyone got sick. The resident
13 indicated she is not from Utah and is not familiar with secondary water systems, but it is her feeling that it would have been
14 most appropriate to test for any problem as soon as it seems there was a problem with the water. She indicated that for the
15 most part she feels everything was handled well, but it would have been nice for notification to occur earlier.
16 Councilmember Lisonbee thanked the resident for her feedback.

17
18 [8:56:32 PM](#)

19 7. Proposed Resolution R15-02, General Plan Amendment request from
20 General Commercial to Planned Residential Development Zone, located
21 at 1600 W. 1700 S., applicant Q-2 LLC.

22 A staff memo from the Community and Economic Development (CED) Department explained the current general
23 plan designation for this parcel is General Commercial. The applicant has requested to break up the parcel and zone the
24 northern part as Planned Residential Development while leaving a little over one half acre along Antelope Drive in the
25 General Commercial zoning. The applicant has indicated intent to develop a 55 and older patio home community. A rezone
26 will also be required upon approval of this application. The applicant requested both portions of his property adjacent to
27 Banbury Dr. be General Planned PRD. The Planning Commission did not feel that the PRD zone was appropriate for the west

1 side of Banbury. The applicant requested a recommendation on the east portion of the property and will amend his
2 application to address a more suitable zone for the west parcel. The Planning Commission recommends approval to the City
3 Council for the General Plan Amendments for the Property owned by Q-2, LLC, at approximately 1600 W 1700 S, from
4 General Commercial to PRD (Planned Residential Development), subject to all applicable requirements of the City's
5 municipal codes.

6 [8:56:51 PM](#)

7 Acting CED Director Steele reviewed the staff memo.

8 [8:59:50 PM](#)

9 Mayor Palmer asked if the applicant has indicated the land use designation he would like to see assigned to the
10 property west of Banbury Drive. Mr. Steele stated he believes the applicant is seeking PRD zoning on that property as well,
11 but the Planning Commission has made a recommendation to leave that property as is.

12 [9:00:03 PM](#)

13 Eric Craythorne stated that the Planning Commission indicated that they felt the property should be developed in a
14 manner consistent with the property to the north, with is an R-3 residential development. He stated he would like for the
15 Council to consider approving PRD for the properties on the east and west of Banbury as is part of his application.
16 Councilmember Lisonbee inquired as to Mr. Craythorne's plans for the property to the west of Banbury Drive. Mr.
17 Craythorne stated that the property would be part of the entire project and he would like to have the option of creating open
18 space with some amenities on the western portion of the property. He stated he has not completed an extensive design of the
19 project as he has been waiting to see how the Council acts on this application. Councilmember Lisonbee asked Mr.
20 Craythorne if he has any plans to sell the property to a developer. Mr. Craythorne answered no and stated he will be the
21 developer. Councilmember Lisonbee asked if Mr. Craythorne would be willing to enter into a development agreement
22 stipulating that the western parcel would be used for open space rather than housing. Mr. Craythorne stated he would be
23 willing to negotiate the terms of a development of agreement that benefits the entire project. Councilmember Lisonbee asked
24 Mr. Craythorne if he is comfortable with the Council proceeding as recommended by the Planning Commission and waiting
25 to take action on the western parcel after the Planning Commission concludes their review of the general plan amendment
26 process, to which Mr. Craythorne answered yes.

1 [9:03:09 PM](#)

2 Mayor Palmer asked Mr. Craythorne what types of units he plans to construct within the development. Mr.
3 Craythorne stated he plans to construct two-unit attached homes, slab on grade, but more design work is necessary before
4 those plans are finalized. He stated he would be willing to include design standards in the development agreement as well.

5 [9:04:39 PM](#)

6 Councilmember Peterson stated he would prefer for the western parcel to be part of the PRD development rather
7 than R-3 or commercial.

8 [9:06:11 PM](#)

9 Councilmember Lisonbee stated that requiring that the western parcel of property be open space would provide for
10 an easier transition for the residents of Banbury that have become accustomed to two large fields at the entrance of their
11 subdivision for the past 20 years. Mr. Craythorne agreed and stated he is open to discussion and negotiation of that type of
12 development.

13 [9:06:23 PM](#)

14 COUNCILMEMBER LISONBEE MADE A MOTION TO ADOPT PROPOSED RESOLUTION R15-02
15 APPROVING THE GENERAL PLAN AMENDMENT REQUEST FROM GENERAL COMMERCIAL TO PLANNED
16 RESIDENTIAL DEVELOPMENT ZONE FOR PROPERTY LOCATED AT APPROXIMATELY 1600 W. 1700 S.,
17 APPLICANT Q-2, LLC., WITH THE STIPULATION THAT MR. CRAYTHORNE BE ALLOWED TO PROCEED WITH
18 A GENERAL PLAN AMENDMENT APPLICATION FOR THE PROPERTY ON THE WEST SIDE OF BANBURY
19 WITHOUT PAYING ADDITIONAL FEES. COUNCILMEMBER GAILEY SECONDED THE MOTION; ALL VOTED
20 IN FAVOR. Councilmember Duncan was not present when this vote was taken.

21

22 [9:07:20 PM](#)

23 11. Proposed Ordinance 15-06 amending Title Eight of the Syracuse City
24 Code pertaining to subdivisions, and specifically pertaining to dead-end
25 streets.

26 A staff memo from the Community and Economic Development (CED) Department explained due to the expense of

1 installation, maintenance and removal of temporary turn-arounds within the boundary of a subdivision, Public Works is
2 recommending to modify the Dead End street ordinance. The Syracuse City Planning Commission hereby recommends that the
3 City Council approve the adoption of Ordinance 15-06, Amending Title Eight.

4 [9:07:31 PM](#)

5 Acting CED Director Steele reviewed the staff memo.

6 [9:08:53 PM](#)

7 COUNCILMEMBER GAILEY MADE A MOTION TO ADOPT ORDINANCE 15-06 AMENDING TITLE
8 EIGHT OF THE SYRACUSE CITY CODE PERTAINING TO SUBDIVISIONS, AND SPECIFICALLY PERTAINING
9 TO DEAD-END STREETS. COUNCILMEMBER PETERSON SECONDED THE MOTION; ALL VOTED IN FAVOR.

10 Councilmember Duncan was not present when this vote was taken.

11
12 [9:09:21 PM](#)

13 12. Public Hearing: Proposed Resolution R15-13 adopting the certified
14 tax rate provided by Davis County and adopting the Fiscal Year 2015-
15 2016 budget.

16 As required by Utah Code Annotated 10-6-113, the governing body shall establish the time and place of a public
17 hearing to consider its adoption and shall order that notice of the public hearing be published at least seven days prior to the
18 public hearing. This requirement has been met since the City Council adopted the tentative budget on May 12 and set a
19 public hearing on June 9, 2015 to consider adoption of the final budget. As required by Utah Code Annotated 10-6-118,
20 “before the last June 22 of each fiscal period, or, in the case of a property tax increase under Sections 59-2-919 through 59-2-
21 923, before August 17 of the year for which a property tax increase is proposed, the governing body shall by resolution or
22 ordinance adopt a budget for the ensuing fiscal period for each fund for which a budget is required under this chapter. A copy
23 of the final budget for each fund shall be certified by the budget officer and filed with the state auditor within 30 days after
24 adoption.” There have been a few changes made to this budget proposal since the tentative budget was adopted on May 12,
25 2015. These include:

- 1 • Amending the budget to align with revised employee compensation plan. This includes changing from a
- 2 2.75% bonus to a 2.3% raise. Total savings with this adjustment was \$26,206.00
- 3 • Added \$5,000 in overtime costs to the CED budget to cover demand for building and development
- 4 happening in the City.
- 5 • Added \$5,000 to administration budget to purchase HR hiring software.
- 6 • Benefit elections and changes made by full-time employees = an increase of \$34,418.
- 7 • With these changes, our surplus balance in the budget is \$53,470.

8 This is the last Council meeting during which the Council can adopt a final budget before the June 22 deadline
9 provided by State Law.

10 [9:09:42 PM](#)

11 Finance Director Marshall reviewed the staff memo.

12 [9:13:25 PM](#)

13 Councilmember Lisonbee asked if there is funding in the budget to cover emergencies like the one the City has been
14 dealing with over the past weekend. Mr. Marshall stated that the City has money to set aside for emergency preparedness, but it is
15 the City's policy to spend money in the event of an emergency or disaster and amend the budget at a later date to account for those
16 expenses. Councilmember Lisonbee stated that the State Legislature passed a bill a couple of sessions ago that would allow cities
17 to set aside monies for emergencies, but it is very difficult to get money out of those reserve funds so she would hesitate to put
18 money in an emergency fund. Mr. Marshall agreed and stated he has hesitated to recommend the City put money in an emergency
19 fund simply because the City's fund balance acts as an emergency fund with fewer restrictions. The Council briefly discussed the
20 concept of setting aside money for emergencies, with Councilmember Lisonbee suggesting that the City's fund balance policy be
21 amended to acknowledge funding set aside for emergency situations. The Council concluded to place the \$53,470 of surplus
22 balance in the fund balance with no earmarks.

23 [9:17:55 PM](#)

24 Mayor Palmer opened the public hearing.

25 [9:18:04 PM](#)

26 A resident, no name or address given, asked for information regarding the \$34,000 increase for employee benefits. Mr.

1 Marshall stated that each year during open enrollment employees can make changes to their benefit plans and some benefit costs
2 increase if an employee changes their plan from single to double or family coverage.

3 [9:19:26 PM](#)

4 TJ Jensen noted he is happy to see that the City is not increasing taxes this year and he commended Mr. Marshall and
5 other staff for doing a good job in preparing the budget.

6 [9:20:06 PM](#)

7 There were no additional persons appearing to be heard and Mayor Palmer closed the public hearing.

8 [9:20:17 PM](#)

9 COUNCILMEMBER PETERSON MADE A MOTION TO ADOPT PROPOSED RESOLUTION 15-13 TO
10 ACCEPT THE CERTIFIED TAX RATE PROVIDED BY DAVIS COUNTY AND ADOPT THE FISCAL YEAR 2015-
11 2016 BUDGET. COUNCILMEMBER GAILEY SECONDED THE MOTION.

12 [9:20:55 PM](#)

13 Councilmember Johnson stated the budget preparation process has been good this year and many of the concerns
14 and questions raised by the Council were adequately addressed. Councilmembers Peterson and Lisonbee agreed and
15 Councilmember Gailey stated the budget retreat was very helpful and productive.

16 [9:21:45 PM](#)

17 Mr. Marshall reported he received the certified tax rate from Davis County today; property values in Syracuse City
18 increased by approximately 7.27 percent over the past year, which caused the certified tax rate to decrease to .001639 so that
19 the City will receive the same amount of property tax revenue as in past year.

20 [9:22:16 PM](#)

21 Mayor Palmer stated there has been a motion and second to adopt the proposed resolution and he called for a vote;
22 ALL VOTED IN FAVOR. Councilmember Duncan was not present when this vote was taken.

23

24 [9:22:47 PM](#)

25 13. Proposed Resolution R15-14 adopting the Fiscal Year 2016-2020

26 Employee Compensation Plan and Fiscal Year 2015-2016 Wage Scale.

1 A staff memo from the Finance Director referenced the attached proposed changes to the 2016 – 2020 employee
2 compensation plan and the fiscal year 2015 – 2016 wages scale. All recommended changes to the employee compensation
3 plan and the wage scale are highlighted in red. Any questions regarding this item can be directed at City Manager Brody
4 Bovero or Finance Director Steve Marshall. The recommended changes to the employee compensation plan include changing
5 to an annual merit based raise of 2.3% of payroll versus the current plan that alternates between raises and bonuses at a
6 2.75% rate. The other big change includes an employee development program that would encourage employees to obtain
7 additional skills and training. The city would pay up to 3.5% for the additional training. There are limitations to who is
8 eligible and how often it can be achieved. City Administration is recommending adding four additional job classifications to
9 the employee wage scale. They include:

- 10 ○ Code Enforcement Officer – part-time
- 11 ○ Administration Professional – part-time
- 12 ○ Custodian – part-time
- 13 ○ Court Clerk – part-time

14 The Code Enforcement, Administration Professional, and Court Clerk I positions all have a full-time equivalent.
15 We have matched the pay scale of the proposed part time positions to the full-time positions. We performed a salary
16 benchmark for the part-time Custodian position and have set the wage scale to match the wages to the 60th percentile of
17 comparative cities. We are also recommending eliminating the Intern under the part-time classification because it is also
18 included under seasonal/temporary.

19 [9:23:08 PM](#)

20 Finance Director Marshall reviewed the portion of the staff memo pertaining to the wage scale. City Manager
21 Bovero reviewed the portion of the staff memo pertaining to the employee compensation plan.

22 [9:27:06 PM](#)

23 Councilmember Lisonbee inquired as to the reason staff is recommending hiring an in-house custodial rather than
24 contracting for custodial services. Mr. Marshall stated there has been a struggle to achieve the level of service the City is
25 seeking via a contract, in particular in the Community Center. Staff has determined to use a custodial service for the majority
26 of the City's facilities and use the in-house employee for the Community Center. This may not result in a cost savings for
27 custodial services because many of the preliminary bids are nearly double what the City is currently paying; this may be due

1 to the fact that the City is seeking a higher level of service and it has been a number of years since the City has solicited bids
2 for custodial services.

3 [9:29:07 PM](#)

4 COUNCILMEMBER PETERSON MADE A MOTION TO ADOPT RESOLUTION 15-14 ADOPTING THE
5 UPDATES TO THE EMPLOYEE COMPENSATION PLAN AND THE FISCAL YEAR 2015-2016 WAGE SCALE.
6 COUNCILMEMBER GAILEY SECONDED THE MOTION; ALL VOTED IN FAVOR. Councilmember Duncan was not
7 present when this vote was taken.

8

9 [9:29:57 PM](#)

10 14. Proposed Resolution R15-15 amending the Syracuse City
11 Consolidated Fee Schedule by making adjustments throughout.

12 A staff memo from the Finance Director explained staff periodically reviews and recommends changes to the
13 consolidated fee schedule. I am recommending the changes outlined in red in Exhibit A. These changes include:

- 14 • Update to public safety impact fees to coincide with our public safety impact fee analysis.
- 15 • Increase our late fee to \$20.00 for utility account past due balances.
- 16 • Increase our utility bill advertising fee to \$850.00 for a full page color advertisement.
- 17 • Increase the sewer rate fee by \$3.00 to \$20.80 per month.
- 18 • Implement a sewer excess gallon fee for commercial businesses to \$1.55 per 1000 gallons over 5,500
19 gallons.
- 20 • Add a fee for a cemetery certificate replacement of \$10.00.
- 21 • Delete newsletter advertising fees since we don't allow advertisements in the newsletter since it was
22 revamped and condensed.
- 23 • Changes to some post office supply charges to reflect the correct amount charged.

24 [9:30:18 PM](#)

25 Councilmember Lisonbee noted the packet materials for this item indicate it is a public hearing, but the agenda
26 language does not include public hearing language; she asked if a public hearing was noticed. Mr. Bovero encouraged the

1 Council to proceed as if a public hearing has been noticed and if is found that public hearing was not noticed, it will be
2 noticed and an item will be added to a future agenda for the purpose of following noticing requirements.

3 [9:30:38 PM](#)

4 Finance Director Marshall reviewed the staff memo.

5 [9:35:04 PM](#)

6 Mayor Palmer opened the public hearing.

7 [9:35:18 PM](#)

8 TJ Jensen stated there was a comment during the public comment portion of the meeting regarding potentially
9 waiving water over-use fees as a result of the water contamination issue. He conducted some research with Mr. Marshall a
10 few years back and found that the average household uses 6,500 gallons and the billing system bills residents for the first
11 8,000 gallons so most users should not notice an increase in costs. He stated that he feels the City needs to consider
12 amending the fee schedule for water usage in the City to cover the amount of water people actually use.

13 [9:36:24 PM](#)

14 There were no additional persons appearing to be heard and Mayor Palmer closed the public hearing.

15 [9:36:32 PM](#)

16 COUNCILMEMBER PETERSON MADE A MOTION TO ADOPT RESOLUTION 15-15AMENDING THE
17 SYRACUSE CITY CONSOLIDATED FEE SCHEDULE BY MAKING ADJUSTMENTS THROUGHOUT.
18 COUNCILMEMBER GAILEY SECONDED THE MOTION; ALL VOTED IN FAVOR. Councilmember Duncan was not
19 present when this vote was taken.

20

21 [9:37:14 PM](#)

22 15. Proposed Resolution R15-17 authorizing and directing the
23 participation of Syracuse City in the public employee's retirement system
24 and the public safety retirement system of the Utah retirement systems
25 for fiscal year 2015-2016.

1 A staff memo from Finance Director Marshall explained the City is required by Utah Code Title 49, Chapters 11-15
2 to pay retirement on our full-time employees. Each year, the City is required to certify the contribution rates that will be paid
3 for retirement to Utah Retirement Systems (URS) for our full-time employees. These rates vary depending on which system
4 the employees are in and when they were hired. We currently participate in 9 different retirement programs offered by URS.
5 This includes our police, fire, and administrative staff as well as tier I and tier II employees.

6 [9:37:25 PM](#)

7 Mr. Marshall reviewed his staff memo.

8 [9:39:03 PM](#)

9 Councilmember Gailey asked if this resolution is tied to the change in State Code that requires that the City show
10 retirement costs as a liability in the general fund. Mr. Marshall stated it is somewhat different and plans to discuss retirement
11 liabilities with the Council in the near future. He noted the URS is 81 percent funded at this time and eventually they will
12 become fully funded and as that gap closes the City's liability will decrease.

13 [9:42:54 PM](#)

14 COUNCILMEMBER PETERSON MADE A MOTION TO ADOPT RESOLUTION 15-17 AUTHORIZING AND
15 DIRECTING THE PARTICIPATION OF SYRACUSE CITY IN THE PUBLIC EMPLOYEE'S RETIREMENT SYSTEM
16 AND THE PUBLIC SAFETY RETIREMENT SYSTEM OF THE UTAH RETIREMENT SYSTEMS FOR FISCAL YEAR
17 2015-2016. COUNCILMEMBER LISONBEE SECONDED THE MOTION; ALL VOTED IN FAVOR. Councilmember
18 Duncan was not present when this vote was taken.

19

20 [9:43:31 PM](#)

21 16. Authorize Administration to execute contract with Utah Local
22 Government Trust for Insurance Services.

23 A staff memo from Finance Director Marshall referred to the attached garbage RFP bid summary sheet and
24 supporting documentation. Administration put out a request for proposal (RFP) for property, auto, and general insurance
25 services. It has been a while since the City has requested an RFP for this type of service. It is always good practice to place
26 an RFP every 3-5 years for this type of service. The RFP was noticed in the local newspaper for 2 consecutive weeks (March

1 22nd and March 29th) and was given an 8 week period for bidders to submit a bid by the deadline that closed on May 15,
2 2015. The bid requested that each firm provide a cover letter, summary of qualifications, a summary of the executive team,
3 loss prevention services, coverage detail, and references from other cities. The bid also requested that for general liability, a
4 quote be given for both a 2 million dollar and a 5 million dollar policy. The bid gave information on limits for property
5 coverage and a detailed list of automobiles that were to be covered on the policy. The RFP also specified that we would grade
6 the bidding firms on the following criteria:

- 7 • *Experience and qualification servicing the public sector*
- 8 • *Service Team – experience, expertise, and education*
- 9 • *Loss Prevention Ideas*
- 10 • *Frequency of certified appraisals for property values*
- 11 • *AM Best Ratings*
- 12 • *Cost, Coverage, and overall approach*
- 13 • *Quality of References*

14 The City received one bid from the Utah Local Government Trust (ULGT). This firm is our current carrier for
15 insurance services. ULGT has the experience necessary to provide insurance coverage to Syracuse City. They have provided
16 insurance to our City for several years and they also provide insurance to 87% of all Utah cities and towns. They have a lot
17 of experience with their service team. They have several loss prevention programs and trainings they provide throughout the
18 year. They also have an appraisal program that appraises all of our assets once every five years. The AM best ratings are
19 considered excellent or superior and the cost and coverage that is provided is competitive. ULGT's bid gives us a higher
20 coverage limit of \$5 million dollars for the same cost as currently provided at the \$2 million dollar limit. The references
21 provided from Riverton, Springville, Vernal, and Plain City were all positive. I am also aware of other Cities like West
22 Point, Woods Cross, and Clinton who all have mentioned positive comments about the insurance coverage through ULGT.
23 Based upon staff's experience with ULGT and review of the bid submitted as noted above, Mr. Marshall recommends
24 awarding the insurance contract to Utah Local Government Trust. With this bid, the City's insurance premiums will stay the
25 same and our general liability insurance limit will increase from \$2 million dollars to \$5 million dollars per occurrence. Here
26 is a summary of costs:

- 27 • General Liability = \$80,215

- 1 • Property Insurance = \$41,548
- 2 • Auto Insurance = \$29,971
- 3 • **Total Insurance = \$151,734**

4 Staff is working on assembling a contract and is asking that the City Council authorize administration to execute this
5 contract based on the parameters set forth in the bid documents.

6 [9:43:41 PM](#)

7 Mr. Marshall reviewed his staff memo.

8 [9:46:28 PM](#)

9 Councilmember Peterson stated he has always assumed the ULGT covers all cities and was surprised to learn they
10 only cover 87 percent. He asked who the other cities use. Mr. Marshall stated there are some large carriers and smaller
11 individual carries; Utah Risk Management Association (URMA) is a provider.

12 [9:47:01 PM](#)

13 Councilmember Lisonbee stated when she attended the recent Utah League of Cities and Towns (ULCT)
14 Conference she spoke with officials from cities nearby and many of them use other providers as they have been moving away
15 from using the ULGT. She would like for the City to begin the bidding process sooner next time and she would like the
16 contract bid again next year; she heard from a potential bidder who wanted to bid, but felt that he did not have sufficient time
17 to submit a proposal.

18 [9:47:59 PM](#)

19 COUNCILMEMBER GAILEY MADE A MOTION TO AUTHORIZE ADMINISTRATION TO EXECUTE
20 CONTRACT WITH UTAH LOCAL GOVERNMENT TRUST FOR INSURANCE SERVICES. COUNCILMEMBER
21 PETERSON SECONDED THE MOTION; ALL VOTED IN FAVOR. Councilmember Duncan was not present when this
22 vote was taken.

23

24 [9:48:25 PM](#)

25 17. Councilmember reports.

1 At each meeting the Councilmembers provide reports regarding the meetings and events they have participated in
2 since the last City Council meeting. Councilmember Peterson's report began at [9:48:29 PM](#). He was followed by
3 Councilmembers Johnson and Lisonbee. Councilmember Gailey indicated he has nothing to report. Councilmember Duncan
4 was not present to provide a report.

5

6 [9:50:05 PM](#)

7 18. Mayor's Report.

8 Mayor Palmer's report began at [9:50:05 PM](#).

9

10 [9:50:12 PM](#)

11 19. City Manager report

12 City Manager Bovero's report began at [9:50:18 PM](#).

13

14

15

16 At [9:50:59 PM](#) COUNCILMEMBER JOHNSON MADE A MOTION TO ADJOURN. COUNCILMEMBER
17 LISONBEE SECONDED THE MOTION; ALL VOTED IN FAVOR.

18

19

20

21

22

23 _____
Terry Palmer
24 Mayor

Cassie Z. Brown, CMC
City Recorder

25

26 Date approved: _____

Minutes of the Syracuse City Council Work Session Meeting, June 23, 2015

Minutes of the Work Session meeting of the Syracuse City Council held on June 23, 2015, at 6:00 p.m., in the Council Work Session Room, 1979 West 1900 South, Syracuse City, Davis County, Utah.

Present: Councilmembers: Brian Duncan
Mike Gailey
Craig A. Johnson
Karianne Lisonbee
Douglas Peterson

City Manager Brody Bovero
City Recorder Cassie Z. Brown

Excused: Mayor Terry Palmer

City Employees Present:
City Attorney Clint Drake
Finance Director Steve Marshall
Public Works Director Robert Whiteley
Acting Community and Economic Development Director Noah Steele
Administrative Intern Taylor Greenwell

The purpose of the Work Session was to receive public comments; hear a request to be on the agenda from a representative of Don's Meats to discuss the access road between their business and the Syracuse Museum as well as food trucks; review items forwarded by the Planning Commission – two property rezones at 1950 S. Doral Drive and 1600 W. 1700 S.; review an agreement for the Steed Storm Drain Outfall Project; and discuss a potential waiver of overage charges for culinary water utility bill; and discuss Council business.

An audience member offered an invocation.

[6:10:38 PM](#)

Public comments

[6:10:56 PM](#)

TJ Jensen referenced the items on the special meeting agenda to appoint or re-appointment members to the Planning Commission. He noted over the past few months there have been occurrences where absences of Planning Commissioners have made it difficult to assemble a quorum at some meetings and this has caused delays in work being produced by the body; this is the reason that he is supportive of appointing an alternate Planning Commission member who can fill in during

1 such situations. He noted the two members being re-appointed are great Commissioners and he is supportive of their re-
2 appointments.

3 [6:13:00 PM](#)

4 Christy Frazier noted that last week her neighborhood was given the opportunity to express their concerns to the
5 Planning Commission regarding the rezone of agricultural property located behind Pearson Auto on Antelope Drive; she
6 noted she does not know why the item on the Planning Commission agenda was noticed as public hearing because she does
7 not feel anyone was heard and she feels that she and others that spoke were belittled. She stated that she is not concerned
8 about the property being developed, but she is concerned that there is only one ingress/egress point from the development
9 onto Banbury Drive and this could create a traffic and safety nightmare. She stated that the applicant has indicated his plans
10 to construct a retirement or 55 and older community and one of the Planning Commissioners made the comment that people
11 living in such a development will be retired and they will be staying home anyway. She stated she was appalled by the
12 comment, particularly because 67 is the new retirement age and it is unrealistic to think that people living in the community
13 will just be staying home. She stated that she knows that the applicant has already brought a concept plan to the City for his
14 development and she asked if there will be another public hearing before the Council approves plans for the community.
15 Mayor Pro-Tem Johnson reviewed the development review process and noted that there will be another public hearing at that
16 preliminary plan review step in the process and the residents in the area will receive notification of the public hearing. Ms.
17 Frazier asked if the residents will have the opportunity to request that the Utah Department of Transportation (UDOT)
18 conduct a traffic study for the area to determine if the development can be served. Mayor Pro-Tem Johnson stated that the
19 citizens can request a study and the Planning Commission will have to determine how to respond that request. Mr. Jensen
20 noted that the applicant has indicated that he is willing to request a traffic study for his development.

21 The City Council engaged in a discussion with Ms. Frazier and other residents regarding the noticing procedure the
22 City follows to notify residents of a potential general plan change, rezone, or other development applications.

23 [6:17:27 PM](#)

24 Another resident, no name or address given, indicated he also attended the Planning Commission meeting last week
25 and was concerned about the fact that unsupported information was being discussed and was used to make decisions without
26 the applicant being present. He stated he is concerned that the plan for the development will be approve based upon the
27 Planning Commission or City Council believing that it will be a 55 and older community, but the development actually plans

1 to build one or two patio homes and several apartment buildings. He stated he would like to see factual information as part of
2 the application. Mayor Pro-Tem Johnson noted that the applicant will enter into a development agreement for the project.
3 The resident asked if the citizens will have the opportunity to give input regarding the terms of that agreement; he noted he is
4 concerned about traffic, safety of pedestrians, light pollution, etc. associated with the development. Mayor Pro-Tem Johnson
5 encouraged residents to provide their concerns to Community and Economic Development (CED) Staff. Acting CED
6 Director Steele noted that at this point in time the City Council is simply considering the zoning of the property and all other
7 details of the development will be addressed through the development approval process and the development must conform
8 to the City's PRD Development standards if that is the zoning designation assigned to the property.

9 [6:21:27 PM](#)

10 Another resident, no name or address given, stated she appreciated the comments made by former Planning
11 Commissioner Gary Pratt during the Planning Commission meeting; he encouraged residents to become aware of many of
12 the restrictions that will be placed upon the development by the City.

14 [6:23:20 PM](#)

15 **Request to be on the agenda: Representatives of Don's**
16 **Meats to discuss the access road between their**
17 **business and the Syracuse Museum as well as food**
18 **trucks.**

19 Lance Lasater, representative of Don's Meats, read the following statement in support of his request to be on the
20 agenda:

21 Over the last three weeks I have had two different food trucks set up that have affected my business.

22 During the weekend of May 30 there was a Syracuse Local Art gathering at the museum. During this

23 Saturday a food truck pulled up in my parking lot and began to serve people. I went out and asked them to
24 move and they seemed bothered and put out about it.

1 The next weekend another food truck pulls up, this time on the access road on the city property. This food
2 truck has an agreement with the city to rent the museum property. There are a couple issues I have had with
3 this.

4 1) The access road. It's dangerous to have any sort of business set up on an access road where people are
5 trying to go through. There's little kids walking around and people don't know where to park. The current
6 food truck that has been there has set up close to Antelope drive and when people come to get their food
7 they often times use our parking. This creates problems for our customers. Also when it gets busy people
8 just simply park in the access road and block the road completely. I got informed last night that this is no
9 longer going to be an issue and people will not be allowed to set up on this road. Thank you for your help
10 with that.

11 2) These food trucks are becoming increasingly popular for numerous reasons. As I've looked into the
12 evolution of the food truck or mobile business I've noticed that cities like Ogden, Salt Lake City and Provo
13 city all have city ordinances that help protect the brick and mortar businesses in their communities. For
14 example, In Ogden and Salt Lake City don't allow these food trucks to set up within 200 feet of a food
15 business. I would like to see Syracuse adopt something similar to this. Also, these food trucks need to have
16 adequate parking where they are not putting the burden on businesses they set up by.

17 [6:26:31 PM](#)

18 Council discussion regarding Mr. Lasater's concerns relative to the agreement between Syracuse City and the owner
19 of the food truck ensued, with a focus on the location of the food truck. Acting Community and Economic Development
20 Director Steele summarized the discussions that have taken place between the food truck owner and the City and he noted
21 that the food truck is located upon City property and the location was chosen due to limited access to power. Mr. Lasater
22 reiterated his concern is that patrons of the food truck are using the parking area designated for Don's Meats, which is
23 harming his business.

24 [6:36:16 PM](#)

25 The owner of the food truck indicated that he has worked with the City to find a location suitable for all parties
26 where he also has adequate access to power to operate his truck. He stated he has posted signage asking that his customers
27 not park in the Don's Meat parking lot.

1 [6:43:50 PM](#)

2 Discussion of the issue continued and centered on the potential consideration of regulating food trucks within the
3 City, with the Council ultimately directing staff to investigate food truck policies or regulations used in other cities. In
4 addition, the Council indicated the feel it is necessary to address the parking issue immediately and staff consented to work to
5 resolve that issue between Don’s Meats and the food truck owner.

6
7 [6:44:22 PM](#)

8 **Review items forwarded by the Planning Commission:**
9 **Property rezone – proposed ordinance rezoning**
10 **property located at approximately 1950 S. Doral Drive**
11 **from Agriculture A-1 to Residential R-1.**

12 A staff memo from the Community and Economic Development Department provided the following information
13 regarding the application:

14	Subdivision Name:	To be determined
15	Location:	1950 S Doral Dr.
16	Current Zoning:	A-1 Agricultural
17	General Plan:	R-1 Residential
18	Requested Zoning:	R-1 Residential
19	Total Area:	34.018 Acres
20	Net Developable Acres:	27.214 Acres
21	Density Allowed:	78 lots

22 This application is for single family residential zoning that is consistent with the surrounding development. The
23 Planning Commission recommended approval, to the City Council, to rezone property located at 1950 S Doral Dr., from A-1
24 Agriculture to R-1 Residential, subject to all applicable requirements of the City’s municipal codes.

25 [6:45:01 PM](#)

26 Acting CED Director Steele reviewed the staff memo. The Council briefly discussed the application, with a focus on the

1 status of the Planning Commission’s recommended amendments to the City’s cluster subdivision ordinance. Planning Commission
2 Chair Jensen indicated the City Council should have a recommendation from the Planning Commission within the next 45 days.

3
4 [6:48:53 PM](#)

5 **Review items forwarded by the Planning Commission:**

6 **Property rezone – proposed ordinance rezoning**

7 **property located at approximately 1600 W. 1700 S. from**

8 **Agriculture A-1 to Residential PRD.**

9 A staff memo from the Community and Economic Development Department provided the following information
10 regarding the application:

11	Subdivision Name:	To be determined
12	Location:	1600 W 1700 S
13	Current Zoning:	A-1 Agricultural
14	General Plan:	PRD Planned Residential Development
15	Requested Zoning:	PRD Planned Residential Development
16	Total Area:	6.71 Acres
17	Density Allowed:	40 lots

18 This application is for Planned Residential Development. The adjacent property to the north is zoned R-3, the
19 property to the south is zoned General Commercial and A-1 Agriculture. The applicant has indicated his interest in
20 developing a retirement community. The Planning Commission moved to recommend approval, to the City Council, to
21 rezone property located at 1600 W 1700 S, from A-1 Agriculture to PRD Planned Residential Development, subject to all
22 applicable requirements of the City’s municipal codes.

23 [6:49:03 PM](#)

24 Acting CED Director Steele reviewed the staff memo.

25 [6:51:44 PM](#)

1 Councilmember Duncan indicated that the decision regarding this issue was made during the meeting when the
2 Council voted to approve the General Plan amendment. He added, however, that he is concerned about access to the
3 development and noted that one access point from Banbury Drive is not adequate.

4 [6:52:48 PM](#)

5 Applicant Eric Craythorne stated he has approached the Utah Department of Transportation (UDOT) regarding
6 securing an additional access point from Antelope Drive; he understands additional access will be necessary, but he will need
7 to complete a traffic study before determining where the access will be. He noted that he cannot proceed with a traffic study
8 until the property rezoning has been approved and he feels comfortable proceeding. He concluded that he would not move
9 forward with the project without securing an additional access point and he noted he is willing to enter into a development
10 agreement for the project with the City.

11 [6:55:27 PM](#)

12 Councilmember Lisonbee stated that she attended the Planning Commission meeting last week during which this
13 item was discussed; there were four Commissioners in attendance out of a body of seven. The vote of the Planning
14 Commission on this application was three to one in favor of forwarding a positive recommendation to the City Council, but
15 that is technically not a majority of the body. She stated she has concerns with that issue and wondered what the Planning
16 Commission Chair is doing to address absences of Planning Commissioners. She stated she would also like to understand
17 how many Commissioners were present during meetings when forwarding recommendations to the City Council.
18 Councilmember Duncan added that he would also like staff reports to include information about the General Plan designation
19 for any property upon which development is being requested.

20

21 [6:58:43 PM](#)

22 **Review Special Meeting Agenda Item 8: Authorize**
23 **Administration to award contract for Steed Storm Drain**
24 **Outfall Project.**

1 A staff memo from the Public Works Director explained this project will install a storm drain trunk line from 3000
2 West to Rock Creek Park having an outfall into the 700 South ditch. This trunk line will allow future development of
3 properties in the area to detain in Rock Creek Park as a regional detention basin instead of creating numerous smaller
4 detention basins as each subdivision develops. The construction of the regional detention basin at Rock Creek Park is not
5 included in the project and will be bid out separately. The construction will begin as soon as contract documents are in place
6 and be completed by the winter of 2015. Bids were opened on June 16, 2015. Five bids were submitted. The low bidder is
7 Ormond Construction. The bid amount is \$609,810.54 The funding for this project will come from the storm drain impact fee
8 fund. The project came in \$209,810.54 over what was originally budgeted. The increased cost is believed to be from some
9 required design changes which were not originally anticipated. Public Works believes the bids were competitive and would
10 not change significantly if the project were to be re-bid. Staff recommends awarding the contract to Ormond Construction.

11 [6:58:53 PM](#)

12 Public Works Director Whiteley reviewed his staff memo.

13
14 [7:02:38 PM](#)

15 **Discussion of potential waiver of coverage charges for**
16 **culinary water utility bill.**

17 A memo from City Administration indicated that staff recommended placing this item on the council agenda to
18 discuss any potential waiver of fees on the culinary water utility bill. This discussion revolves around the cross connection of
19 the secondary water and culinary water systems. The city recommended that all citizens flush their culinary water systems as
20 a precautionary measure after the culinary water was deemed safe to drink. Citizens have expressed their concern that they
21 may be billed for excess water use based upon flushing their systems. Staff recommends that the base fee of \$16.50 per home
22 be charged and should not be waived. This fee is charged for the first 8,000 gallons of water used. The City Council could
23 discuss the potential waiver of any overage charges that a citizen may incur on their bill. Residential homes are charged an
24 excess fee of \$2.05 per 1,000 gallons over the 8,000 gallon base amount. If they reach 15,000 gallons, they are charged
25 \$2.45 for each additional 1,000 gallons.

26 [7:02:48 PM](#)

1 Finance Director Marshall reviewed the staff memo.

2 [7:06:31 PM](#)

3 Council discussion of the potential to waive overage charges ensued, with the Council reaching the consensus that
4 the City should proceed with waiving water overage usage charges for the month of June or reducing all utility bills by \$2.05
5 as an apology to the citizens for the inconvenience they faced during the cross contamination of the City's culinary water
6 system. Councilmember Lisonbee asked that an article be included in the next City newsletter explaining to residents that
7 reason for the water utility credit and indicating the percentage by which their bill is being reduced.

8

9 [7:22:21 PM](#)

10 **Council business**

11 The Council and Mayor provided brief reports regarding the activities they have participated in since the last City
12 Council meeting.

13

14

15 The meeting adjourned at 7:32 p.m.

16

17 _____
18 Terry Palmer
19 Mayor

Cassie Z. Brown, CMC
City Recorder

20
21 Date approved: _____

Minutes of the Syracuse City Council Special Meeting, June 23, 2015

Minutes of the Special meeting of the Syracuse City Council held on June 23, 2015, at 7:55 p.m., in the Council Work Session Room, 1979 West 1900 South, Syracuse City, Davis County, Utah.

Present: Councilmembers: Brian Duncan
Mike Gailey
Craig A. Johnson
Karianne Lisonbee
Doug Peterson

City Manager Brody Bovero
City Recorder Cassie Z. Brown

Excused: Mayor Terry Palmer

City Employees Present:
Finance Director Steve Marshall
City Attorney Clint Drake
Public Works Director Robert Whiteley
Acting Community and Economic Development Director Noah Steele

[7:39:37 PM](#)

1. Meeting Called to Order

Mayor Pro-Tem Johnson called the meeting to order at [7:39:41 PM](#) p.m.

[7:39:48 PM](#)

COUNCILMEMBER LISONBEE MADE A MOTION TO AMEND THE AGENDA BY SEPARATING COMMON CONSENT ITEMS AS INDIVIDUAL ITEMS, ADD PUBLIC COMMENT AT THE BEGINNING OF THE AGENDA, AND ADOPT THE AGENDA WITH THOSE CHANGES. COUNCILMEMBER DUNCAN SECONDED THE MOTION.

[7:40:38 PM](#)

Public comments

TJ Jensen stated that he wanted to address some concerns that were expressed during the public comment portion of the work session meeting this evening. He stated the Planning Commission has also been very concerned about General Plan amendments and they carefully consider each application for such an amendment and a subsequent property rezone. He stated that he feels it is appropriate to change the manner in which the City considers General Plan changes due to the fact that frequent General Plan changes can be detrimental to the citizenry. He added, however, that he feels the Planning

1 Commission recommended the best General Plan change that could be made relative to Mr. Craythorne’s property located in
2 the vicinity of the intersection of Banbury Drive and Antelope Drive.

3 [7:42:19 PM](#)

4 Kevin Homer addressed item nine on the agenda regarding overage charges for culinary water and noted that he was
5 reviewing the City’s ordinances pertaining to water usage and found that the City provides an unlimited amount of water with
6 no cap or measurement. Councilmember Lisonbee stated she believes Mr. Homer is referring to secondary water. Mr.
7 Homer stated that in his reading of the ordinance his interpretation was that there is no cap on culinary or secondary water
8 use and he suggested that the City develop a way of measuring water usage. He stated the Weber County Water Conservancy
9 District has the ability to meter secondary water and he suggested that the City check into that, particularly if there is
10 consideration of implementing a mandatory watering schedule.

11 [7:44:00 PM](#)

12 Byron Hellewell stated that he was a member of the Planning Commission for several years and he also participated
13 in the General Plan committee; the General Plan is supposed to be a long term plan for the City that provides developers and
14 citizens some solid ground upon which to build and plan. He noted if the Plan continues to change as often as it has recently,
15 it is like trying to build upon quick sand. He recommended establishing a status quo that would only allow for the Plan to be
16 amended every five to 10 years rather than whenever someone wants a change. He then referenced item nine regarding
17 culinary water usage and stated that in the past secondary water was always so much less expensive than culinary water and it
18 was not worth the cost of measuring or metering it. He stated he is supportive of reducing fees for the month of June or
19 waiving overage charges because the City required users to use the water in response to the cross contamination issue.

20

21 [7:46:06 PM](#)

22 2a. Common Consent: Proposed Resolution R15-18 re-appointing Dale
23 Rackham to the Syracuse City Planning Commission with his term
24 expiring June 30, 2019.

25 An administrative staff memo explained the term for Planning Commissioner Dale Rackham is set to expire June 30,
26 2015. Mayor Palmer has indicated he would like to reappoint Mr. Rackham for an additional four-year term.

1 [7:46:28 PM](#)

2 COUNCILMEMBER DUNCAN MADE A MOTION TO ADOPT PROPOSED RESOLUTION R15-18 RE-
3 APPOINTING DALE RACKHAM TO THE SYRACUSE CITY PLANNING COMMISSION WITH HIS TERM
4 EXPIRING JUNE 30, 2019. COUNCILMEMBER LISONBEE SECONDED THE MOTION.

5 [7:46:51 PM](#)

6 Councilmember Duncan stated that he has appreciated Mr. Rackham and his willingness to communicate with the
7 City Council about things that he feels passionate about; he has gone above and beyond the call of duty and he appreciates his
8 service. Mayor Pro-Tem Johnson echoed Councilmember Duncan's comments.

9 [7:47:41 PM](#)

10 Mayor Pro-Tem Johnson stated there has been a motion and second to adopt the proposed resolution and he called
11 for a vote; ALL VOTED AYE.

12

13 [7:47:47 PM](#)

14 2b. Common Consent: Proposed Resolution R15-19 re-appointing Curt
15 McCuiston to the Syracuse City Planning Commission with his term
16 expiring June 30, 2019.

17 An administrative staff memo explained the term for Planning Commissioner Curt McCuiston is set to expire June
18 30, 2015. Mayor Palmer has indicated he would like to reappoint Mr. McCuiston for an additional four-year term.

19 [7:48:00 PM](#)

20 COUNCILMEMBER DUNCAN MADE A MOTION TO ADOPT PROPOSED RESOLUTION R15-19 RE-
21 APPOINTING CURT MCCUISTION TO THE SYRACUSE CITY PLANNING COMMISSION WITH HIS TERM
22 EXPIRING JUNE 30, 2019. COUNCILMEMBER GAILEY SECONDED THE MOTION; ALL VOTED AYE.

23 Councilmember Duncan thanked Mr. McCuiston for his service on the Planning Commission over the past three
24 years.

25

26 [7:48:29 PM](#)

1 2c. Common Consent: Proposed Resolution R15-20 appointing Grant
2 Thorson to the Syracuse City Planning Commission with his term
3 expiring June 30, 2018.

4 An administrative staff memo explained there is a vacancy on the Planning Commission that was created by the
5 resignation of Trevor Hatch. Mayor Palmer has recommended Grant Thorson be appointed to complete the remainder of Mr.
6 Hatch's term, which expires June 30, 2018.

7 [7:48:47 PM](#)

8 COUNCILMEMBER GAILEY MADE A MOTION TO ADOPT PROPOSED RESOLUTION R15-20
9 APPOINTING GRANT THORSON TO THE SYRACUSE CITY PLANNING COMMISSION WITH HIS TERM
10 EXPIRING JUNE 30, 2018. COUNCILMEMBER LISONBEE SECONDED THE MOTION.

11 [7:49:02 PM](#)

12 Mayor Pro-Tem Johnson asked Mr. Thorson to provide the Council with some information about himself. Mr.
13 Thorson provided the Council with a brief overview of his professional and personal background and indicated he is looking
14 forward to being involved in service for the City.

15 [7:50:04 PM](#)

16 Councilmember Duncan asked Mr. Thorson his opinion about amending the General Plan. Mr. Thorson stated
17 things can become complicated when the Plan is changed to regularly; he feels it is appropriate to let property owners do
18 what they want with their property whenever possible, but he reiterated it is possible to amend the General Plan too regularly.

19 [7:50:31 PM](#)

20 Mayor Pro-Tem Johnson stated there has been a motion and second to adopt the proposed resolution and he called
21 for a vote; ALL VOTED AYE.

22

23 [7:50:40 PM](#)

24 2d. Common Consent: Proposed Resolution R15-21 appointing Adam
25 Bernard as an alternate member of the Syracuse City Planning
26 Commission with his term expiring June 30, 2019.

1 An administrative staff memo explained Mayor Palmer would like to appoint an alternate Planning Commissioner to
2 fill in for absent Planning Commissioners to ensure a quorum of the Planning Commission is present at meetings to take
3 action on agenda items. He has recommended Adam Bernard be appointed with a term set to expire June 30, 2019.

4
5 [7:50:55 PM](#)

6 COUNCILMEMBER DUNCAN MADE A MOTION TO ADOPT PROPOSED RESOLUTION R15-21
7 APPOINTING ADAM BERNARD AS THE ALTERNATE MEMBER OF THE SYRACUSE CITY PLANNING
8 COMMISSION WITH HIS TERM EXPIRING JUNE 30, 2019. COUNCILMEMBER GAILEY SECONDED THE
9 MOTION.

10 [7:51:07 PM](#)

11 Mayor Pro-Tem Johnson noted he is opposing the appointment of an alternate Planning Commission because he
12 does not feel it is necessary to have an alternate member; he would prefer that those appointed to the Commission be
13 encouraged to attend and if it is not possible for them to attend it may be necessary to replace them. Councilmember
14 Lisonbee added that she has spoken in opposition to appointing an alternate member in the past and she still feels it is not
15 necessary to have an alternate Planning Commissioner.

16 [7:53:01 PM](#)

17 Planning Commission Chair Jensen indicated that he feels the position can bring some value to the Planning
18 Commission; in the past the Planning Commission had an alternate member who participated in three-quarters of the
19 meetings held throughout the course of the year due to absences of other Planning Commissioners. Discussion of the
20 recommendation to appoint an alternate ensued, with Councilmember Lisonbee stated she feels the position could create
21 some confusion; she feels that all members voting on actions considered by the Planning Commission should be fully vested
22 and she recommended sending this issue back to the Planning Commission to ask them to address the issue of attendance of
23 fully vested members in their bylaws. Mr. Jensen stated he will discuss attendance issues with the Planning Commission, but
24 noted he does not have the authority to remove a Planning Commission for failure to attend.

25 [7:57:27 PM](#)

1 Councilmember Lisonbee stated this has nothing to do with Mr. Benard and she feels he would be a great member of
2 the Planning Commission. Councilmember Peterson agreed and noted that the next time there is a vacancy on the Planning
3 Commission he would suggest that Mr. Benard be selected to fill the vacancy.

4 [7:57:44 PM](#)

5 Mayor Pro-Tem Johnson stated there has been a motion and second to adopt the proposed resolution and he called
6 for a vote; ALL VOTED IN OPPOSITION TO ADOPTING THE RESOLUTION AND APPOINTING AN ALTERNATE
7 MEMBER OF THE PLANNING COMMISSION.

8

9 [7:58:29 PM](#)

10 2e. Common Consent: Proposed Resolution R15-23 appointing Brigham
11 Mellor as the Community Development Director for Syracuse City.

12 An administrative staff memo explained Mayor Palmer has extended a conditional offer to Brigham Mellor for the
13 Community and Economic Development Director position. This was following two rounds of interviews that involved
14 Council Member Lisonbee, Shauna Greer (HR Specialist), and Mayor Palmer. The second round of interviews also included
15 City Manager Bovero, City Recorder Cassie Brown, Finance Director Stephen Marshall. Mr. Mellor has a solid background
16 in economic development and we believe he has the managerial and leadership skills to run the department well.

17 [7:58:41 PM](#)

18 City Manager Bovero introduced Mr. Mellor and indicated that City Administration feels Mr. Mellor has the
19 qualifications and ability to meet the requirements of the position; he provided a brief overview of Mr. Mellor's professional
20 background, after which Councilmember Lisonbee indicated she feels Mr. Mellor is very qualified to fill the position.

21 [8:01:06 PM](#)

22 Mr. Mellor then expressed his reasons for seeking appointment to the position of Community and Economic
23 Development (CED) Director.

24 [8:01:43 PM](#)

25 The audio for the meeting failed for the remainder of the meeting.

1 COUNCILMEMBER LISONBEE MADE A MOTION TO TABLE CONSIDERATION OF PROPOSED
2 RESOLUTION R15-23 APPOINTING BRIGHAM MELLOR AS THE COMMUNITY DEVELOPMENT DIRECTOR FOR
3 SYRACUSE CITY UNTIL IT IS POSSIBLE TO CONVENE IN A CLOSED EXECUTIVE SESSION TO FURTHER
4 DISCUSS THE ISSUE. COUNCILMEMBER DUNCAN SECONDED THE MOTION; ALL VOTED AYE.

5
6 3. Public Hearing: Proposed Ordinance 15-13 enacting and codifying
7 Section 3.50 of Title III of the Syracuse City Code relating to the
8 Syracuse City Disaster Preparedness Committee.

9 A staff memo from the City Manager explained Mayor Palmer has given the direction that the City, in conjunction
10 with Syracuse residents and businesses, should provide leadership on preparing for natural disasters and other larger scale
11 emergencies. In order to provide better coordination with residents and volunteers, administration is proposing a Disaster
12 Preparedness Committee, which will serve as an advisory body to the Mayor and City Council. This ordinance would be
13 placed under Title Three of the Syracuse City Code, specifically Chapter 3.50.

14 COUNCILMEMBER DUNCAN MADE A MOTION TO ADOPT PROPOSED ORDINANCE 15-13 ENACTING
15 AND CODIFYING SECTION 3.50 OF TITLE III OF THE SYRACUSE CITY CODE RELATING TO THE SYRACUSE
16 CITY DISASTER PREPAREDNESS COMMITTEE. COUNCILMEMBER GAILEY SECONDED THE MOTION; ALL
17 VOTED AYE.

18
19 4. Proposed Resolution R15-22 appointing members to the Syracuse
20 City Disaster Preparedness Committee.

21 A staff memo from the City Manager explained Mayor Palmer has given the direction that the City, in conjunction
22 with Syracuse residents and businesses, should provide leadership on preparing for natural disasters and other larger scale
23 emergencies. Upon creation of the Disaster Preparedness Committee, he would like to appoint to the Committee members of
24 the community that are currently actively serving in a disaster preparedness committee capacity. The six residents he has
25 identified at this time are: William Moody, Joe Thornton, Gregg Brustad, Byron Hellewell, Lee Hammond, and Matt Jones.
26 He would also like the Council to appoint himself or a member of the City Council to serve as an advisor to the Committee.

1 COUNCILMEMBER DUNCAN MADE A MOTION TO ADOPT PROPOSED RESOLUTION R15-22
2 APPOINTMENT MEMBERS OF THE SYRACUSE CITY DISASTER PREPAREDNESS COMMITTEE.
3 COUNCILMEMBER LISONBEE SECONDED THE MOTION; ALL VOTED AYE.

4
5

6 5. Proposed Ordinance 15-07 rezoning the property located at
7 approximately 1950 S. Doral Drive from Agriculture A-1 to Residential R-
8 1.

9 A staff memo from the Community and Economic Development Department provided the following information
10 regarding the application:

11	Subdivision Name:	To be determined
12	Location:	1950 S Doral Dr.
13	Current Zoning:	A-1 Agricultural
14	General Plan:	R-1 Residential
15	Requested Zoning:	R-1 Residential
16	Total Area:	34.018 Acres
17	Net Developable Acres:	27.214 Acres
18	Density Allowed:	78 lots

19 This application is for single family residential zoning that is consistent with the surrounding development. The
20 Planning Commission recommended approval, to the City Council, to rezone property located at 1950 S Doral Dr., from A-1
21 Agriculture to R-1 Residential, subject to all applicable requirements of the City's municipal codes.

22

23 COUNCILMEMBER DUNCAN MADE A MOTION TO ADOPT PROPOSED RESOLUTION R15-07
24 REZONING THE PROPERTY LOCATED AT APPROXIMATELY 1950 S. DORAL DRIVE FROM AGRICULTURE A-1
25 TO RESIDENTIAL R-1. COUNCILMEMBER LISONBEE SECONDED THE MOTION; ALL VOTED IN FAVOR.

26

1 6. Proposed Ordinance 15-11 rezoning the property located at
2 approximately 1600 W. 1700 S. from Agriculture A-1 to Residential PRD.

3 A staff memo from the Community and Economic Development Department provided the following information
4 regarding the application:

5	Subdivision Name:	To be determined
6	Location:	1600 W 1700 S
7	Current Zoning:	A-1 Agricultural
8	General Plan:	PRD Planned Residential Development
9	Requested Zoning:	PRD Planned Residential Development
10	Total Area:	6.71 Acres
11	Density Allowed:	40 lots

12 This application is for Planned Residential Development. The adjacent property to the north is zoned R-3, the
13 property to the south is zoned General Commercial and A-1 Agriculture. The applicant has indicated his interest in
14 developing a retirement community. The Planning Commission moved to recommend approval, to the City Council, to
15 rezone property located at 1600 W 1700 S, from A-1 Agriculture to PRD Planned Residential Development, subject to all
16 applicable requirements of the City's municipal codes.

17 COUNCILMEMBER LISONBEE MADE A MOTION TO ADOPT PROPOSED ORDINANCE 15-11
18 REZONING THE PROPERTY LOCATED AT APPROXIMATELY 1600 W. 1700 S. FROM AGRICULTURE A-1 TO
19 RESIDENTIAL PRD. COUNCILMEMBER DUNCAN SECONDED THE MOTION; ALL VOTED AYE.

20
21 7. Proposed Ordinance 15-12 amending Title 10 of the Syracuse City
22 Code pertaining to land use, specifically related to accessory structures.

23 A staff memo from the Community and Economic Development Department reviewed the dates of Planning
24 Commission and City Council review of the proposed ordinance as follows:

- 25 Planning Commission Discussions
26 February 17, 2015
27 March 17, 2015

- 1 April 7, 2015
- 2 April 21, 2015 –made motion to forward to City Council
- 3 June 16, 2015-Public Hearing
- 4 City Council
- 5 May 12 – tabled for additional discussion
- 6 May 26 – addition discussion during work session

7 The Planning Commission has conducted a review of the accessory structure ordinance in Title X of the City Code. The
8 following is a summary of the changes:

- 9 - Clarify confusing language throughout
- 10 - Remove the fencing requirement
- 11 - Change the setback requirements
- 12 - Change the allowed height requirements
- 13 - Change the pool/hot tub requirements

14 The Planning Commission moved to recommend approval, to the City Council, of the proposed Code Amendment
15 to Title X pertaining to Accessory Structures on June 16, 2015.

16 COUNCILMEMBER DUNCAN MADE A MOTION TO ADOPT PROPOSED ORDINANCE 15-12 AMENDING
17 TITLE 10 OF THE SYRACUSE CITY CODE PERTAINING TO LAND USE, SPECIFICALLY RELATED TO
18 ACCESSORY STRUCTURES. COUNCILMEMBER PETERSON SECONDED THE MOTION.

19
20 8. Authorize Administration to award contract for Steed Storm Drain
21 Outfall Project.

22
23 A staff memo from the Public Works Director explained this project will install a storm drain trunk line from 3000
24 West to Rock Creek Park having an outfall into the 700 South ditch. This trunk line will allow future development of
25 properties in the area to detain in Rock Creek Park as a regional detention basin instead of creating numerous smaller
26 detention basins as each subdivision develops. The construction of the regional detention basin at Rock Creek Park is not

1 included in the project and will be bid out separately. The construction will begin as soon as contract documents are in place
2 and be completed by the winter of 2015. Bids were opened on June 16, 2015. Five bids were submitted. The low bidder is
3 Ormond Construction. The bid amount is \$609,810.54 The funding for this project will come from the storm drain impact fee
4 fund. The project came in \$209,810.54 over what was originally budgeted. The increased cost is believed to be from some
5 required design changes which were not originally anticipated. Public Works believes the bids were competitive and would
6 not change significantly if the project were to be re-bid. Staff recommends awarding the contract to Ormond Construction.

7 COUNCILMEMBER GAILEY MADE A MOTION TO AUTHORIZE ADMINISTRATION TO AWARD
8 CONTRACT FOR STEED STORM DRAIN OUTFALL PROJECT. COUNCILMEMBER PETERSON SECONDED THE
9 MOTION; ALL VOTED IN FAVOR.

10
11 9. Discussion and/or action regarding potential waiver of overage
12 charges for culinary water utility bill.

13 A memo from City Administration indicated that staff recommended placing this item on the council agenda to
14 discuss any potential waiver of fees on the culinary water utility bill. This discussion revolves around the cross connection of
15 the secondary water and culinary water systems. The city recommended that all citizens flush their culinary water systems as
16 a precautionary measure after the culinary water was deemed safe to drink. Citizens have expressed their concern that they
17 may be billed for excess water use based upon flushing their systems. Staff recommends that the base fee of \$16.50 per home
18 be charged and should not be waived. This fee is charged for the first 8,000 gallons of water used. The City Council could
19 discuss the potential waiver of any overage charges that a citizen may incur on their bill. Residential homes are charged an
20 excess fee of \$2.05 per 1,000 gallons over the 8,000 gallon base amount. If they reach 15,000 gallons, they are charged
21 \$2.45 for each additional 1,000 gallons.

22 COUNCILMEMBER DUNCAN MADE A MOTION TO AUTHORIZE ADMINISTRATION TO ADJUST
23 CULINARY WATER UTILITY BILLS FOR THE MONTH OF JUNE 2015 BY ISSUING A \$2.05 CREDIT FOR ALL
24 RESIDENTS. COUNCILMEMBER GAILEY SECONDED THE MOTION; ALL VOTED IN FAVOR.

1 At 8:44 P.M. COUNCILMEMBER PETERSON MADE A MOTION TO ADJOURN. COUNCILMEMBER
2 LISONBEE SECONDED THE MOTION; ALL VOTED IN FAVOR.

3

4

5

6

7 _____
8 Terry Palmer
9 Mayor

Cassie Z. Brown, CMC
City Recorder

10 Date approved: _____

Minutes of the Syracuse City Council Special Meeting, June 25, 2015

Minutes of the Special meeting of the Syracuse City Council held on June 25, 2015, at 7:30 p.m., in the Council Work Session Room, 1979 West 1900 South, Syracuse City, Davis County, Utah.

Present: Councilmembers: Brian Duncan
Mike Gailey
Craig A. Johnson
Karianne Lisonbee
Doug Peterson

Mayor Terry Palmer (participated via telephone)
City Manager Brody Bovero
City Recorder Cassie Z. Brown

City Employees Present:
City Attorney Clint Drake

1. Meeting Called to Order

Mayor Pro-Tem Johnson called the meeting to order at 7:37:40 PM p.m.

7:37:44 PM

COUNCILMEMBER GAILEY MADE A MOTION TO ADOPT THE AGENDA. COUNCILMEMBER PETERSON SECONDED THE MOTION; ALL VOTED IN FAVOR.

7:37:51 PM

2. Consideration of adjourning into Closed Executive Session pursuant to the provisions of Section 52-4-205 of the Open and Public Meetings Law for the purpose of discussing the character, professional competence, or physical or mental health of an individual; pending or reasonably imminent litigation; or the purchase, exchange, or lease of real property

COUNCILMEMBER DUNCAN MADE A MOTION TO ADJOURN INTO CLOSED EXECUTIVE SESSION PURSUANT TO THE PROVISIONS OF SECTION 52-4-205 OF THE OPEN AND PUBLIC MEETINGS LAW FOR THE PURPOSE OF DISCUSSING THE CHARACTER, PROFESSIONAL COMPETENCE, OR PHYSICAL OR MENTAL HEALTH OF AN INDIVIDUAL. COUNCILMEMBER PETERSON SECONDED THE MOTION; ALL VOTED IN FAVOR.

1 The meeting adjourned at 7:37 p.m.

2 The meeting reconvened at 8:53 p.m.

3

4 [8:53:20 PM](#)

5 3. Proposed Resolution R15-23 appointing Brigham Mellor as the
6 Community Development Director for Syracuse City.

7 The Mayor has extended a conditional offer to Brigham Mellor for the Community & Economic Development
8 Director position. This was following two rounds of interviews that involved Council Member Lisonbee, Shauna Greer (HR
9 Specialist), and Mayor Palmer. The second round of interviews also included me, Cassie Brown, and Stephen Marshall. Mr.
10 Mellor has a solid background in economic development and City Administration believes he has the managerial and
11 leadership skills to run the department well.

12 [8:54:18 PM](#)

13 Mayor Palmer indicated he supports the proposed resolution and the offer letter that City Manager Bovero has
14 drafted. The Council briefly discussed the terms of the offer letter, with a brief focus on the section addressing any potential
15 conflict between Mr. Mellor's position with Syracuse City and his City Council position in Farmington City.

16 [9:00:29 PM](#)

17 COUNCILMEMBER PETERSON MADE A MOTION TO ADOPT PROPOSED RESOLUTION R15-23
18 APPOINTING BRIGHAM MELLOR AS THE COMMUNITY DEVELOPMENT DIRECTOR FOR SYRACUSE CITY,
19 CONDITIONED UPON HIS SIGNATURE ON THE LETTER OF UNDERSTANDING PROVIDED BY THE CITY
20 WITH THE ADDITION OF LANGUAGE INDICATING THAT MR. MELLOR WILL ONLY BE PASSIVELY
21 INVOLVED IN COMMUNITY AND ECONOMIC DEVELOPMENT ACTIVITIES IN FARMINGTON CITY.
22 COUNCILMEMBER LISONBEE SECONDED THE MOTION; ALL VOTED AYE.

23

24

25 At [9:01:26 PM](#) P.M. COUNCILMEMBER LISONBEE MADE A MOTION TO ADJOURN. COUNCILMEMBER
26 GAILEY SECONDED THE MOTION; ALL VOTED IN FAVOR.

City Council Special Meeting
June 25, 2015

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Terry Palmer
Mayor
Date approved: _____

Cassie Z. Brown, CMC
City Recorder

Minutes of the Syracuse City Council Work Session Meeting, July 14, 2015

Minutes of the Work Session meeting of the Syracuse City Council held on July 14, 2015, at 6:03 p.m., in the Council Work Session Room, 1979 West 1900 South, Syracuse City, Davis County, Utah.

Present: Councilmembers: Brian Duncan
Mike Gailey
Craig A. Johnson
Karianne Lisonbee

City Manager Brody Bovero
City Recorder Cassie Z. Brown

Excused: Mayor Terry Palmer
Councilmember Douglas Peterson

City Employees Present:

Finance Director Steve Marshall
Public Works Director Robert Whiteley
Fire Chief Eric Froerer
Police Chief Garret Atkin
Parks and Recreation Director Kresta Robinson
Acting Community and Economic Development Director Noah Steele

The purpose of the Work Session was to review the agenda for the business meeting to begin at 7:00 p.m.; review the following items forwarded by the Planning Commission: Final Subdivision Plan Approval, Still Water Lake Estates Phase 7, located at approximately 3669 S. Bayview Drive, and Proposed Ordinance 15-14 amending Title Eight of the Syracuse City Code pertaining to construction specifications; review agenda item eight, Proposed Ordinance amending Title Three of the Syracuse City Code pertaining to the Museum and Cultural Center Board; review agenda item nine, authorize Administration to award and execute contract for Smedley Acres Culinary Waterline Project Phase 2; and discuss Council business.

[6:05:47 PM](#)

Agenda review

Mayor Pro-Tem Johnson briefly reviewed the agenda for the business meeting to begin at 7:00 p.m.

[6:06:52 PM](#)

Review items forwarded by the Planning Commission:

1 **Final Subdivision Plan Approval, Still Water Lake**

2 **Estates Phase 7, located at approximately 3669 S.**

3 **Bayview Drive**

4 A staff memo from the Community and Economic Development (CED) Department explained the zoning of the
5 subject property is R-1 Cluster Residential, the applicant is Irben Development, the total size of the property is 5.5 acres, and
6 the applicant has requested approval of 28 lots. The City has been working with the developer on this project for
7 approximately three and one-half years. The project outline is as follows:

8 Sales Contract of City Property

9 City Council January 31, 2012

10 Annexation of Irben Property

11 City Council May 8, 2012

12 General Plan/Rezone Approval

13 City Council June 26, 2012

14 Sketch Plan Reviews-(30 ski lots, 288 Town Homes)

15 Planning Commission July 17, 2012-Tabled

16 August 7, 2012-Tabled (dead end street length, county canal crossing)

17 Annexation of Weaver Property

18 City Council March 12, 2013

19 Sketch Plan Amendment-(30 ski lots, 202 cottage lots, 168 Town Homes=400 units)

20 Planning Commission June 4, 2013- Tabled to modify lots to minimum 5,000 sq. ft., 55
21 feet frontage, side setbacks of 8 feet, reduce number
22 of entrances on Gentile, and replace flag lot with cul-
23 de-sac.

24 August 6, 2013- Approved Sketch, conditioned upon removing Phase 8
25 if purchased by UDOT.

26 Sketch Plan Amendment-(30 ski lots, 134 cottage lots, 54 courtyard lots, 56 town homes)

1 A staff memo from the Community and Economic Development (CED) Department explained City code has not
2 been updated since the City Council adopted the Engineering Standards and Specifications through resolution. This
3 amendment is to rectify the conflicts that exist.

4 [6:08:55 PM](#)

5 Public Works Director Whiteley reviewed the staff memo.

6 [6:09:50 PM](#)

7 Councilmember Gailey asked if the Council can enact future amendments to the engineering standards via
8 resolution, to which Mr. Whiteley answered yes.

9

10 [6:11:31 PM](#)

11 **Review agenda item eight, Proposed Ordinance**
12 **amending Title Three of the Syracuse City Code**
13 **pertaining to the Museum and Cultural Center Board.**

14 An Administrative memo explained the Museum and Cultural Center Board's purpose is to identify, preserve,
15 protect, and enhance historic artifacts associated with the City and its residents and other items of historical significance. The
16 current wording of Chapter 3.40 in the Syracuse City Code states that the Board shall consist of between five and nine
17 members. Mayor Palmer has proposed that the number of members on the Museum and Cultural Center Board shall be
18 changed from between five to nine members to seven members.

19 [6:11:35 PM](#)

20 City Manager Bovero reviewed the staff memo. There was a brief discussion about those that would be appointed to
21 the Museum and Cultural Center Board, with Councilmember Gailey indicating he has provided Mayor Palmer with a list of
22 the names of residents he feels would be willing to serve.

23

24 [6:14:39 PM](#)

25 **Review agenda item nine, Authorize Administration to**

1 **award and execute contract for Smedley Acres Culinary**

2 **Waterline Project Phase 2.**

3 This item was removed from the agenda.

4

5 [6:14:44 PM](#)

6 **Council business**

7 The Council had a discussion about water pressure issues that some residents are experiencing. Public Works
8 Director Whiteley indicated City Administration has scheduled a town hall meeting to discuss the causes of the low pressure
9 issues with the residents; the main cause of low pressure is high demand on the City's water supply.

10 Councilmember Lisonbee then noted that there was a recent newspaper article indicating that Davis County Mayors
11 support the West Davis Corridor. She stated there have been some differing opinions on the City Council and she indicated
12 that it may be appropriate to have an additional discussion or action during the next Council meeting to discuss West Davis
13 Corridor and the Shared Solution. Councilmember Duncan supported that recommendation.

14 Councilmembers then provided brief reports regarding the activities they have participated in since the last City
15 Council meeting.

16

17

18

19 The meeting adjourned at 6:32 p.m.

20

21

22 _____
23 Terry Palmer
24 Mayor

Cassie Z. Brown, CMC
City Recorder

25 Date approved: _____

Minutes of the Syracuse City Council Regular Meeting, July 14, 2015.

Minutes of the Regular meeting of the Syracuse City Council held on July 14, 2015, at 7:00 p.m., in the Council Chambers, 1979 West 1900 South, Syracuse City, Davis County, Utah.

Present: Councilmembers: Brian Duncan
Mike Gailey
Craig A. Johnson
Karianne Lisonbee

City Manager Brody Bovero
City Recorder Cassie Z. Brown

Excused: Mayor Terry Palmer
Councilmember Douglas Peterson

City Employees Present:
City Attorney Clint Drake
Finance Director Steve Marshall
Public Works Director Robert Whiteley
Fire Chief Eric Froerer
Police Chief Garret Atkin
Parks and Recreation Director Kresta Robinson
Acting Community Development Director Noah Steele

7:00:59 PM

1. Meeting Called to Order/Adopt Agenda

Mayor Pro-Tem called the meeting to order at 7:00 p.m. as a regularly scheduled meeting, with notice of time, place, and agenda provided 24 hours in advance to the newspaper and each Councilmember. Councilmember Duncan provided an invocation. Councilmember Gailey then led all present in the Pledge of Allegiance.

7:02:43 PM

COUNCILMEMBER GAILEY MOVED TO REMOVE ITEM NINE FROM THE AGENDA AND ADOPT THE AGENDA WITH THAT CHANGE. COUNCILMEMBER DUNCAN SECONDED THE MOTION; ALL VOTED IN FAVOR. Councilmember Peterson was not present when this vote was taken.

7:03:12 PM

2. Presentation of the Syracuse City and Wendy's "Award for Excellence" to Brooklyn Grant and Kenyon Faulconer.

1 The City wishes to recognize citizens who strive for excellence in athletics, academics, arts and/or community
2 service. To that end, in an effort to recognize students and individuals residing in the City, the Community and Economic
3 Development, in conjunction with Jeff Gibson, present the recipients for the “Syracuse City & Wendy’s Award for
4 Excellence”. This monthly award recognizes the outstanding performance of a male and female who excel in athletics,
5 academics, arts, and/or community service. The monthly award recipients will each receive a certificate and be recognized at
6 a City Council meeting; have their photograph placed at City Hall and the Community Center; be written about in the City
7 Newsletter, City’s Facebook and Twitter Feed, and City’s website; be featured on the Wendy’s product television; and
8 receive a \$10 gift certificate to Wendy’s.

9 Mayor Palmer noted both teens receiving the award for July 2015 were nominated by the Syracuse City Recreation
10 Department.

11 Brooklyn Grant

12 Brooklyn Grant is a great softball player. She is a great hitter and a really good pitcher. She led her team to an
13 undefeated record and helped them win the 5/6th grade Girls softball championship. But even more importantly, she
14 was an amazing team player. She was cheering on her team, starting chants in the dugout to get her teammates
15 excited and being the first to congratulate someone for making a great hit or play no matter who’s team they were
16 on. Brooklyn is a great athlete and a great team player.

17 Kenyon Faulconer

18 Kenyon is an exceptional baseball player. He helped lead his team to an undefeated season and win the Major league
19 championship in which he pitched in and hit a grand slam to give his team the lead late in the game. Kenyon also
20 was a great team player, always cheering on the other batters or picking his teammates up when they were
21 struggling. Kenyon is a leader not just by hitting grand slams but by having great sportsmanship.

22
23 [7:07:21 PM](#)

24 3. Presentation of TAP Award by Utah Local Government Trust (ULGT)

25 An administrative memo explained the Trust Accountability Program (TAP) is designed to recognize and reward
26 Trust Member agencies who implement effective safety and loss prevention elements. Less than 10% of Members receive

1 TAP. TAP Award recipients receive an award and 5% of their liability premium back as a bonus. To achieve TAP, members
2 must complete the requirements included in the attached document.

3 [7:07:40 PM](#)

4 Curtis Thomas and Jason Waterston, representatives of the Utah Local Governments Trust (ULGT) presented the
5 City Council with the TAP award and a bonus check in the amount of \$8,055.99; they congratulated Syracuse City for being
6 great members of the ULGT.

7 [7:12:06 PM](#)

8 Mayor Pro-Tem Johnson thanked City Administration and staff for their efforts that ultimately resulted in the City's
9 receipt of the TAP award. Mr. Waterston added that the City Council also plays a critical role by supporting the initiatives of
10 staff that result in improving safety measures.

11

12 [7:13:03 PM](#)

13 4. Approval of Minutes:

14 The following minutes were reviewed by the City Council: Work Session of May 26, 2015 and the Work Session,
15 Regular Meeting, Special RDA Meeting, and Special MBA Meeting of June 9, 2015.

16 [7:13:06 PM](#)

17 COUNCILMEMBER LISONBEE MADE A MOTION TO TABLE APPROVAL OF THE WORK SESSION OF
18 MAY 26, 2015 WORK SESSION MINUTES, AND THE WORK SESSION AND REGULAR MEETING MINUTES OF
19 JUNE 9, 2015 AND TO APPROVE THE SPECIAL RDA AND SPECIAL MBA MEETING OF JUNE 9, 2015.
20 COUNCILMEMBER DUNCAN SECONDED THE MOTION; ALL VOTED IN FAVOR. Councilmember Peterson was
21 not present when this vote was taken.

22 [7:14:28 PM](#)

23 Councilmember Lisonbee asked that draft minutes of the minutes that were tabled be posted on the website for
24 citizen review.

25

26 [7:15:19 PM](#)

1 5. Public comments

2 [7:15:21 PM](#)

3 Dave Maughan stated that he received a phone call from his neighbor a few days ago who told him that a Syracuse
4 City truck pulled up in front of his yard and took his campaign signs and drove away. He stated it is odd that candidates must
5 spend money to campaign and serve the citizens, but he understands that is the case. He added that he has tried to review the
6 City's ordinances relative to campaign sign regulations and it is his understanding that as long as a sign is not located within
7 a park strip, it is legal. He stated that he has no idea why the removal took place, but he asked the Council to understand that
8 it causes the public to ask what the City has against Mr. Maughan. He stated that it is an odd thing and he would like some
9 clarification and explanation as to how and why signs are removed. He then referenced the TAP award and stated that the
10 money presented to the City by the ULGT could be used to plant trees and the park that he has been fighting for over the past
11 few years.

12 [7:17:08 PM](#)

13 Adam Benard stated that over the past few months the Planning Commission has been discussing fencing heights
14 around swimming pools; he has concerns about the definition of fence within the proposed ordinance because it does not
15 prohibit fencing like rail fences, which would not be good at keeping children out of a backyard with a pool. He then thanked
16 Councilmember Lisonbee for offering him an explanation as to why he was not appointed as an alternate member of the
17 Planning Commission during the June 23 meeting, but he pointed out that the Planning Commission is a volunteer board and
18 it is not uncommon for member of the Planning Commission to have other responsibilities or schedule conflicts. He noted
19 that last week was the first time that all Planning Commissions have been present at the meeting and that is why he supports
20 the creation of an alternate Planning Commission member position.

21

22 [7:19:03 PM](#)

23 6. Final Subdivision Plan Approval, Still Water Lake Estates Phase 7,
24 located at approximately 3669 S. Bayview Drive.

25 A staff memo from the Community and Economic Development (CED) Department explained the City has been
26 working with the developer on this project for approximately three and one-half years. The project outline is as follows:

27 Sales Contract of City Property

1 City Council January 31, 2012
2 Annexation of Irben Property
3 City Council May 8, 2012
4 General Plan/Rezone Approval
5 City Council June 26, 2012
6 Sketch Plan Reviews-(30 ski lots, 288 Town Homes)
7 Planning Commission July 17, 2012-Tabled
8 August 7, 2012-Tabled (dead end street length, county canal crossing)
9 Annexation of Weaver Property
10 City Council March 12, 2013
11 Sketch Plan Amendment-(30 ski lots, 202 cottage lots, 168 Town Homes=400 units)
12 Planning Commission June 4, 2013- Tabled to modify lots to minimum 5,000 sq. ft., 55
13 feet frontage, side setbacks of 8 feet, reduce number
14 of entrances on Gentile, and replace flag lot with cul-
15 de-sac.
16 August 6, 2013- Approved Sketch, conditioned upon removing Phase 8
17 if purchased by UDOT.
18 Sketch Plan Amendment-(30 ski lots, 134 cottage lots, 54 courtyard lots, 56 town homes)
19 Planning Commission October 16, 2013- Denied for deviating from previous approval
20 which required 5,000 sq. ft., 55 feet of
21 frontage, and 8 foot side setbacks.
22 Preliminary Plan-(30 ski lots, 165 cottage lots)
23 Planning Commission February 18, 2014- Tabled to review previous
24 approvals/requirements
25 March 4, 2014-Approved
26 Conditional Use Approval
27 Planning Commission May 6, 2014-Approved

1 City Council May 14th -Approved

2 Final Plan

3 Planning Commission July 7, 2015

4 This application is for final plan approval of the Still Water Lake Estates subdivision phase 7 located on 3669 S
5 Bayview Drive. This proposal consists of 28 single family homes. The overall development is 86.55 acres with a net density
6 of 2.78 DU/AC. The Planning Commission moved to recommend approval to the City Council of the Still Water Lake
7 Estates Phase 7 Final Plan, Irben Development, property located at approximately 3669 S Bayview Dr., subject to all
8 applicable requirements of the City's municipal codes and City staff reviews.

9 [7:19:18 PM](#)

10 COUNCILMEMBER DUNCAN MADE A MOTION TO GRANT FINAL PLAN APPROVAL FOR
11 STILLWATER LAKE ESTATES PHASE 7, LOCATED AT APPROXIMATELY 3669 S. BAYVIEW DRIVE.
12 COUNCILMEMBER GAILEY SECONDED THE MOTION; ALL VOTED IN FAVOR. Councilmember Peterson was not
13 present when this vote was taken.

14

15 [7:20:05 PM](#)

16 7. Proposed Ordinance 15-14 amending Title Eight of the Syracuse City
17 Code pertaining to construction specifications.

18 A staff memo from the Community and Economic Development (CED) Department explained City code has not been
19 updated since the City Council adopted the Engineering Standards and Specifications through resolution. This amendment is to
20 rectify the conflicts that exist.

21 [7:20:16 PM](#)

22 COUNCILMEMBER DUNCAN MADE A MOTION TO ADOPT ORDINANCE 15-14 AMENDING TITLE
23 EIGHT OF THE SYRACUSE CITY CODE PERTAINING TO CONSTRUCTION SPECIFICATIONS.
24 COUNCILMEMBER GAILEY SECONDED THE MOTION; ALL VOTED IN FAVOR. Councilmember Peterson was not
25 present when this vote was taken.

26

1 [7:21:43 PM](#)

2 8. Public Hearing: Proposed Ordinance 15-15 amending Title Three of
3 the Syracuse City Code pertaining to the Museum and Cultural Center
4 Board.

5 A staff memo from the City Manager explained the Museum and Cultural Center Board's purpose is to identify,
6 preserve, protect, and enhance historic artifacts associated with the City and its residents and other items of historical
7 significance. The current wording of Chapter 3.40 in the Syracuse City Code states that the Board shall consist of between
8 five and nine members. Mayor Palmer has proposed that the number of members on the Museum and Cultural Center Board
9 shall be changed from between five to nine members to seven members.

10 [7:21:50 PM](#)

11 City Manager Bovero reviewed his staff memo.

12 [7:22:16 PM](#)

13 Mayor Pro-Tem Johnson opened the public hearing. There were no persons appearing to be heard and Mayor Pro-Tem
14 Johnson closed the public hearing.

15 [7:22:35 PM](#)

16 COUNCILMEMBER LISONBEE MADE A MOTION TO ADOPT PROPOSED ORDINANCE 15-15
17 AMENDING TITLE THREE OF THE SYRACUSE CITY CODE PERTAINING TO THE MUSEUM AND CULTURAL
18 CENTER BOARD. COUNCILMEMBER GAILEY SECONDED THE MOTION.

19 [7:22:44 PM](#)

20 Councilmember Duncan clarified that one reason for this ordinance is to make it easier for the Museum and Cultural
21 Center to get a quorum of their members to their meetings.

22 [7:23:13 PM](#)

23 Mayor Pro-Tem Johnson stated there has been a motion and second to adopt the proposed ordinance and he called
24 for a vote; ALL VOTED IN FAVOR. Councilmember Peterson was not present when this vote was taken.

25

26

1 9. Authorize Administration to award and execute contract for Smedley
2 Acres Culinary Waterline Project Phase 2.

3 This item was removed from the agenda.
4

5 [7:23:44 PM](#)

6 10. Consideration of cancelling the August 11, 2015 work session and
7 business meetings in observance of Election Day.

8 A staff memo from the City Recorder explained historically the Syracuse City Council has cancelled regularly
9 scheduled meetings that fall on Election Day. The City Recorder is recommending cancelling the August 11 meetings to
10 observe Primary Election Day in Syracuse City. If necessary, special voting meetings can be held on July 28 and August 25
11 to address any pending action items.

12 [7:24:58 PM](#)

13 COUNCILMEMBER DUNCAN MADE A MOTION TO CANCEL THE AUGUST 11, 2015 WORK SESSION
14 AND BUSINESS MEETINGS IN OBSERVANCE OF ELECTION DAY. COUNCILMEMBER LISONBEE SECONDED
15 THE MOTION; ALL VOTED IN FAVOR. Councilmember Peterson was not present when this vote was taken.
16

17 [7:25:58 PM](#)

18 11. Councilmember reports.

19 At each meeting the Councilmembers provide reports regarding the meetings and events they have participated in
20 since the last City Council meeting. Councilmember Duncan's report began at [7:26:09 PM](#) . He was followed by
21 Councilmembers Lisonbee, Gailey, and Johnson. Councilmember Peterson was not present to provide a report.
22
23

24 12. Mayor's Report.

25 Mayor Palmer's was excused from the meeting.
26

1 [7:30:30 PM](#)

2 13. City Manager report

3 City Manager Bovero's report began at [7:30:35 PM](#).

4

5

6 At [7:33:19 PM](#) COUNCILMEMBER DUNCAN MADE A MOTION TO ADJOURN. COUNCILMEMBER

7 LISONBEE SECONDED THE MOTION; ALL VOTED IN FAVOR.

8

9

10

11

12

13 _____
Terry Palmer
14 Mayor

Cassie Z. Brown, CMC
City Recorder

15

16 Date approved: _____



CITY COUNCIL AGENDA

July 28, 2015

Agenda Item # 3

General Plan and Rezone Request Professional Office to Business Park Zone 3600 W 1700 S

Factual Summation

Please review the following information. Any questions regarding this agenda item may be directed at Jenny Schow, Planner.

Subdivision Name:	To be determined
Location:	3600 W 1700 S
General Plan:	Professional Office
Requested General Plan:	Business Park
Total Area:	8.57 Acres

Attachments:

- Aerial
- General Plan Map
- Applicant Letter
- Conceptual Site Plan
- Public Notice Letter

Summary:

The applicant has indicated that the Business Park zone is more conducive to the use of the land and the existing business of nearby property.

Planning Commission Recommendation

The Planning Commission moved to recommend unanimous approval to the City Council of the General Plan and Rezone request to Business Park, Sunquest Development, property located at approximately 3600 W 1700 S, subject to all applicable requirements of the City's municipal codes and City staff reviews on July 21, 2015.

RESOLUTION R15-24

A RESOLUTION OF THE SYRACUSE CITY COUNCIL AMENDING THE SYRACUSE CITY GENERAL PLAN LAND USE MAP ADOPTED IN 1976, AS AMENDED.

WHEREAS, in 1967 a Syracuse Preliminary Master Plan was prepared for the Syracuse Planning Commission as a part of the Davis County Master Plan Program, said preliminary plan being prepared by R. Clay Allred and Associates, Planning Consultants; and

WHEREAS, in 1976 a Comprehensive Plan for Syracuse was prepared by the Davis County Planning Commission with assistance of Architects/Planners Alliance Planning Consultants and Wayne T. Van Wagoner and Associates, Traffic and Transportation Consultants which plan was financially aided by a grant from the Department of Housing and Urban Development through the Utah State Department of Community Affairs; and

WHEREAS, the 1976 Comprehensive Plan was amended in 1988 and the title changed to the Syracuse City Master Plan; and

WHEREAS, The Syracuse City General Plan was again amended in 1996, 1999, 2003, 2006, 2009, 2011, 2012, 2013, and 2014 to incorporate appropriate and necessary changes to the General Plan as approved at that time; and

WHEREAS, the Syracuse City Planning Commission adopted a process in 2012, where an applicant may apply for a Syracuse City General Plan update outside of the traditional district review; and

WHEREAS, public hearings have been held by the Planning Commission to receive public input regarding proposed changes; and

WHEREAS, the Planning Commission has recommended approval of the proposed amendments to the General Plan concluding that the proposed amendments provide development objectives with respect to the most desirable use of land within the City for subject property which benefit the physical, social, economic, and governmental development of the City and to promote the general welfare and prosperity of its residents;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, AS FOLLOWS:

Section 1. Adoption. That the proposed amendments to the Syracuse City General Plan Land Use Map, attached hereto as Exhibit A, are hereby adopted and any ordinances or resolutions in conflict herewith are hereby repealed to the extent of such conflict.

Section 2. Severability. If any section, part or provision of this Resolution is held invalid or unenforceable, such invalidity or unenforceability shall not affect any other portion of this Resolution, and all sections, parts and provisions of this Resolution shall be severable.

Section 3. No Repeal. This Resolution is not intended and shall not be construed as a repealer of any previously adopted ordinance or resolution and is specifically intended to clarify and supplement existing City ordinances, rules and regulations.

Section 4. Effective Date. This Resolution shall become effective immediately upon its passage.

PASSED AND ADOPTED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, THIS 28th DAY OF JULY, 2015.

SYRACUSE CITY

ATTEST:

Cassie Z. Brown, CMC
City Recorder

By: _____
Terry Palmer
Mayor

EXHIBIT “A”



General Plan Amendment 3600 W 1700 S

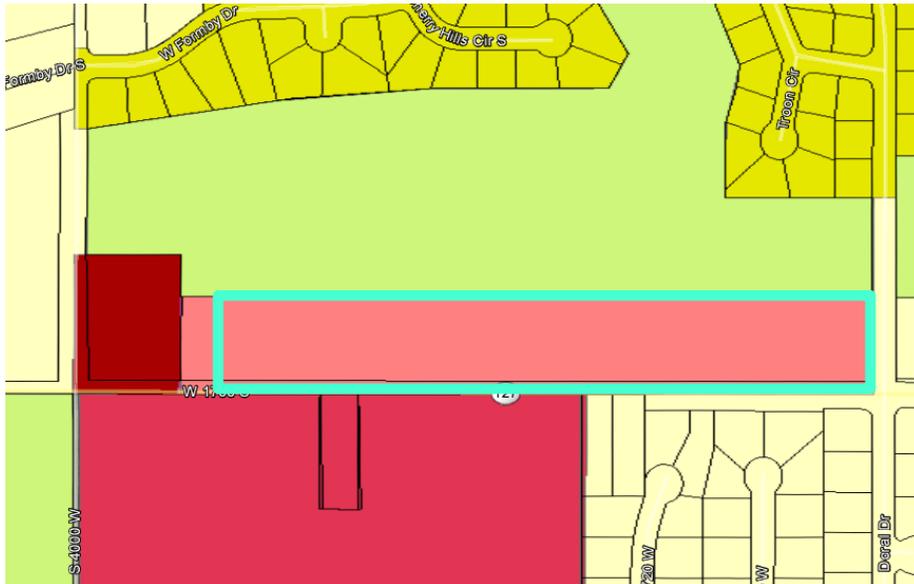




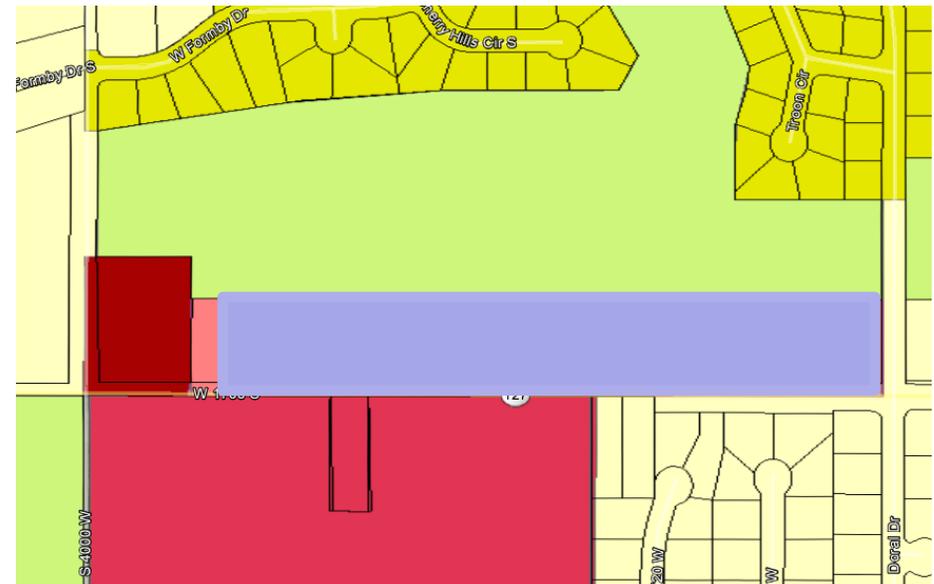
General Plan and Rezone Amendment Professional Office to Business Park Zone 3600 W 1700 S



Current General Plan



Proposed General Plan



- | | | | |
|---|------------------------------------|---|--------------------------|
|  | Agriculture A-1 |  | Commercial II |
|  | R-1 (2.90 dwellings per net acre) |  | General Commercial Zone |
|  | R-2 (3.79 dwellings per net acre) |  | Industrial Zone |
|  | R-3 (5.44 dwellings per net acre) |  | Town Center Overlay Zone |
|  | PRD (8.0 dwellings per net acre) |  | Sensitive Overlay Zone |
|  | R-4 (14.52 dwellings per net acre) |  | RDA & EDA Boundary |
|  | Professional Office |  | Business Park Zone |



Mayor
Terry Palmer

City Council
Brian Duncan
Mike Gailey
Craig Johnson
Karianne Lisonbee
Douglas Peterson

City Manager
Brody Bovero

July 10, 2015

The City has received a General Plan and Rezone request for the Business Park Zone, requested by Sunquest Development, property located approximately 3600 W 1700 S. The Planning Commission will consider this request in their regular meeting, beginning at 6 p.m., in the City Hall Council Chambers on **July 21 2015**.

In accordance with Syracuse City Land Use Ordinance 10-4-050(C), we are providing you notice of this request as a land owner within a 300-foot radius of the subject property. This is a Public Hearing, and you are welcome to attend and provide comments regarding this request, if you so desire, or submit them in writing to the email or mailing address below.

If you are uncertain as to the impact or ramifications of this proposal and would like more information; please feel free to call or stop in during regular business hours, between 8 a.m. and 5 p.m., Monday through Friday.

Respectfully,

Syracuse City

Community Development Department
Phone and/or Fax: 801-614-9632
Email: jschow@syracuseut.com

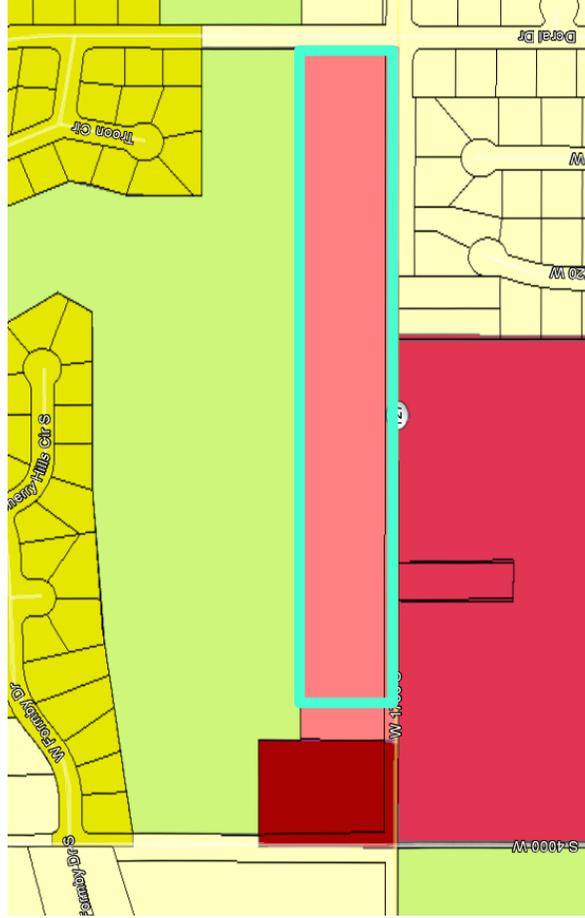
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General Plan and Rezone Amendment Professional Office to Business Park Zone 3600 W 1700 S

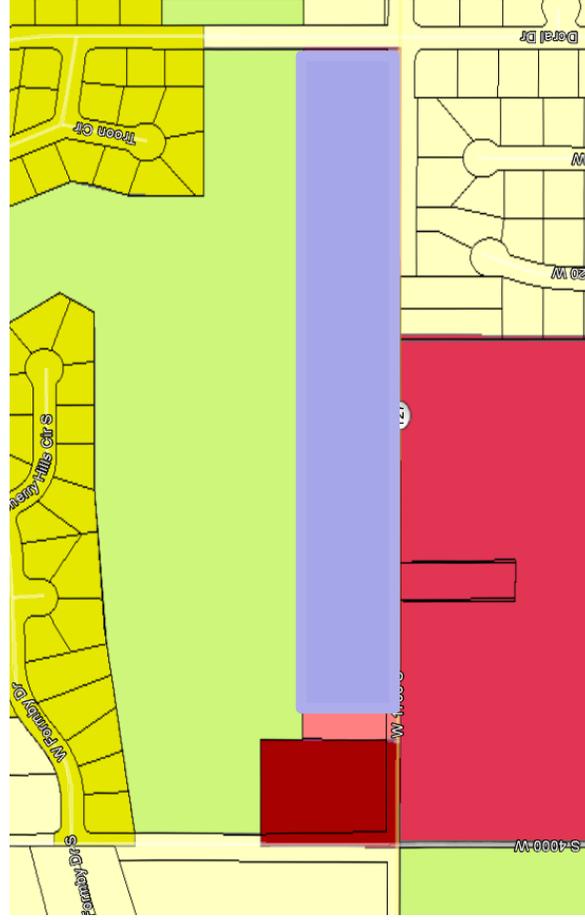


Current General Plan



- Agriculture A-1
- R-1 (2.90 dwellings per net acre)
- R-2 (3.79 dwellings per net acre)
- R-3 (5.44 dwellings per net acre)
- PRD (8.0 dwellings per net acre)
- R-4 (14.52 dwellings per net acre)
- Professional Office

Proposed General Plan



- Commercial II
- General Commercial Zone
- Industrial Zone
- Town Center Overlay Zone
- Sensitive Overlay Zone
- RDA & EDA Boundary
- Business Park Zone

General Plan Amendment

Parcel 12-047-0247

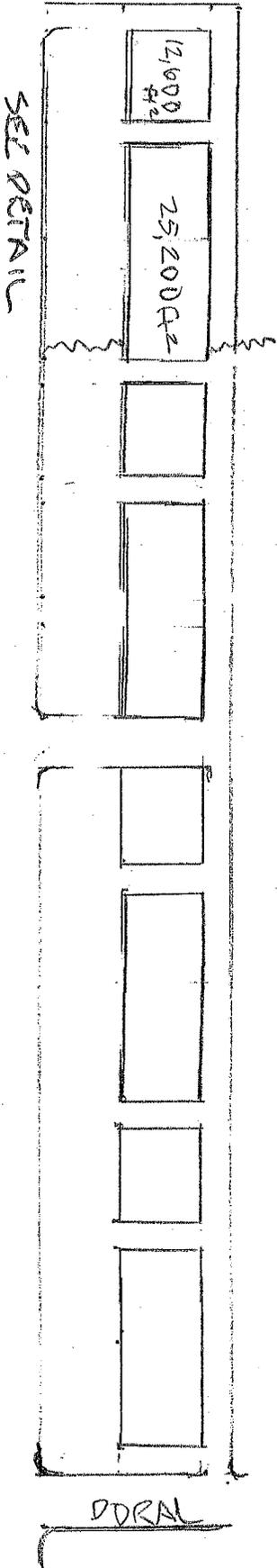
SunQuest Development LC

The current plan and zone for this parcel is Professional Office. This parcel is situated along 1700 South between Doral Dr (3600 West) and Paul's Automotive just east of 4000 West. Requests for buildings to store vehicles used in small businesses such as airduct cleaning, HVAC, carpentry and other similar businesses have come to the property owner's attention. Such buildings are in short supply in Syracuse and only located in the industrial zone on the east side of the City. In meeting with the Community Development Director, Noah Steele, it became apparent that a better zone and use of this property could be accomplished with a change to a Business Park Zone. That would facilitate building several buildings which would be similar in design and architecture as well as be consistent in landscaping, parking and other amenities. The ability to control the streetscape would be enhanced due to the entire parcel being in the ownership of SunQuest Development LC with an owner's association which would require the common areas be maintained and developed in a consistent pattern. Access to this property is available on the west end next to Paul's Automotive, from Doral Dr, and an additional entrance will be requested from UDOT in the center of the parcel. A full size street will be built at that location to allow future development of the property north of this parcel currently utilized as the golf course in the event the golf course is unable to reach a sustainable level of revenue and another use is required. This street would also allow access to this parcel to the west as well as to the east side. Development of the buildings would be in phases beginning at the west end and proceeding east as the market demands. The Business Park zone allows a variety of uses within the area, which will bring much higher potential of utilizing the property in a profitable manner and in a way which will provide an attractive area for the neighbors near the property.


Michael E. McBride,

Manager, SunQuest Development LC.





151,200 Ft² TOTAL

PAUL'S AUTO

DRIVE WAY

105' 30' 26' 20' 20'

4,200 Ft²

4,200 Ft²

4,200 Ft²

120' TYP

10'

30'

DRIVEWAY

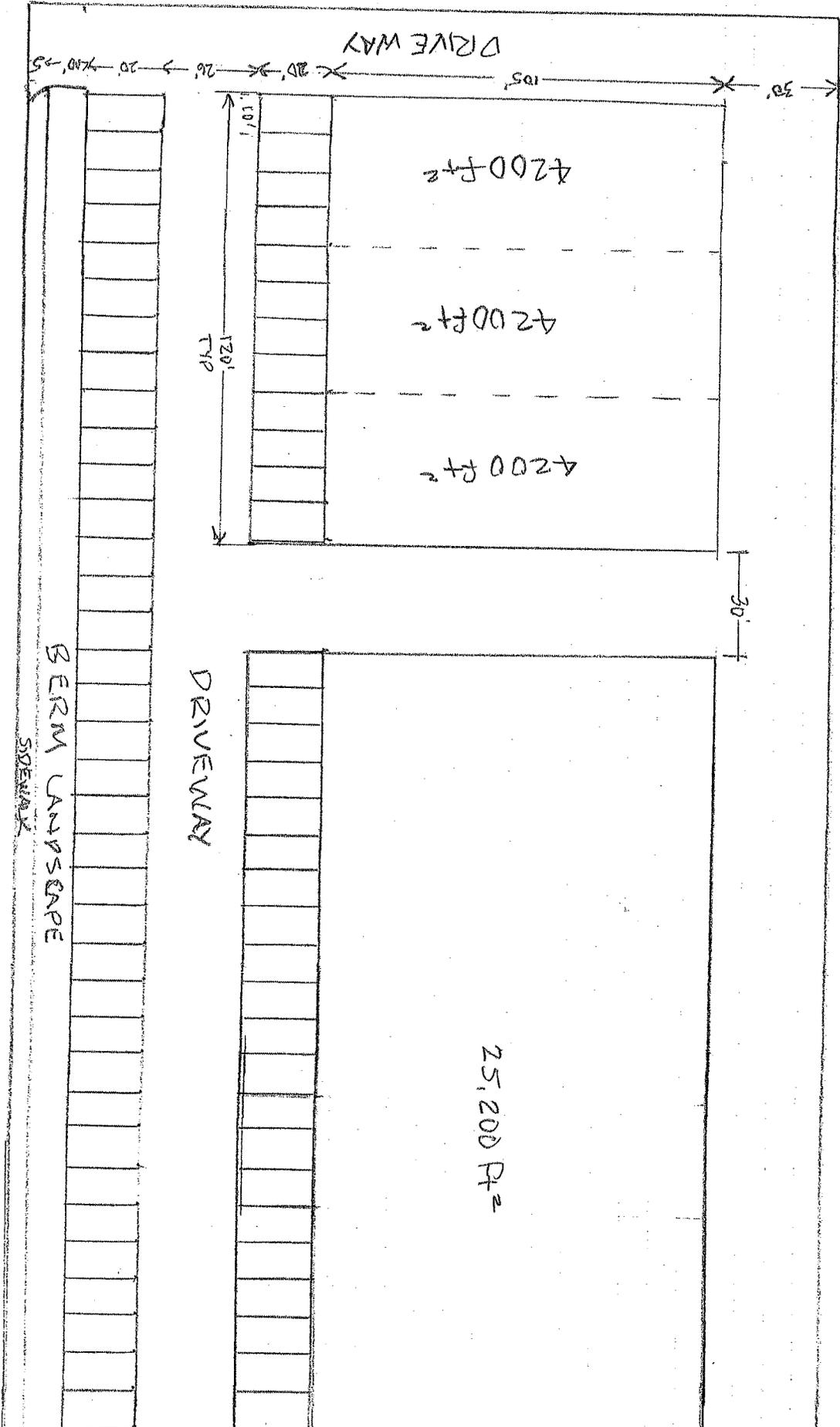
25,200 Ft²

BERM LANDSCAPE

SEWER

SCALE 1" = 40'

75 PARKING STALLS





CITY COUNCIL AGENDA

July 28, 2015

Agenda Item # 4

General Plan and Rezone Request Professional Office to Business Park Zone 3600 W 1700 S

Factual Summation

Please review the following information. Any questions regarding this agenda item may be directed at Jenny Schow, Planner.

Subdivision Name:	To be determined
Location:	3600 W 1700 S
General Plan:	Professional Office
Requested General Plan:	Business Park
Total Area:	8.57 Acres

Attachments:

- Aerial
- General Plan Map
- Applicant Letter
- Conceptual Site Plan
- Public Notice Letter

Summary:

The applicant has indicated that the Business Park zone is more conducive to the use of the land and the existing business of nearby property.

Planning Commission Recommendation

The Planning Commission moved to recommend unanimous approval to the City Council of the General Plan and Rezone request to Business Park, Sunquest Development, property located at approximately 3600 W 1700 S, subject to all applicable requirements of the City's municipal codes and City staff reviews on July 21, 2015.

ORDINANCE NO. 15-16

AN ORDINANCE AMENDING THE EXISTING ZONING MAP OF TITLE X, "SYRACUSE CITY ZONING ORDINANCE", REVISED ORDINANCES OF SYRACUSE, 1971, BY CHANGING FROM (PO) PROFESSIONAL OFFICE ZONE TO (BP) BUSINESS PARK ZONE ON THE PARCEL(S) OF REAL PROPERTY HEREIN DESCRIBED.

WHEREAS, the City has adopted a Zoning Ordinance to regulate land use and development within the corporate boundaries of the City; and

WHEREAS, Chapter Four of the Ordinance authorizes the City Council to amend the number, shape, boundaries, or any area of any zone; and

WHEREAS, a request for rezone has been made; the same has been recommended for approval by the Planning Commission; and a public hearing has been held with the proper notice having been given 10-days prior to the hearing date;

NOW, THEREFORE, BE IT ENACTED AND ORDAINED BY THE CITY COUNCIL OF SYRACUSE DAVIS COUNTY, STATE OF UTAH, AS FOLLOWS:

SECTION 1: That the following described real parcels of property in (PO) Professional Office Zone as shown on a zoning map are hereby amended and changed to To (BP) Business Park Zone on the parcel shown accordingly:

A PARCEL OF LAND WH LIES WITHIN THE SW 1/4 OF SEC 8-T4N-R2W, SLM, SD PARCEL BEING MORE PARTLY DESC AS FOLLOWS: BEG AT A PT WH LIES S 89°53'34" E ALG THE S LINE OF SD SEC 8, 383.05 FT & N 0°06'26" E, 33.00 FT FR THE SW COR OF SD SEC 8 & RUN TH N 00°08'48" E, 219.99 FT; TH S 89°53'34" E, 1706.28 FT; TH S 0°06'11" W, 219.99 FT TO A PT ON THE N R/W LINE OF 1700 SOUTH STR; N 89°53'34" W ALG SD R/W LINE, 1706.45 FT TO THE POB. CONT 8.57 ACRES

SECTION 2: Effective Date. This Ordinance shall become effective immediately upon publication or posting.

PASSED AND ADOPTED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, THIS 28th DAY OF JULY, 2015.

SYRACUSE CITY

ATTEST:

Cassie Z. Brown, City Recorder

Mayor Terry Palmer

Voting by the City Council:

	“AYE”	“NAY”
Councilmember Peterson	_____	_____
Councilmember Lisonbee	_____	_____
Councilmember Duncan	_____	_____
Councilmember Johnson	_____	_____
Councilmember Gailey	_____	_____



General Plan Amendment 3600 W 1700 S





Mayor
Terry Palmer

City Council
Brian Duncan
Mike Gailey
Craig Johnson
Karianne Lisonbee
Douglas Peterson

City Manager
Brody Bovero

July 10, 2015

The City has received a General Plan and Rezone request for the Business Park Zone, requested by Sunquest Development, property located approximately 3600 W 1700 S. The Planning Commission will consider this request in their regular meeting, beginning at 6 p.m., in the City Hall Council Chambers on **July 21 2015**.

In accordance with Syracuse City Land Use Ordinance 10-4-050(C), we are providing you notice of this request as a land owner within a 300-foot radius of the subject property. This is a Public Hearing, and you are welcome to attend and provide comments regarding this request, if you so desire, or submit them in writing to the email or mailing address below.

If you are uncertain as to the impact or ramifications of this proposal and would like more information; please feel free to call or stop in during regular business hours, between 8 a.m. and 5 p.m., Monday through Friday.

Respectfully,

Syracuse City

Community Development Department
Phone and/or Fax: 801-614-9632
Email: jschow@syracuseut.com

js

General Plan Amendment

Parcel 12-047-0247

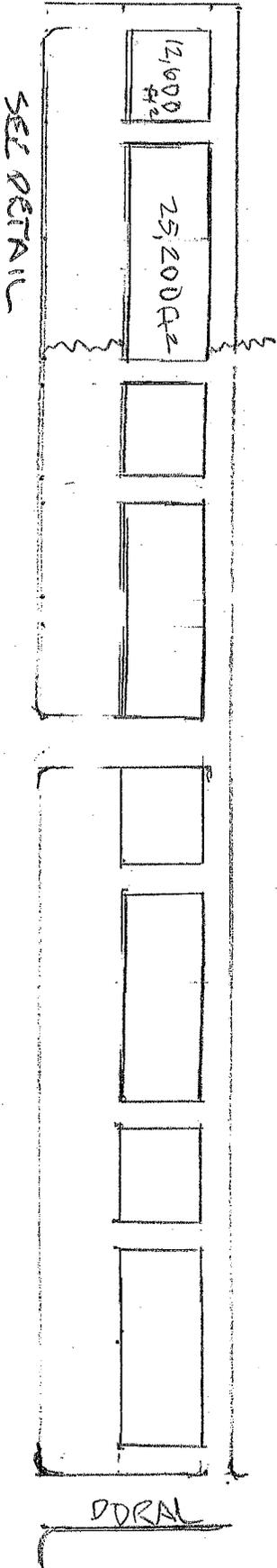
SunQuest Development LC

The current plan and zone for this parcel is Professional Office. This parcel is situated along 1700 South between Doral Dr (3600 West) and Paul's Automotive just east of 4000 West. Requests for buildings to store vehicles used in small businesses such as airduct cleaning, HVAC, carpentry and other similar businesses have come to the property owner's attention. Such buildings are in short supply in Syracuse and only located in the industrial zone on the east side of the City. In meeting with the Community Development Director, Noah Steele, it became apparent that a better zone and use of this property could be accomplished with a change to a Business Park Zone. That would facilitate building several buildings which would be similar in design and architecture as well as be consistent in landscaping, parking and other amenities. The ability to control the streetscape would be enhanced due to the entire parcel being in the ownership of SunQuest Development LC with an owner's association which would require the common areas be maintained and developed in a consistent pattern. Access to this property is available on the west end next to Paul's Automotive, from Doral Dr, and an additional entrance will be requested from UDOT in the center of the parcel. A full size street will be built at that location to allow future development of the property north of this parcel currently utilized as the golf course in the event the golf course is unable to reach a sustainable level of revenue and another use is required. This street would also allow access to this parcel to the west as well as to the east side. Development of the buildings would be in phases beginning at the west end and proceeding east as the market demands. The Business Park zone allows a variety of uses within the area, which will bring much higher potential of utilizing the property in a profitable manner and in a way which will provide an attractive area for the neighbors near the property.


Michael E. McBride,

Manager, SunQuest Development LC.





151,200 Ft² TOTAL

PAUL'S AUTO

DRIVE WAY

105' 30' 20' 26' 20' 20'

4200 Ft²

4200 Ft²

4200 Ft²

107'

120' TYP

30'

DRIVEWAY

25,200 Ft²

BERM LANDSCAPE

SEWER

SCALE 1" = 40'

75 PARKING STALLS



CITY COUNCIL AGENDA

July 28, 2015

Agenda Item #5

General Plan from Neighborhood Service to Professional Office Rezone from R-1 Residential to Professional Office 1373 S 2000 W

Factual Summation

Please review the following information. Any questions regarding this agenda item may be directed at Jenny Schow, Planner.

Subdivision Name:	To be determined
Location:	1373 S 2000 W
General Plan:	Neighborhood Services
Requested General Plan:	Professional Office
Current Zone:	R-1 Residential
Requested Zone:	Professional Office
Total Area:	0.33 acres

Attachments:

- Aerial
- General Plan Map
- Zoning Map
- Concept Site Plan
- Public Notice Letter

Summary:

The applicant has been fortunate to acquire additional land adjacent to his and has applied to amend the general plan and zoning to match his existing property. The applicant would like to build an assisted living center and has included a concept site plan.

Planning Commission Recommendation

The Planning Commission moved to recommend approval to the City Council of the General Plan change from Neighborhood Service to Professional Office and Rezone from R-1 Residential to Professional Office, Erik Craythorne, property located at approximately 1373 S 2000 W, subject to all applicable requirements of the City's municipal codes and City staff reviews with a unanimous vote on July 21, 2015.

ORDINANCE NO. 15-17

AN ORDINANCE AMENDING THE EXISTING ZONING MAP OF TITLE X, "SYRACUSE CITY ZONING ORDINANCE", REVISED ORDINANCES OF SYRACUSE, 1971, BY CHANGING FROM (R-1) RESIDENTIAL ZONE TO (PO) PROFESSIONAL OFFICE ZONE ON THE PARCEL(S) OF REAL PROPERTY HEREIN DESCRIBED.

WHEREAS, the City has adopted a Zoning Ordinance to regulate land use and development within the corporate boundaries of the City; and

WHEREAS, Chapter Four of the Ordinance authorizes the City Council to amend the number, shape, boundaries, or any area of any zone; and

WHEREAS, a request for rezone has been made; the same has been recommended for approval by the Planning Commission; and a public hearing has been held with the proper notice having been given 10-days prior to the hearing date;

NOW, THEREFORE, BE IT ENACTED AND ORDAINED BY THE CITY COUNCIL OF SYRACUSE DAVIS COUNTY, STATE OF UTAH, AS FOLLOWS:

SECTION 1: That the following described real parcels of property in (R-1) Residential Zone as shown on a zoning map are hereby amended and changed to (PO) Professional Office Zone accordingly:

Beginning at a point on the east line of 2000 West Street, said point being South 0°09'42" West

996.20 feet along the section line and North 89°59'45" East 38.00 feet along the south line of The Cottages Phase 1Subdivision from the Northwest Corner of the Southwest Quarter of Section 10, Township 4 North, Range 2 West, Salt Lake Base and Meridian, and running;

Thence North 89°59'45" East 202.00 feet to a point on the west line of Lot 8 of The Cottages Phase 1Subdivision;

Thence South 0°09'42" West 60.00 feet along the west line to the Southwest Corner of Lot 8 of The Cottages Phase 1Subdivision;

Thence South 89°59'45" West 202.00 feet to the east line of 2000 West Street;

Thence North 0 °09'42" East 60.00 feet along the east line of 2000 West Street to the point of beginning.

Contains: 12,120 square feet, 0.278 acres

SECTION 2: Effective Date. This Ordinance shall become effective immediately upon publication or posting.

PASSED AND ADOPTED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, THIS 28th DAY OF JULY, 2015.

SYRACUSE CITY

ATTEST:

Cassie Z. Brown, City Recorder

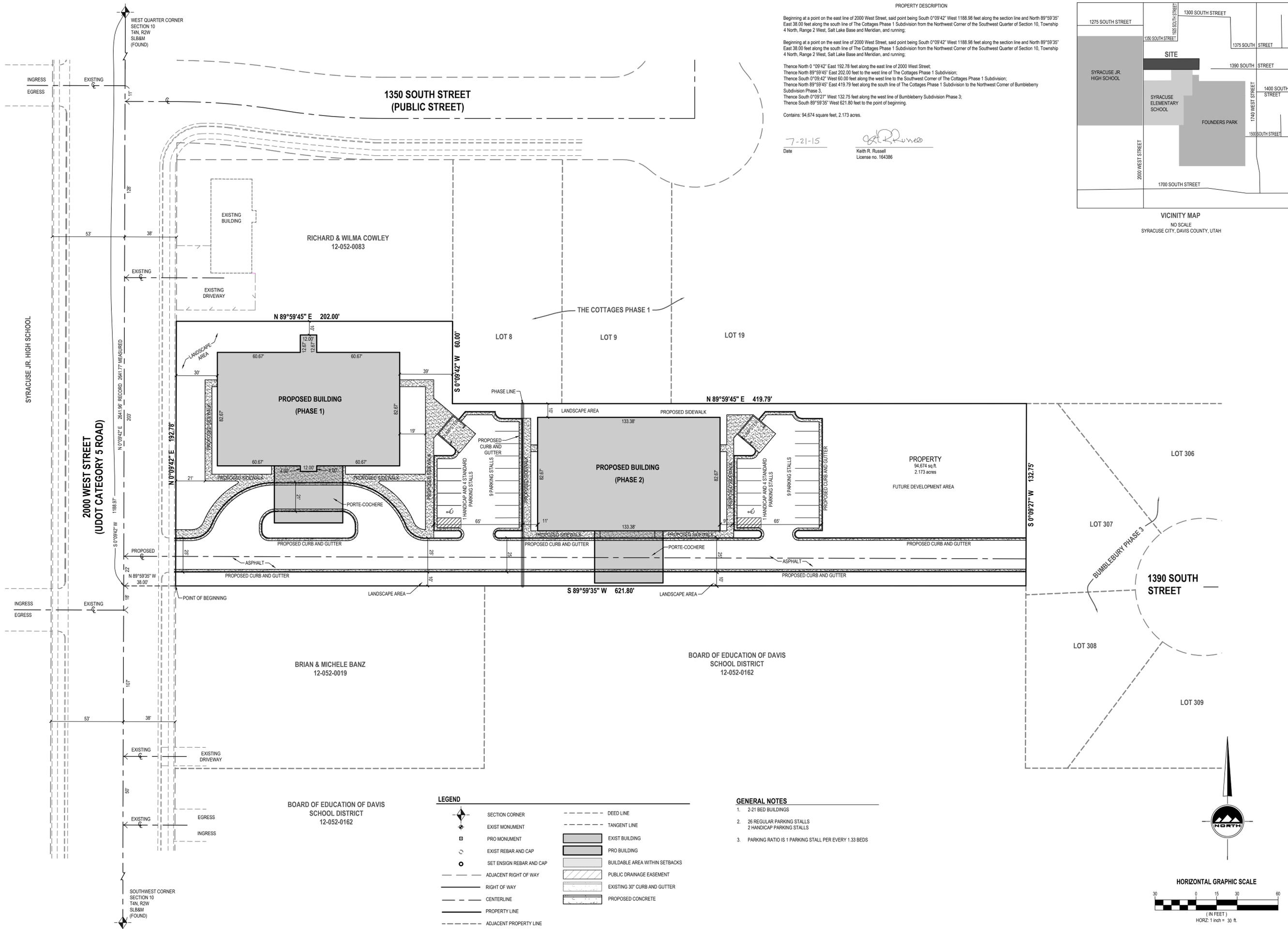
Mayor Terry Palmer

Voting by the City Council:

	“AYE”	“NAY”
Councilmember Peterson	_____	_____
Councilmember Lisonbee	_____	_____
Councilmember Duncan	_____	_____
Councilmember Johnson	_____	_____
Councilmember Gailey	_____	_____

Q-2 LLC 1373 S 2000 W





PROPERTY DESCRIPTION

Beginning at a point on the east line of 2000 West Street, said point being South 0°09'42" West 1188.98 feet along the section line and North 89°59'35" East 38.00 feet along the south line of The Cottages Phase 1 Subdivision from the Northwest Corner of the Southwest Quarter of Section 10, Township 4 North, Range 2 West, Salt Lake Base and Meridian, and running;

Beginning at a point on the east line of 2000 West Street, said point being South 0°09'42" West 1188.98 feet along the section line and North 89°59'35" East 38.00 feet along the south line of The Cottages Phase 1 Subdivision from the Northwest Corner of the Southwest Quarter of Section 10, Township 4 North, Range 2 West, Salt Lake Base and Meridian, and running;

Thence North 0°09'42" East 192.78 feet along the east line of 2000 West Street;

Thence North 89°59'45" East 202.00 feet to the west line of The Cottages Phase 1 Subdivision;

Thence South 0°09'42" West 60.00 feet along the west line to the Southwest Corner of The Cottages Phase 1 Subdivision;

Thence North 89°59'45" East 419.79 feet along the south line of The Cottages Phase 1 Subdivision to the Northwest Corner of Bumbleberry Subdivision Phase 3;

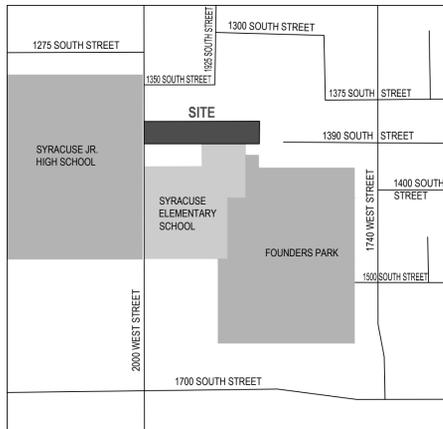
Thence South 0°09'27" West 132.75 feet along the west line of Bumbleberry Subdivision Phase 3;

Thence South 89°59'35" West 621.80 feet to the point of beginning.

Contains: 94,674 square feet, 2.173 acres.

7-21-15
Date

Keith R. Russell
Keith R. Russell
License no. 164386



VICINITY MAP
NO SCALE
SYRACUSE CITY, DAVIS COUNTY, UTAH

ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
1485 W. Hill Field Rd., Ste. 204
Layton, UT 84041
Phone: 801.547.1100

SALT LAKE CITY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
CRAYTHORNE CONSTRUCTION
601 West 1700 South
SYRACUSE, UTAH

CONTACT:
ERIC CRAYTHORNE
PHONE: 801-776-4962

PROPOSED ASSISTED LIVING FACILITY

1403 SOUTH 2000 WEST
SYRACUSE, UTAH



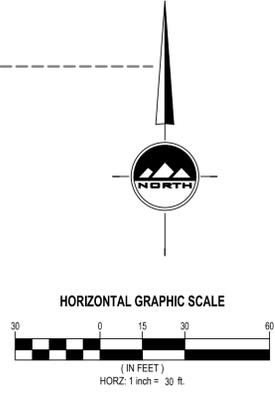
CONCEPT PLAN

PROJECT NUMBER: L2292
PRINT DATE: 7/21/15
DRAWN BY: A.SHELLEY
CHECKED BY: K.RUSSELL
PROJECT MANAGER: K.RUSSELL

LEGEND

	SECTION CORNER		DEED LINE
	EXIST MONUMENT		TANGENT LINE
	PRO MONUMENT		EXIST BUILDING
	EXIST REBAR AND CAP		PRO BUILDING
	SET ENSIGN REBAR AND CAP		BUILDABLE AREA WITHIN SETBACKS
	ADJACENT RIGHT OF WAY		PUBLIC DRAINAGE EASEMENT
	RIGHT OF WAY		EXISTING 30" CURB AND GUTTER
	CENTERLINE		PROPOSED CONCRETE
	PROPERTY LINE		
	ADJACENT PROPERTY LINE		

- GENERAL NOTES**
- 2-21 BED BUILDINGS
 - 26 REGULAR PARKING STALLS
2 HANDICAP PARKING STALLS
 - PARKING RATIO IS 1 PARKING STALL PER EVERY 1.33 BEDS





Mayor
Terry Palmer

City Council
Brian Duncan
Mike Gailey
Craig Johnson
Karianne Lisonbee
Douglas Peterson

City Manager
Brody Bovero

July 10, 2015

The City has received a General Plan and Rezone request for the Professional Office Zone, requested by Erik Craythorne, property located approximately 1373 S 2000 W. The Planning Commission will consider this request in their regular meeting, beginning at 6 p.m., in the City Hall Council Chambers on **July 21 2015**.

In accordance with Syracuse City Land Use Ordinance 10-4-050(C), we are providing you notice of this request as a land owner within a 300-foot radius of the subject property. This is a Public Hearing, and you are welcome to attend and provide comments regarding this request, if you so desire, or submit them in writing to the email or mailing address below.

If you are uncertain as to the impact or ramifications of this proposal and would like more information; please feel free to call or stop in during regular business hours, between 8 a.m. and 5 p.m., Monday through Friday.

Respectfully,

Syracuse City

Community Development Department
Phone and/or Fax: 801-614-9632
Email: jschow@syracuseut.com

js

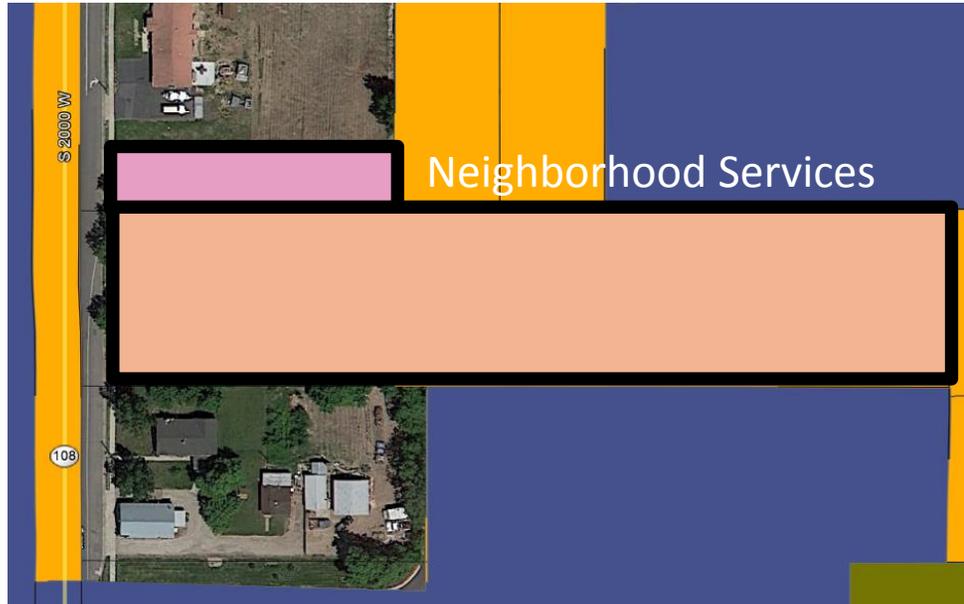


General Plan Request Q-2 LLC 1373 S 2000 W



Existing General Plan Map

General Plan Request



- | | |
|--|--|
|  Agriculture A-1 |  Commercial II |
|  R-1 (2.90 dwellings per net acre) |  General Commercial Zone |
|  R-2 (3.79 dwellings per net acre) |  Industrial Zone |
|  R-3 (5.44 dwellings per net acre) |  Town Center Overlay Zone |
|  PRD (8.0 dwellings per net acre) |  Sensitive Overlay Zone |
|  R-4 (14.52 dwellings per net acre) |  RDA & EDA Boundary |
|  Professional Office | |



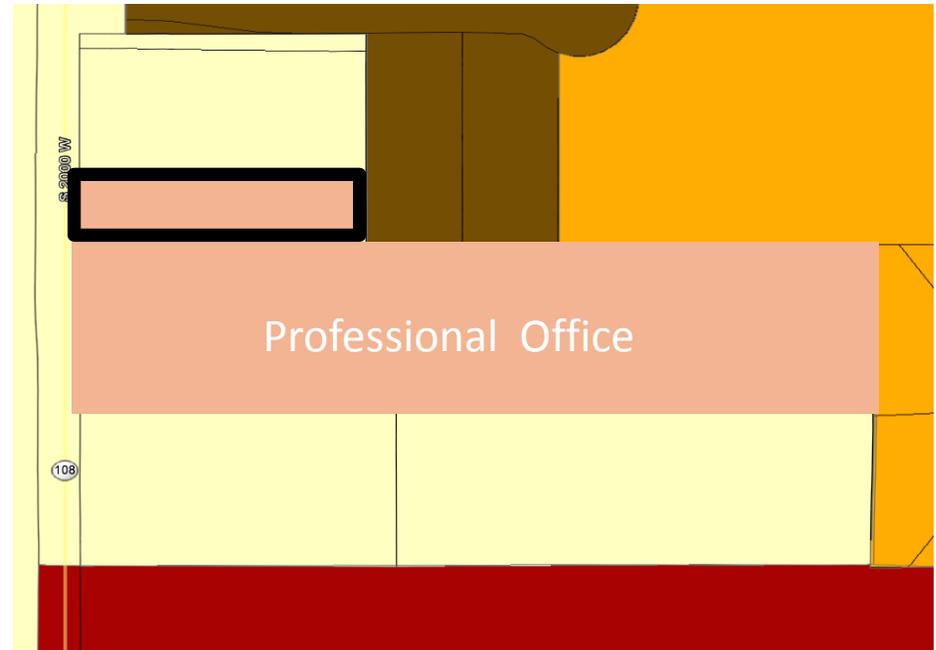
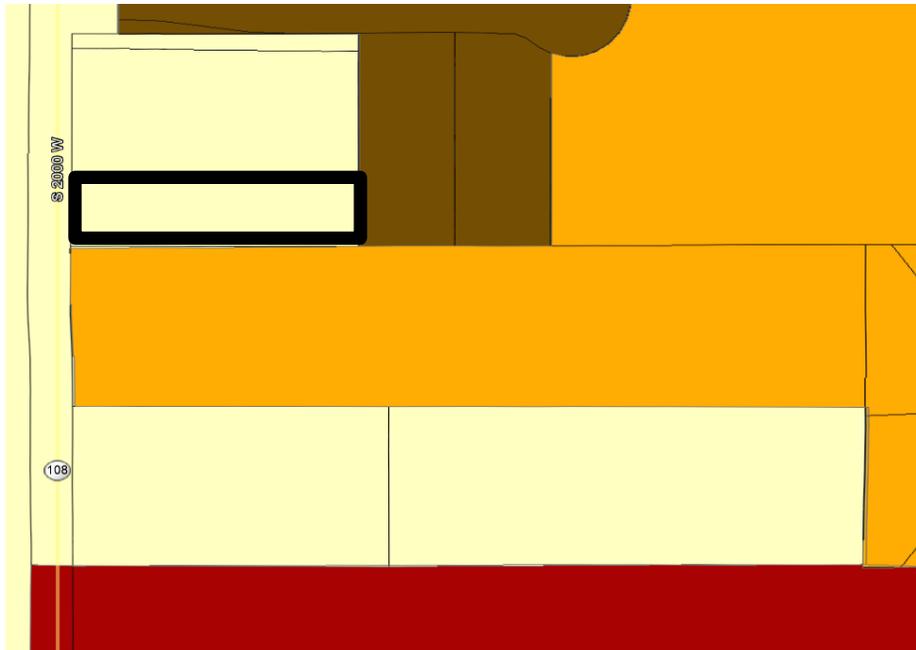
Rezone Request

1373 S 2000 W



Existing Zoning Map

Proposed Zoning Request



- | | | | |
|---|------------------------------------|---|--------------------------|
|  | Agriculture A-1 |  | Neighborhood Services |
|  | R-1 (2.90 dwellings per net acre) |  | General Commercial Zone |
|  | R-2 (3.79 dwellings per net acre) |  | Industrial Zone |
|  | R-3 (5.44 dwellings per net acre) |  | Town Center Overlay Zone |
|  | PRD (8.0 dwellings per net acre) |  | Sensitive Overlay Zone |
|  | R-4 (14.52 dwellings per net acre) |  | RDA & EDA Boundary |
|  | Professional Office | | |



CITY COUNCIL AGENDA

July 28, 2015

Agenda Item #6

General Plan from Neighborhood Service to Professional Office Rezone from R-1 Residential to Professional Office 1373 S 2000 W

Factual Summation

Please review the following information. Any questions regarding this agenda item may be directed at Jenny Schow, Planner.

Subdivision Name:	To be determined
Location:	1373 S 2000 W
General Plan:	Neighborhood Services
Requested General Plan:	Professional Office
Current Zone:	R-1 Residential
Requested Zone:	Professional Office
Total Area:	0.33 acres

Attachments:

- Aerial
- General Plan Map
- Zoning Map
- Concept Site Plan
- Public Notice Letter

Summary:

The applicant has been fortunate to acquire additional land adjacent to his and has applied to amend the general plan and zoning to match his existing property. The applicant would like to build an assisted living center and has included a concept site plan.

Planning Commission Recommendation

The Planning Commission moved to recommend approval to the City Council of the General Plan change from Neighborhood Service to Professional Office and Rezone from R-1 Residential to Professional Office, Erik Craythorne, property located at approximately 1373 S 2000 W, subject to all applicable requirements of the City's municipal codes and City staff reviews with a unanimous vote on July 21, 2015.

RESOLUTION R15-25

A RESOLUTION OF THE SYRACUSE CITY COUNCIL AMENDING THE SYRACUSE CITY GENERAL PLAN LAND USE MAP ADOPTED IN 1976, AS AMENDED.

WHEREAS, in 1967 a Syracuse Preliminary Master Plan was prepared for the Syracuse Planning Commission as a part of the Davis County Master Plan Program, said preliminary plan being prepared by R. Clay Allred and Associates, Planning Consultants; and

WHEREAS, in 1976 a Comprehensive Plan for Syracuse was prepared by the Davis County Planning Commission with assistance of Architects/Planners Alliance Planning Consultants and Wayne T. Van Wagoner and Associates, Traffic and Transportation Consultants which plan was financially aided by a grant from the Department of Housing and Urban Development through the Utah State Department of Community Affairs; and

WHEREAS, the 1976 Comprehensive Plan was amended in 1988 and the title changed to the Syracuse City Master Plan; and

WHEREAS, The Syracuse City General Plan was again amended in 1996, 1999, 2003, 2006, 2009, 2011, 2012, 2013, and 2014 to incorporate appropriate and necessary changes to the General Plan as approved at that time; and

WHEREAS, the Syracuse City Planning Commission adopted a process in 2012, where an applicant may apply for a Syracuse City General Plan update outside of the traditional district review; and

WHEREAS, public hearings have been held by the Planning Commission to receive public input regarding proposed changes; and

WHEREAS, the Planning Commission has recommended approval of the proposed amendments to the General Plan concluding that the proposed amendments provide development objectives with respect to the most desirable use of land within the City for subject property which benefit the physical, social, economic, and governmental development of the City and to promote the general welfare and prosperity of its residents;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, AS FOLLOWS:

Section 1. Adoption. That the proposed amendments to the Syracuse City General Plan Land Use Map, attached hereto as Exhibit A, are hereby adopted and any ordinances or resolutions in conflict herewith are hereby repealed to the extent of such conflict.

Section 2. Severability. If any section, part or provision of this Resolution is held invalid or unenforceable, such invalidity or unenforceability shall not affect any other portion of this Resolution, and all sections, parts and provisions of this Resolution shall be severable.

Section 3. No Repeal. This Resolution is not intended and shall not be construed as a repealer of any previously adopted ordinance or resolution and is specifically intended to clarify and supplement existing City ordinances, rules and regulations.

Section 4. Effective Date. This Resolution shall become effective immediately upon its passage.

PASSED AND ADOPTED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, THIS 28th DAY OF JULY, 2015.

SYRACUSE CITY

ATTEST:

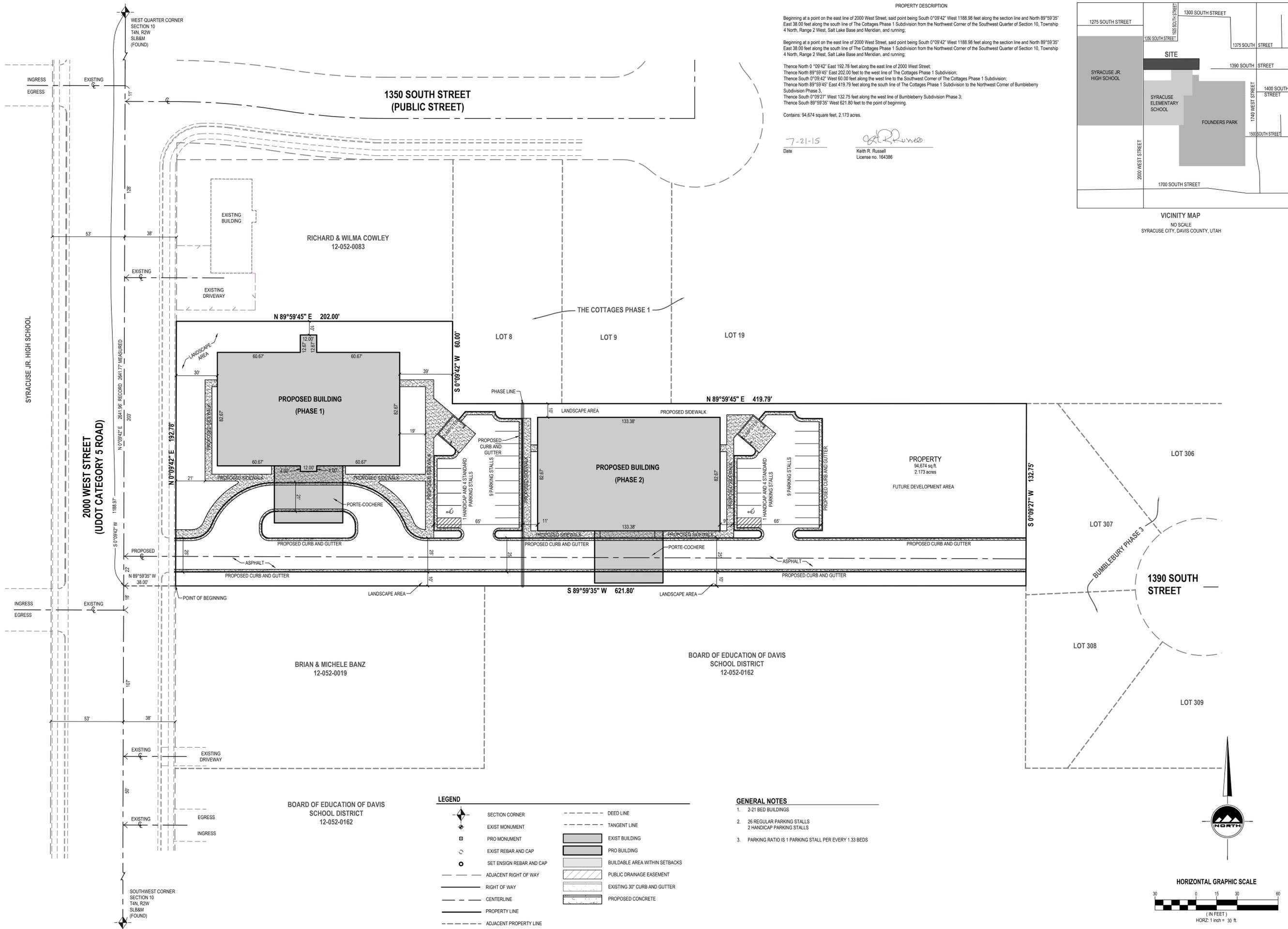
Cassie Z. Brown, CMC
City Recorder

By: _____
Terry Palmer
Mayor

EXHIBIT “A”

Q-2 LLC 1373 S 2000 W





PROPERTY DESCRIPTION

Beginning at a point on the east line of 2000 West Street, said point being South 0°09'42" West 1188.98 feet along the section line and North 89°59'35" East 38.00 feet along the south line of The Cottages Phase 1 Subdivision from the Northwest Corner of the Southwest Quarter of Section 10, Township 4 North, Range 2 West, Salt Lake Base and Meridian, and running;

Beginning at a point on the east line of 2000 West Street, said point being South 0°09'42" West 1188.98 feet along the section line and North 89°59'35" East 38.00 feet along the south line of The Cottages Phase 1 Subdivision from the Northwest Corner of the Southwest Quarter of Section 10, Township 4 North, Range 2 West, Salt Lake Base and Meridian, and running;

Thence North 0°09'42" East 192.78 feet along the east line of 2000 West Street;

Thence North 89°59'45" East 202.00 feet to the west line of The Cottages Phase 1 Subdivision;

Thence South 0°09'42" West 60.00 feet along the west line to the Southwest Corner of The Cottages Phase 1 Subdivision;

Thence North 89°59'45" East 419.79 feet along the south line of The Cottages Phase 1 Subdivision to the Northwest Corner of Bumbleberry Subdivision Phase 3;

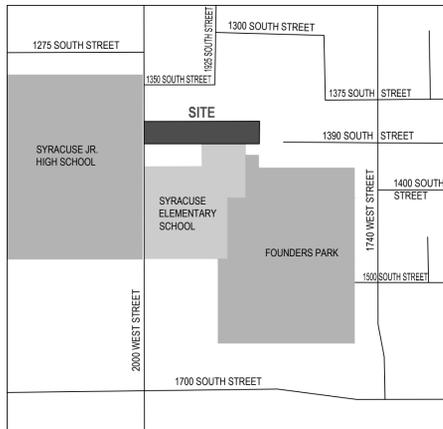
Thence South 0°09'27" West 132.75 feet along the west line of Bumbleberry Subdivision Phase 3;

Thence South 89°59'35" West 621.80 feet to the point of beginning.

Contains: 94,674 square feet, 2.173 acres.

7-21-15
Date

Keith R. Russell
Keith R. Russell
License no. 164386



VICINITY MAP
NO SCALE
SYRACUSE CITY, DAVIS COUNTY, UTAH

ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
1485 W. Hill Field Rd., Ste. 204
Layton, UT 84041
Phone: 801.547.1100

SALT LAKE CITY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
CRAYTHORNE CONSTRUCTION
601 West 1700 South
SYRACUSE, UTAH

CONTACT:
ERIC CRAYTHORNE
PHONE: 801-776-4962

PROPOSED ASSISTED LIVING FACILITY

1403 SOUTH 2000 WEST
SYRACUSE, UTAH



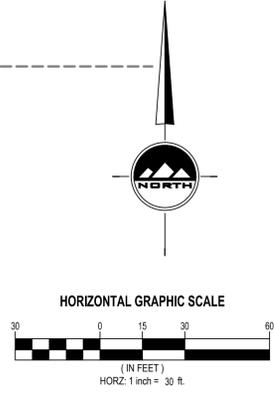
CONCEPT PLAN

PROJECT NUMBER: L2292
PRINT DATE: 7/21/15
DRAWN BY: A.SHELLEY
CHECKED BY: K.RUSSELL
PROJECT MANAGER: K.RUSSELL

LEGEND

	SECTION CORNER		DEED LINE
	EXIST MONUMENT		TANGENT LINE
	PRO MONUMENT		EXIST BUILDING
	EXIST REBAR AND CAP		PRO BUILDING
	SET ENSIGN REBAR AND CAP		BUILDABLE AREA WITHIN SETBACKS
	ADJACENT RIGHT OF WAY		PUBLIC DRAINAGE EASEMENT
	RIGHT OF WAY		EXISTING 30" CURB AND GUTTER
	CENTERLINE		PROPOSED CONCRETE
	PROPERTY LINE		
	ADJACENT PROPERTY LINE		

- GENERAL NOTES**
- 2-21 BED BUILDINGS
 - 26 REGULAR PARKING STALLS
2 HANDICAP PARKING STALLS
 - PARKING RATIO IS 1 PARKING STALL PER EVERY 1.33 BEDS





Mayor
Terry Palmer

City Council
Brian Duncan
Mike Gailey
Craig Johnson
Karianne Lisonbee
Douglas Peterson

City Manager
Brody Bovero

July 10, 2015

The City has received a General Plan and Rezone request for the Professional Office Zone, requested by Erik Craythorne, property located approximately 1373 S 2000 W. The Planning Commission will consider this request in their regular meeting, beginning at 6 p.m., in the City Hall Council Chambers on **July 21 2015**.

In accordance with Syracuse City Land Use Ordinance 10-4-050(C), we are providing you notice of this request as a land owner within a 300-foot radius of the subject property. This is a Public Hearing, and you are welcome to attend and provide comments regarding this request, if you so desire, or submit them in writing to the email or mailing address below.

If you are uncertain as to the impact or ramifications of this proposal and would like more information; please feel free to call or stop in during regular business hours, between 8 a.m. and 5 p.m., Monday through Friday.

Respectfully,

Syracuse City

Community Development Department
Phone and/or Fax: 801-614-9632
Email: jschow@syracuseut.com

js

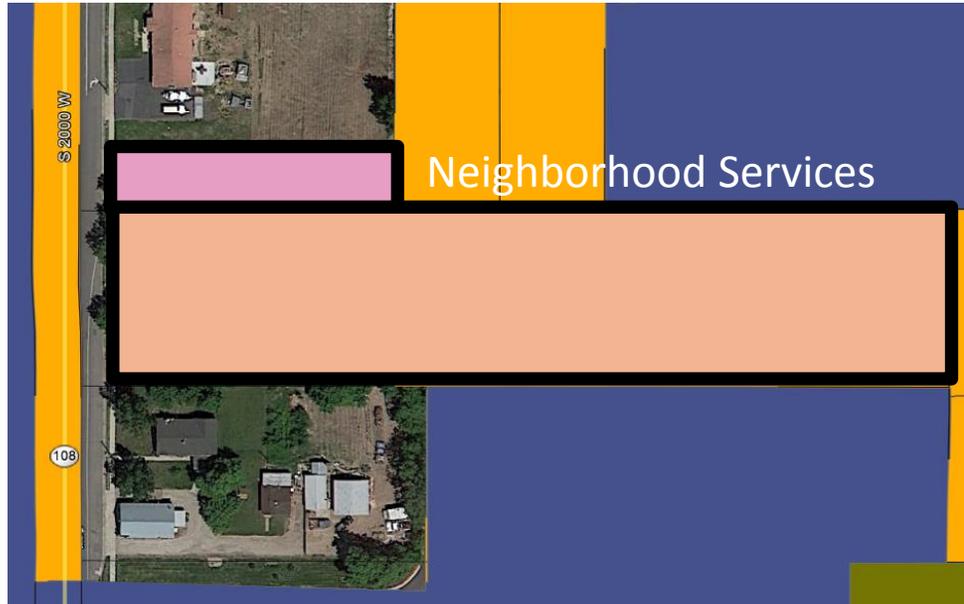


General Plan Request Q-2 LLC 1373 S 2000 W



Existing General Plan Map

General Plan Request



- | | |
|--|--|
|  Agriculture A-1 |  Commercial II |
|  R-1 (2.90 dwellings per net acre) |  General Commercial Zone |
|  R-2 (3.79 dwellings per net acre) |  Industrial Zone |
|  R-3 (5.44 dwellings per net acre) |  Town Center Overlay Zone |
|  PRD (8.0 dwellings per net acre) |  Sensitive Overlay Zone |
|  R-4 (14.52 dwellings per net acre) |  RDA & EDA Boundary |
|  Professional Office | |



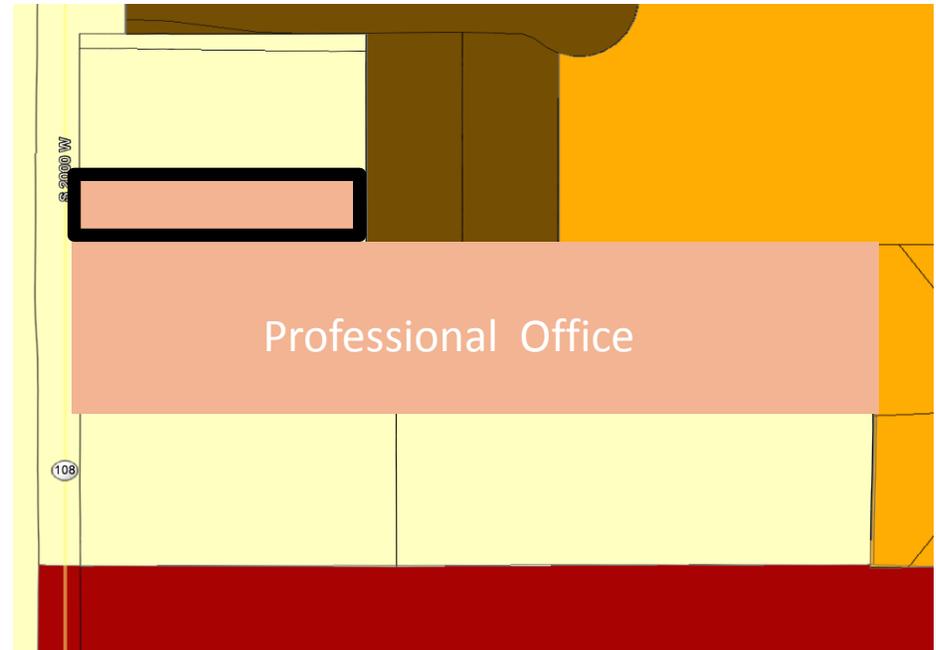
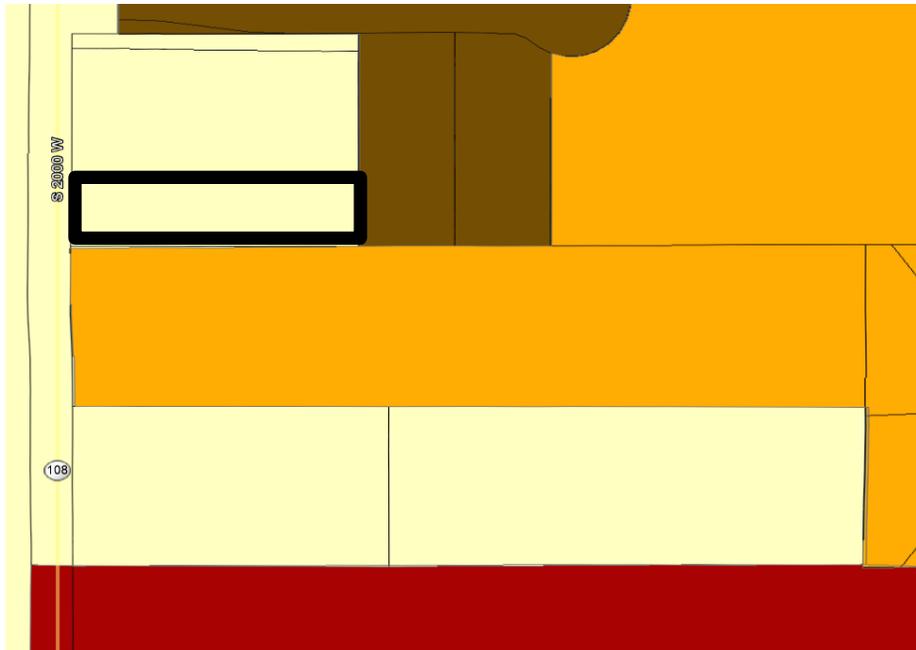
Rezone Request

1373 S 2000 W



Existing Zoning Map

Proposed Zoning Request



- | | | | |
|---|------------------------------------|---|--------------------------|
|  | Agriculture A-1 |  | Neighborhood Services |
|  | R-1 (2.90 dwellings per net acre) |  | General Commercial Zone |
|  | R-2 (3.79 dwellings per net acre) |  | Industrial Zone |
|  | R-3 (5.44 dwellings per net acre) |  | Town Center Overlay Zone |
|  | PRD (8.0 dwellings per net acre) |  | Sensitive Overlay Zone |
|  | R-4 (14.52 dwellings per net acre) |  | RDA & EDA Boundary |
|  | Professional Office | | |



CITY COUNCIL AGENDA

July 28, 2015

Agenda Item #7

Final Plan Report

Factual Summation

Syracuse City staff has conducted a final plan review of the Spring Haven Subdivision. Please review the following information. Any questions regarding this agenda item may be directed at Jenny Schow, City Planner.

Subdivision Name:	Spring Haven
Location:	1840 S 3475 W
Current Zoning:	R-1 Residential
Total Area:	3.1 Acres
Net Developable Acres:	2.48 acres
Density Allowed:	7 lots
Density Requested:	7 lots

Public Meeting Outline

Concept Plan Review	May 6, 2014
Concept Plan Report PC	May 19, 2015
Concept Plan Report CC	May 26, 2015
Preliminary Plan PC	June 2, 2015
Preliminary Plan CC	June 9, 2015
Final Plan PC	July 21, 2015

Attachments

- Aerial
- Final Plan
- Staff Reviews

Planning Commission Recommendation

The Planning Commission moved to recommend approval of the final subdivision plan for Spring Haven Estates located at approximately 1840 S 3475 W, R-1 Zone, subject to all applicable requirements of the City's municipal codes and city staff reviews with a unanimous vote on July 21, 2015.



Spring Haven Estates Subdivision

3475 West & 1850 South

Engineer Final Plan Review

Completed by Brian Bloemen on July 13, 2015

Below are the engineering comments for the final plan review of the Spring Haven Estates Subdivision.

Plat:

1. Add a 20' irrigation easement along the easterly property line.
2. Add "Public Street".

Plans:

1. Install a fire hydrant instead of a blow off.
2. All culinary services must come off the mainline not the fire hydrant lead.

If you have any further comments or questions please feel free to contact me at 801-614-9630.

Sincerely,

Brian Bloemen, P.E.
City Engineer



TO: Community Development, Attention: Jenny Schow
FROM: Jo Hamblin, Fire Marshal
RE: Spring Haven Estates Final

DATE: July 6, 2015

I have reviewed the plan submitted on June 25, 2015 for the above referenced project. The Fire Prevention Division of this department has the following comments/concerns.

1. Fire hydrants and access roads shall be installed prior to construction of any buildings. All hydrants shall be placed with the 4 ½" connection facing the point of access for Fire Department Apparatus.
 - The cul-da-sac exceeds the maximum spacing for hydrants and an additional hydrant will need to be added. This was requested at preliminary and has not been met at time of review of the final plans.

These plans have been reviewed for Fire Department requirements only. Other departments must review these plans and will have their requirements. This review by the Fire Department must not be construed as final approval from Syracuse City.



SYRACUSE
EST. CITY 1935

Planner Final Subdivision Review

Subdivision: Spring Haven

Completed By: Jenny Schow, City Planner

Date: July 16, 2015

Updated:

8-6-10 Final Plat

Please review and amend the following items:

1. Include a typical set back diagram or list set backs on the plat.
2. Include "Public Street" with street label
3. Lot 6 is missing a length measurement
4. Include street monuments on the plat
5. Show current inset city map on plat

Items required for Preconstruction:

1. Construction Drawing Prints and PDF files
2. Schedule a preconstruction meeting
3. Bond estimate using the City template
4. Final Inspection Fees as calculated in the approved bond estimate
5. Offsite Improvement Agreement
6. BMP Facilities Maintenance Agreement (Parcel A)
7. Streetlight Agreement
8. SWPPP NOI
9. SWPPP City Permit
10. Fugitive Dust Control Plan

Items required for Recording:

1. Escrow Agreement
2. Water Shares
3. Title Report - must be updated within 30 days or recording
4. Recording fees: \$37/page +\$1/lot and any common space as well as \$1/land-owner signatures over two

SPRING HAVEN ESTATES

APPROX. 1840 SOUTH 3475 WEST
SYRACUSE, UTAH

GENERAL NOTES

- 1) ALL WORK SHALL CONFORM WITH SYRACUSE CITY STANDARDS & SPECIFICATIONS.
- 2) ALL WORK WITHIN UDOT RIGHT-OF-WAY SHALL CONFORM TO UDOT STANDARDS AND SPECIFICATIONS
- 3) CALL BLUESTAKES 48 HOURS PRIOR TO DIGGING.
- 4) BENCHMARK IS THE NORTH QUARTER CORNER OF SECTION 17, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN. ELEVATION = 4237.49
- 5) ALL CONSTRUCTION SHALL COMPLY WITH THE SYRACUSE CITY STANDARD PLANS.
- 6) CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING MANHOLES AND OTHER UTILITIES BEFORE BUILDING OR STAKING ANY UTILITY LINES.
- 7) ALL IRRIGATION VALVE COVERS SHOULD BE LABELED "IRRIGATION".

DEVELOPER

JOSH HUGHES
2353 WEST 2330 SOUTH
SYRACUSE, UTAH 84075
(801) 940-6057

ENGINEER / SURVEYOR

PINNACLE
Engineering & Land Surveying, Inc.

2720 North 350 West, Suite #108
Layton, UT 84041

Phone: (801) 773-1910
Fax: (801) 773-1925

DRAWING INDEX

- 1 COVER
- 2 NOTES & DETAILS
- 3 PLAT
- 4 SITE PLAN
- 5 3475 WEST PLAN & PROFILE STA 0+50 TO 4+50
- 6 SWPPP

TRAFFIC CONTROL & SAFETY NOTES

1. BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT STATE OF UTAH DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, AND THE CURRENT SYRACUSE CITY STANDARD DRAWING, AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO ANY WORK.
2. NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE CITY TRAFFIC ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
3. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
4. DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
5. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
6. TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

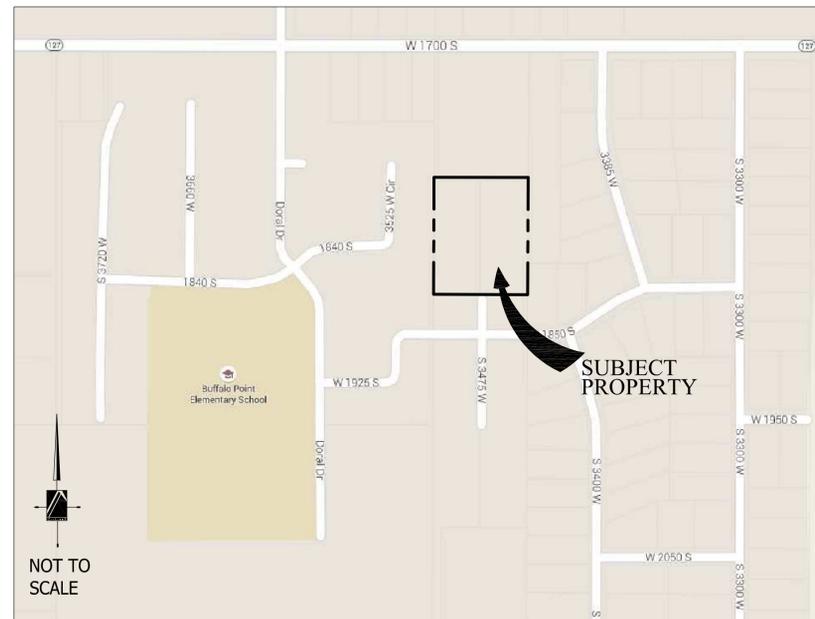
UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS: OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

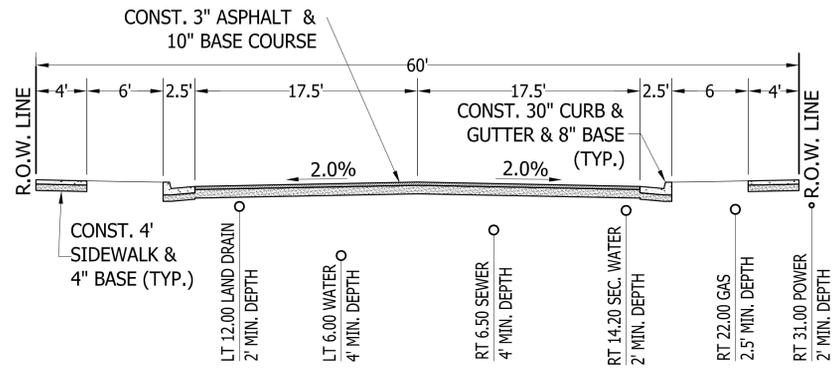


R1 CHANGED BLOWOFF TO FH 06/30/15
R2 REMOVED NEW CHAIN LINK FENCE 06/30/15
R3 ADDED 20' IRRIG EAST TO EAST LINE SD 07/17/15

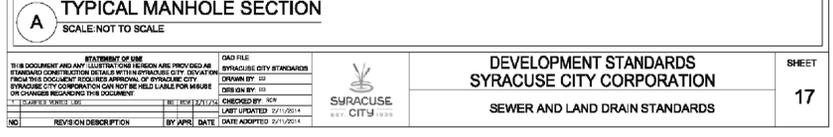
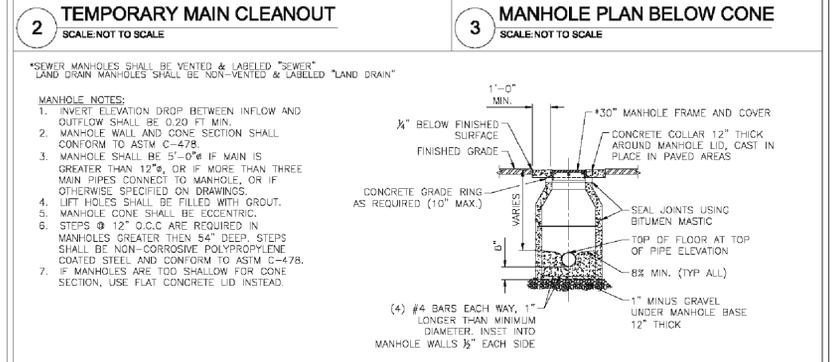
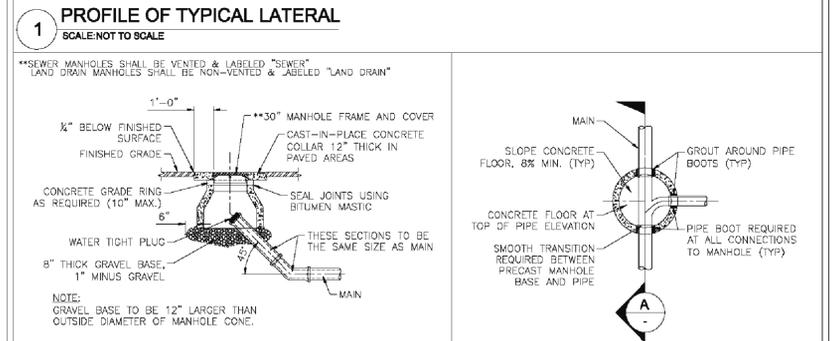
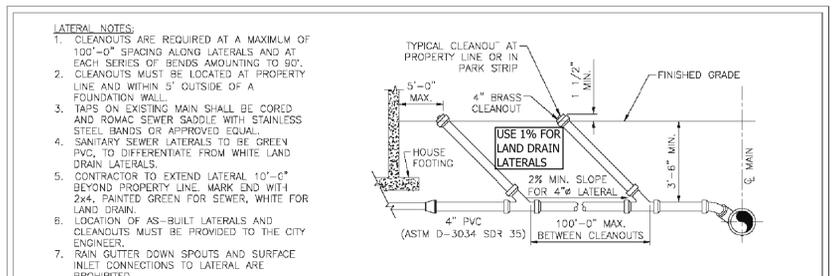
SPRING HAVEN ESTATES

GENERAL NOTES

- All work to conform to SYRACUSE CITY standards, drawings, and specifications.
- For landscaping see landscape plans.
- All existing manholes, water valves, clean outs, etc., will be to grade.
- No allowance will be made for discrepancies or omissions that can be easily observed. Contractor must verify all existing conditions before bidding, and bring up any questions beforehand.
- Full depth expansion joints will be placed against any object deemed to be fixed, changes in direction, and at equal intervals not to exceed 50 feet. Slabs-on-grade will be typically scored (1/2 the depth) at intervals not to exceed their width or 12 times their depth, whichever is less. Scoring will be placed to prevent random cracking.
- Concrete waterways, curb walls, curb and gutter, etc., will typically be scored (1/2 the depth) at intervals not to exceed 10 feet, and have full depth expansion joints that equal spacing not to exceed 50 feet.
- Unless otherwise noted, all Slabs-on-grade will have a minimum 8" turned-down edge to help control frost heave.
- Unless otherwise noted, all on-grade concrete will be placed on a minimum 4" gravel base over a well compacted (95% density) sub grade.
- All exposed surfaces will have a textured finish, rubbed, or broomed, any "plastering" of new concrete will be done while it is still "green".
- All joints (control joints, construction joints, expansion joints, etc.), will be sealed with a one part polyurethane sealant (see specification).
- Existing trees are to remain unless otherwise noted.
- Prior to starting construction, the contractor shall be responsible for making sure that all required permits and approvals have been obtained. No construction or fabrication shall begin until the contractor has received and thoroughly reviewed all plans and other documents approved by all of the permitting authorities.
- Site grading shall be performed in accordance with these plans and specifications and the recommendations set forth in the soils report. The contractor shall be responsible for removing and replacing all soft, yielding or unsuitable materials and replacing with suitable materials as specified in the soils report. All excavated or filled areas shall be compacted to 95% of modified proctor maximum density per ASTM Test D-1557 in 8 inch max lifts. Moisture content at time of placement shall not exceed 2% above nor 3% below optimum. Contractor shall submit a compaction report prepared by a qualified registered soils engineer, verifying that all filled areas and sub grade areas within the building pad area and areas to be paved, have been compacted in accordance with these plans and specs and the recommendations set forth in the soils report.
- The locations of underground facilities shown on these plans are based on field surveys and local utility company records. It shall be the contractor's full responsibility to contact the various utility companies to locate their facilities prior to proceeding with construction. No additional compensation shall be paid to the contractor for damage and repair to these facilities caused by his work force. Contractors must start at the low end of all gravity fed lines and work up hill. Failure to comply with this note will release the civil engineer of all liability.
- All dimensions, grades, and utility design shown on the plans shall be verified by the contractor prior to construction. Contractor shall notify the engineer if any discrepancies exist, prior to proceeding with construction for necessary plan or grade changes. No extra compensation shall be paid to the contractor for work having to be redone due to the dimensions or grades shown incorrectly on these plans, if such notification has not been given.
- All work shall be performed in accordance with the plans and specifications and the requirements and standards of SYRACUSE CITY. The soils report and recommendations set forth therein are a part of the required construction documents and in case of conflict, shall take precedence unless specifically noted otherwise on the plans. The contractor shall notify the engineer of any discrepancy between soils report and plans, etc.
- Site clearing shall include the location and removal of all underground tanks, pipes, valves, etc.
- All new valves, manholes, etc. shall be raised or lowered to grade as required. And installed with a minimum of a 6" concrete ring.
- Construct new buildings, sidewalks, curb walls, curb & gutter, ramps, retaining wall, etc., per design shown.
- Natural vegetation and soil cover shall not be disturbed prior to actual construction of a required facility or improvement. Mass clearing of the site in anticipation of construction shall be avoided. Construction traffic shall be limited to one approach to site. The approach shall be designated by the general manager.
- All new water construction to be done in accordance with SYRACUSE CITY standards and specifications.
- All new sanitary sewer construction to be done in accordance with SYRACUSE CITY standards and specifications.
- All new land drain construction to be done in accordance with SYRACUSE CITY standards and specifications.
- All new Secondary Water construction to be done in accordance with SYRACUSE CITY standards and specifications.
- All new Storm Drain construction to be done in accordance with SYRACUSE CITY standards and specifications.
- Contractor is to submit site plan to Questar Gas Co. for design of gas line service to building. Actual construction of service to be done by Questar Gas Company.
- For electric service, lighting, routing, etc. see electrical plans.
- All new pressurized irrigation shall be done in accordance with the current Pine View standards and specifications.
- Contractor to layout and pothole for all potential conflicts with utility lines on or off site as required prior to any construction.
- Contractor to loop new waterline around gravity utilities if conflict does occur. (Notify engineer of the problem).
- Contractor to notify SYRACUSE CITY and Pinnacle Engineering 48 hours prior to beginning any construction required for this project.
- All trench backfill shall meet 95% STD. Proctor Density in 8 inch lifts. Compaction tests shall be made by developer. Call back test shall be charged to the contractor.
- Contractor to review all design grades with any sub contractors to have a complete understanding as to whether or not the curb and gutter is inflow or release. (Notify engineer if there are questions).
- No change in design location or grade will be made by the contractor without the written approval of the SYRACUSE CITY engineer and the project engineer.
- All thrust blocks shall be poured in place against undisturbed soil as per specifications, all valves, fittings, and appurtenances to be blocked.
- Contractor shall be responsible for furnishing, maintaining, or restoring all monuments and monument reference marks within the project site. Contact the city or county surveyor for monument locations and construction details.
- Contractor shall provide a construction schedule in accordance with the city or county regulations for working in the public way.
- Contractor shall be responsible for dust control according to governing agents standards. Wet down dry materials and rubbish to prevent blowing.
- Existing main to remain in service until new main has been installed, tested, and all services have been reconnected.
- Contractor shall be responsible for any damage to adjacent surface improvements.
- Contractor shall be responsible for correcting any settlement of or damage to existing storm drains.
- All existing asphalt will be saw cut in neat straight lines by the contractor prior to excavation.
- The contractor shall place temporary street asphalt surfaces if the work is accomplished at a time when permanent asphalt surfacing material is not available. At the time permanent asphalt becomes available, the contractor shall furnish and place asphalt per SYRACUSE CITY or County standards. The contractor shall guarantee the asphalt restoration for period of two years from the date of completion.
- Contractor to furnish and place asphalt per permit requirements.
- Contractor to furnish and place a minimum base course thickness of 10 inches is required below asphalt paving (see plans for specific options).
- All concrete valve boxes will be poured in place against undisturbed soil and built with a ductile iron ring and cover positioned over the valve operating unit centered over the man way opening.
- The contractor is responsible to furnish all materials to complete the project.
- Traffic control to conform to the current city or county transportation engineer's manual.
- The contractor will verify depths of utilities in the field by pot holing a minimum of 300 feet ahead of pipeline construction to avoid conflicts with designed pipeline grade and alignment. If a conflict arises resulting from the contractor's negligence to pothole utilities the contractor will be required to resolve the conflict without additional cost or claim to the owner or engineer.
- All elevations are U.S.V.G.S. Datum.
- Contractor shall install invert covers in all sewer manholes in the project area.
- Contractor shall not allow any groundwater or debris to enter the new pipe during construction.
- Handicap Accessibility: All construction shall meet the ADA Handicap Accessibility Requirements. For any discrepancies between the plans and ADA requirements, ADA Requirements will govern.
- Striping: Striping will be per the plans and/or as directed by the owner's representative. Striping to include handicap insignias, signs, cross-hatching, direction arrows, etc. as shown or as directed.
- Contractor responsible for all field staking and layout work on project.
- Contractor to provide all utility trenching and conduits.
- Contractor to provide a 1 year warranty after all construction is complete.
- All topsoil removed from streets during construction shall be re-distributed behind the curb and gutter with no material being exported from the site.
- Culinary water services are to be 3/4" type K copper. See SYRACUSE CITY Standards & Specifications for Meter Box and Appurtenances. Water services shall be extended to the middle of the lot frontage to a point 10 feet beyond the back of sidewalk.
- Sanitary Sewer services are to be 4" PVC pipe. See SYRACUSE CITY Standards & Specifications for slope and cleanout requirements. Sewer services shall be extended 10 feet downstream from the water lateral along the lot frontage, to a point 10 feet beyond the back of sidewalk.
- Land Drain services are to be 4" white PVC pipe. See SYRACUSE CITY Standards and Specifications for slope and cleanout requirements. Land Drain laterals shall be extended to a point 10 feet upstream from the downstream lot line and 10 feet beyond the back of sidewalk.
- Secondary water single services shall be 1" poly, Secondary water double services shall be 1 1/2" poly with 1 1/2" X 1" X 1" tee to 1" poly. See SYRACUSE CITY Water standards and specifications. Secondary water laterals shall be extended to a point 1 foot beyond property line and 1 foot to 2 feet from property line unless otherwise directed by the SYRACUSE CITY Engineer.
- No lateral service of any kind shall cross lot lines other than lot frontages.
- Contractor shall connect any springs found on the site to the storm drain. Connection shall be a 4" perforated pvc pipe (minimum 1% slope) bedded in drain rock and wrapped in geofabric.
- Contractor shall fill swampy areas on the site with a minimum of 12" of native soil or granular fill.



TYPICAL STREET X-SECTION



REVISION	DATE	BY	DATE
R1	6/30/15	SPB	6/30/15
R2	6/30/15	SPB	6/30/15
R3			
R4			
R5			
R6			
R7			
R8			
R9			

DEVELOPMENT STANDARDS
SYRACUSE CITY CORPORATION
SEWER AND LAND DRAIN STANDARDS

SHEET
17

PINNACLE
Engineering & Land Surveying, Inc.
Layton • West Bountiful • Mount Pleasant • St. George
2770 North 350 West, Suite #108
Layton, UT 84041
Phone: (801) 773-1910
Fax: (801) 773-1925

SPRING HAVEN ESTATES
NOTES AND DETAILS
FOR: JOSH HUGHES
~1840 SOUTH 3475 WEST
SYRACUSE, UT
15-018

STEPHEN P. BOTT
LICENSED PROFESSIONAL ENGINEER
BOE 1115
UTAH

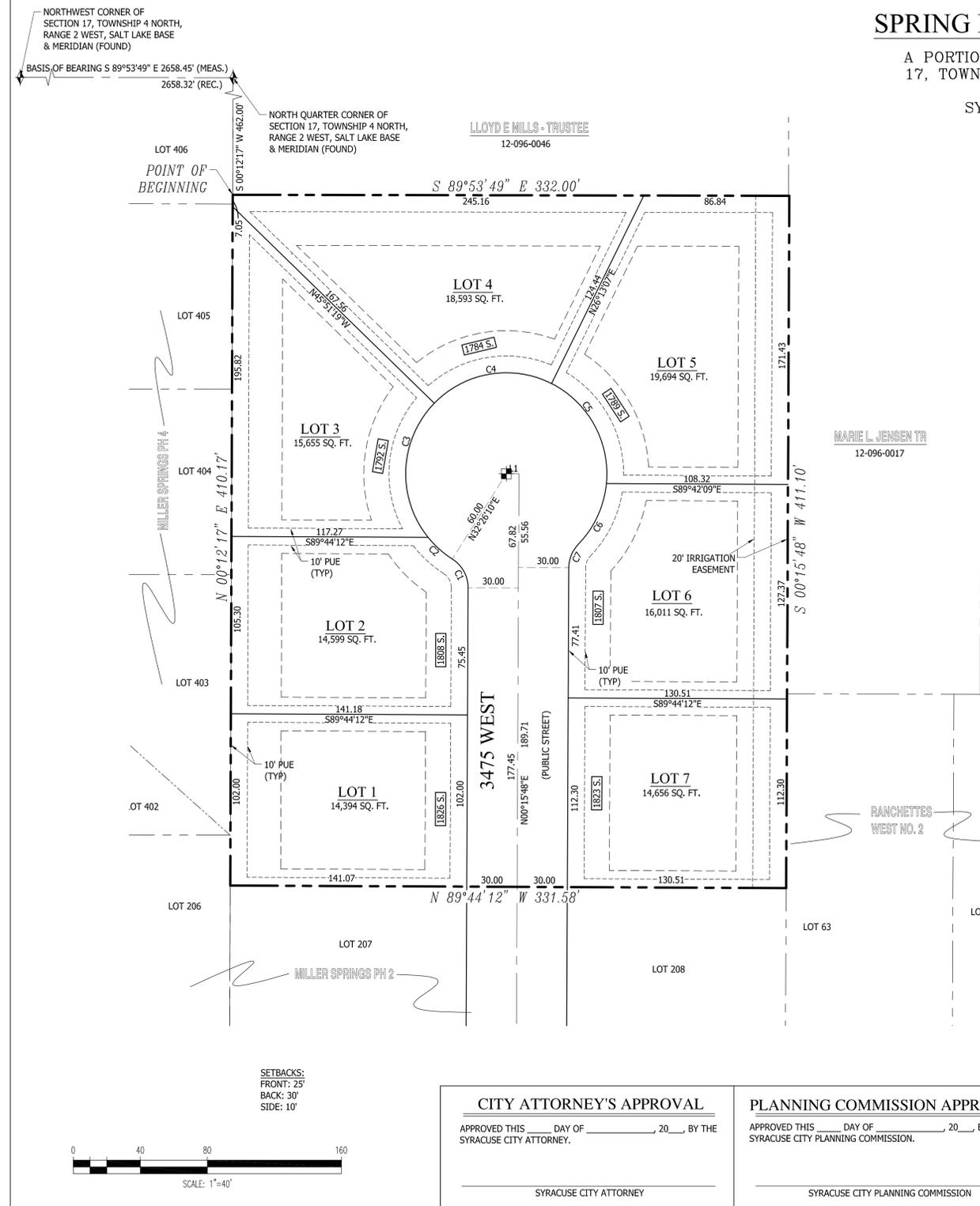
REVISION	DATE	BY	DATE
R1	04/20/15	JF/KM	04/20/15
R2	05/20/15	SD/SB	05/20/15
R3	06/10/15	SB/SD	06/10/15
R4	06/20/15	SJF	06/20/15

CALL BLUESTAKES
1-800-662-4111
AT LEAST 48 HOURS BEFORE DIGGING

SHEET
2
OF 6

SPRING HAVEN ESTATES SUBDIVISION

A PORTION OF THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, SYRACUSE CITY, DAVIS COUNTY, UTAH



LINE	LENGTH	BEARING
L1	7.56	S89°44'12"E

CURVE	LENGTH	RADIUS	DELTA	CHORD BRG	CHORD
C1	20.23	20.00	57°57'41"	N28°43'02"W	19.38
C2	19.59	60.00	18°42'21"	S48°20'42"E	19.50
C3	87.21	60.00	83°16'47"	S02°38'52"W	79.73
C4	75.89	60.00	72°27'57"	S80°31'14"W	70.93
C5	72.04	60.00	68°47'49"	N28°50'53"W	67.79
C6	40.53	60.00	38°41'56"	N24°54'00"E	39.76
C7	15.35	20.00	43°59'10"	S22°15'23"W	14.98



- LEGEND**
- PROPERTY LINE
 - LOT LINE
 - CENTER / SECTION LINE
 - STREET RIGHT-OF-WAY LINE
 - EASEMENT LINE
 - ADJACENT PROPERTY LINE
 - ⊕ NEW CENTERLINE MONUMENT
 - ⚡ SECTION CORNER
 - PUR&DE PUBLIC UTILITY & DRAINAGE EASEMENT
 - SET 5/8" REBAR WITH AN ORANGE PLASTIC CAP, OR NAIL & WASHER STAMPED PINNACLE 191517

UTILITY COMPANY APPROVAL

ROCKY MOUNTAIN POWER _____ DATE _____

QUESTAR GAS _____ DATE _____

CENTURYLINK _____ DATE _____

CITY ATTORNEY'S APPROVAL

APPROVED THIS _____ DAY OF _____, 20____, BY THE SYRACUSE CITY ATTORNEY.

SYRACUSE CITY ATTORNEY

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, 20____, BY THE SYRACUSE CITY PLANNING COMMISSION.

SYRACUSE CITY PLANNING COMMISSION

CITY ENGINEER'S APPROVAL

APPROVED THIS _____ DAY OF _____, 20____, BY THE SYRACUSE CITY ENGINEER.

SYRACUSE CITY ENGINEER

CITY COUNCIL APPROVAL

APPROVED THIS _____ DAY OF _____, 20____, BY THE SYRACUSE CITY COUNCIL.

ATTEST:

SYRACUSE CITY RECORDER

SYRACUSE CITY MAYOR

SURVEYOR'S CERTIFICATE

I, STEPHEN J. FACKRELL DO HEREBY CERTIFY THAT I AM A LICENSED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 191517 AS PRESCRIBED UNDER LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, HEREAFTER TO BE KNOWN AS: SPRING HAVEN ESTATES SUBDIVISION AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT ALL LOTS MEET FRONTAGE WIDTH AND AREA REQUIREMENTS OF THE APPLICABLE ZONING ORDINANCES.

BOUNDARY DESCRIPTION

BEGINNING AT A POINT ON THE EAST LINE OF MILLER SPRINGS SUBDIVISION PHASE 4, AS RECORDED WITH THE DAVIS COUNTY RECORDER, SAID POINT BEING LOCATED SOUTH 00°12'17" WEST ALONG SECTION LINE 462.00 FEET FROM THE NORTH QUARTER CORNER OF SECTION 17, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN; AND RUNNING THENCE SOUTH 89°53'49" EAST 332.00 FEET; THENCE SOUTH 00°15'48" WEST TO AND ALONG A WEST LINE OF RANCHETTES WEST NO. 2, AS RECORDED WITH THE DAVIS COUNTY RECORDER, 411.10 FEET TO THE NORTHEAST CORNER OF LOT 208, MILLER SPRINGS SUBDIVISION PHASE 2, AS RECORDED WITH THE DAVIS COUNTY RECORDER; THENCE NORTH 89°44'12" WEST ALONG THE NORTH LINE OF SAID SUBDIVISION 331.58 FEET; THENCE NORTH 00°12'17" EAST ALONG THE EASTERLY LINES OF SAID PHASE 2 AND PHASE 4 410.17 FEET TO THE POINT OF BEGINNING.

CONTAINS: 136,243 SQ. FT. / 3.13 AC.

DATE _____ STEPHEN J. FACKRELL
LICENSE NO. 191517

OWNER'S DEDICATION

I, THE UNDERSIGNED OWNER OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THIS PLAT, HEREAFTER KNOWN AS SPRING HAVEN ESTATES SUBDIVISION, DO HEREBY DEDICATE, GRANT AND CONVEY FOR PERPETUAL USE OF THE PUBLIC ALL PUBLIC STREETS AND PUBLIC UTILITY AND DRAINAGE EASEMENTS AS SHOWN HEREON TO SYRACUSE CITY.

IN WITNESS WHEREOF _____ HAVE HEREUNTO SET _____ THIS _____ DAY OF _____ A.D. 20____.

ACKNOWLEDGMENT

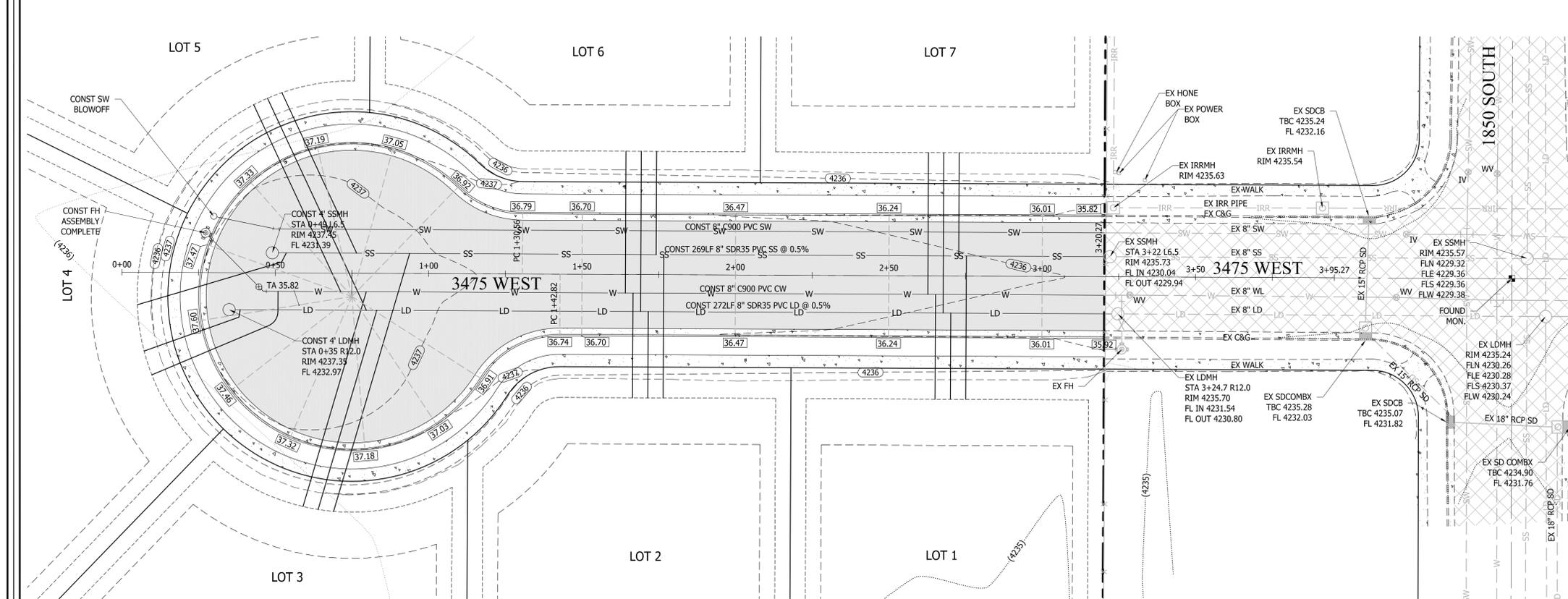
STATE OF UTAH)
COUNTY OF DAVIS)

ON THE _____ DAY OF _____ A.D., 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF DAVIS IN SAID STATE OF UTAH, THE SIGNER () OF THE ABOVE OWNER'S DEDICATION, ___ IN NUMBER, WHO DULY ACKNOWLEDGED TO ME THAT _____ SIGNED IT FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC
RESIDING IN DAVIS COUNTY

SPRING HAVEN ESTATES SUBDIVISION
A PORTION OF THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, SYRACUSE CITY, DAVIS COUNTY, UTAH

 2720 North 350 West, Suite #108 LAYTON, UT 84041 Phone: (801) 773-1910 Fax: (801) 773-1925	DAVIS COUNTY RECORDER ENTRY NO. _____ FEE PAID _____ FILED FOR RECORD AND RECORDED THIS _____ DAY OF _____, 20____ AT _____ IN BOOK _____ OF OFFICIAL RECORDS PAGE _____
	_____ DAVIS COUNTY RECORDER BY _____ DEPUTY RECORDER



GENERAL NOTES

CONTRACTOR SHALL OBTAIN A COPY OF, AND STRICTLY ADHERE TO THE CURRENT STANDARDS AND SPECIFICATIONS OF ALL APPLICABLE AGENCIES.

THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.

PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.

ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

CONTRACTORS MUST START AT THE LOW END OF ALL GRAVITY FED LINES AND WORK UP HILL. FAILURE TO COMPLY WITH THIS NOTE SHALL RELEASE THE CIVIL ENGINEER OF ALL LIABILITY.

CONTRACTOR SHALL LAYOUT AND POTHOLE FOR ALL POTENTIAL CONFLICTS WITH UTILITY LINES ON OR OFF SITE AS REQUIRED PRIOR TO ANY CONSTRUCTION.

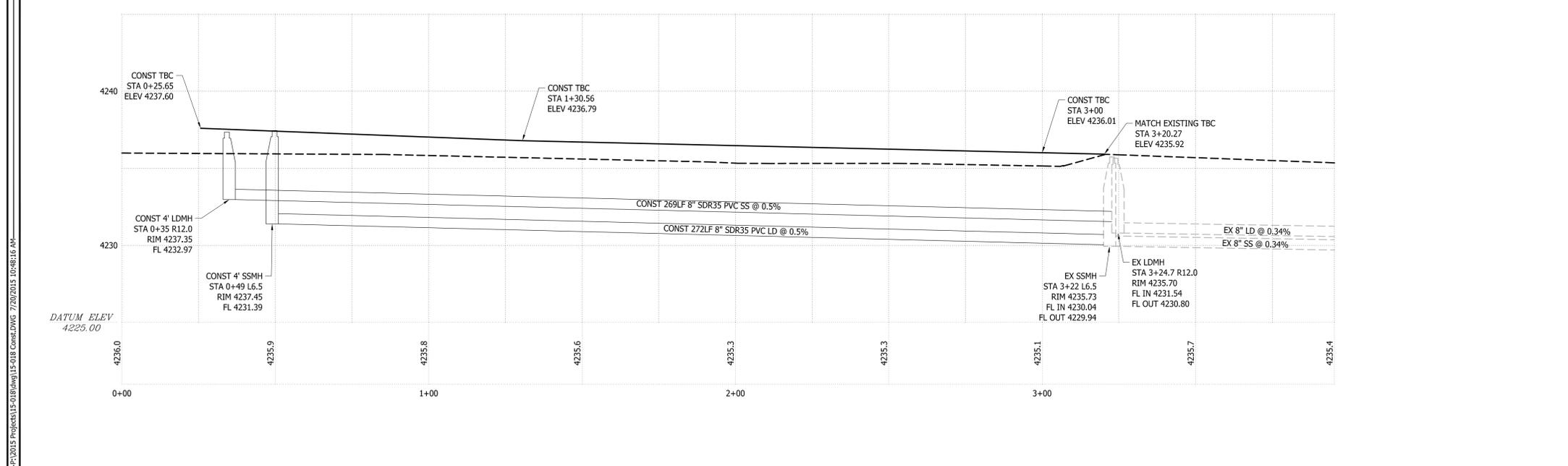
NO ALLOWANCE SHALL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFOREHAND.

NO CHANGE IN DESIGN LOCATION OR GRADE SHALL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.

THE CONTRACTOR SHALL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY POT HOLEING A MINIMUM OF 300 FEET AHEAD OF PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. IF A CONFLICT ARISES RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO POT HOLE UTILITIES THE CONTRACTOR SHALL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.

ALL NEW VALVES, MANHOLES, ETC. SHALL BE INSTALLED A MINIMUM OF 6" BELOW FINISH GRADE & RAISED TO GRADE AS REQUIRED WITH A A MINIMUM 6" CONCRETE RING.

PLAN & PROFILE 3475 WEST STA 0+00 TO 3+95.27



LEGEND

NOT ALL ITEMS IN THE LEGEND MAY BE APPLICABLE

- BOUNDARY LINE
- CENTERLINE
- SETBACK LINE
- EASEMENT LINE
- EX. IRRIGATION LINE
- EX. LAND DRAIN
- EX. OVERHEAD POWER LINE
- EX. STORM DRAIN
- EX. SANITARY SEWER
- EX. SECONDARY WATERLINE
- EX. TELEPHONE LINE
- EX. GAS LINE
- EX. CULINARY WATERLINE
- EX. FENCE
- POINT OF BEGINNING
- EXISTING WATER VALVE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING STORM DRAIN CATCH BASIN
- EXISTING STORM DRAIN BOX
- EXISTING UTILITY POLE
- SECTION CORNER
- MONUMENT
- CONTROL POINT
- EX. SPOT ELEVATION
- EG CONTOUR LINE
- BAR & CAP OR NAIL & WASHER TO BE SET
- EXISTING ASPHALT

REVISION	DATE	BY	DATE
R1	04/20/15	JF/KM	6/30/15
R2	05/20/15	SD/SB	6/30/15
R3	06/10/15	SB/SD	
R4	06/20/15	SJF	

CALL BLUESTAKES
1-800-662-4111

AT LEAST 48 HOURS BEFORE DIGGING

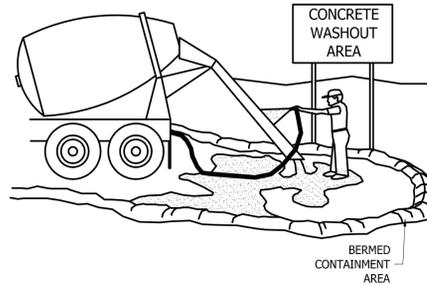
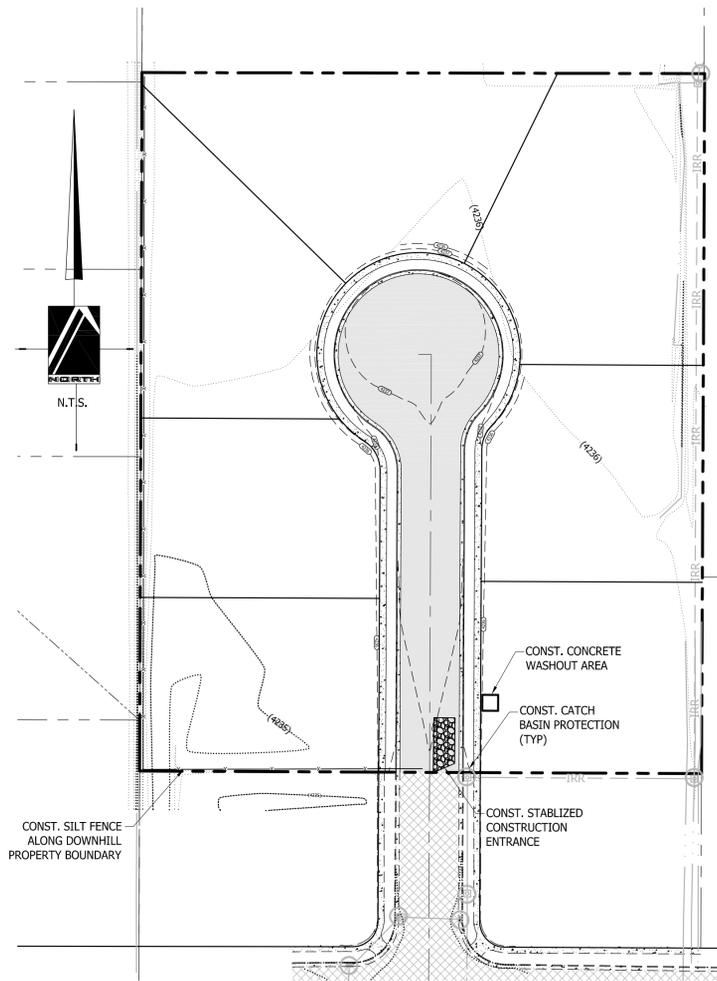
SHEET 5 OF 6

PINNACLE
Engineering & Land Surveying, Inc.
Layton • West Bountiful • Mount Pleasant • St. George
2770 North 350 West, Suite #108 Phone: (801) 773-1910
Layton, UT 84041 Fax: (801) 773-1925

SPRING HAVEN ESTATES
PLAN AND PROFILE 3475 WEST
FOR: JOSH HUGHES
~1840 SOUTH 3475 WEST
SYRACUSE, UT
15-018

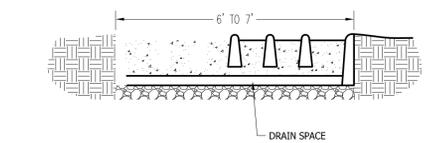
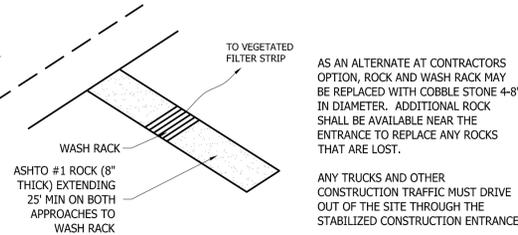
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ALL INFORMATION SHOWN HEREON IS NOT FINAL OR APPROVED WITHOUT THE ENGINEER'S STAMP AND SIGNATURE. ANY USE OF THIS DRAWING AND ITS CONTENT WITHOUT SAID APPROVAL IS DONE AT THE INDIVIDUAL'S OWN RISK. PINNACLE ENGINEERING & LAND SURVEYING, INC. DOES NOT ASSUME LIABILITY FOR ANY SUCH USE.



CONCRETE WASTE MANAGEMENT

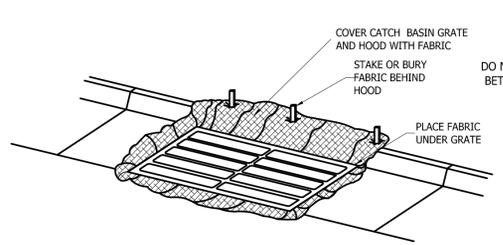
- NOTES:
- EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
 - FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED ON SITE.
 - SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP, AND DISPOSED OF PROPERLY.



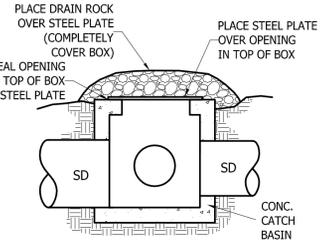
MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCK PILE OF ROCK MATERIAL SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. DRAIN SPACE UNDER WASH RACK SHALL BE KEPT OPEN AT ALL TIME. DAMAGE TO THE WASH RACK SHALL BE REPAIRED PRIOR TO FURTHER USE OF THE RACK. AT THE END OF EACH CONSTRUCTION DAY, SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE.

STABILIZED CONSTRUCTION ENTRANCE

REQ'D UNTIL PLACING ROAD BASE



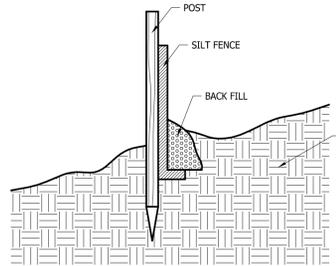
FABRIC UNDER GRATE
 MAINTENANCE: LIFT GRATE & CLEAN SEDIMENT OFF OF FABRIC WEEKLY & AFTER A STORM. TAKE CARE WHILE LIFTING GRATE TO PREVENT SEDIMENT FROM FALLING INTO THE CATCH BASIN. DISPOSE OF SEDIMENT AWAY FROM THE STORM DRAIN.



STEEL PLATE & DRAIN ROCK
 MAINTENANCE: CHECK THAT DRAIN ROCK COMPLETELY COVERS THE CATCH BASIN WEEKLY & AFTER A STORM. IF SEDIMENT COVERS THE DRAIN ROCK, REMOVE THE SEDIMENT.

CATCH BASIN PROTECTION

- NOTES:
- PRIOR TO PLACING CURB & GUTTER, OR LANDSCAPING, USE A STEEL PLATE & DRAIN ROCK TO PROTECT THE CATCH BASIN FROM SEDIMENTATION.
 - AFTER PLACING CURB & GUTTER, OR LANDSCAPING, USE FABRIC UNDER GRATE TO PROTECT THE CATCH BASIN FROM SEDIMENTATION.



SILT FENCE DETAIL

SPECIFIC NOTES

- THIS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WAS DEVELOPED AT THE REQUEST OF THE SYRACUSE CITY ENGINEERING DEPT. FOR THE DEVELOPMENT OF A 12.32 ACRE PARCEL AT APPROXIMATELY 500 WEST AND 2700 SOUTH IN SYRACUSE CITY, DAVIS COUNTY, STATE OF UTAH THIS PLAN IDENTIFIES POTENTIAL SOURCES OF POLLUTANTS OF STORM WATER, PRESENTS POLLUTION CONTROL MEASURES, AND ASSISTS IN INSURING IMPLEMENTATION AND MAINTENANCE OF THE BEST MANAGEMENT PRACTICES (BMP'S) INDICATED HEREIN.
 - A NOTICE OF INTENT HAS BEEN FILED WITH THE STATE OF UTAH WATER RESOURCES CONTROL BOARD SO THAT THIS CONSTRUCTION PROJECT MAY BE COVERED UNDER THE STATE GENERAL PERMIT. THE PERMIT IS NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT (NO. UTR 62000) FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.
 - IN THE EVENT OF A CHANGE IN OWNERSHIP, A NEW NOTICE OF INTENT SHALL BE FILED WITH THE STATE WATER RESOURCES CONTROL BOARD.
 - IN THE EVENT OF A RELEASE OF A REPORTABLE QUANTITY OF A POLLUTANT, THE CONTRACTOR SHALL ADVISE THE OWNER TO NOTIFY THE NATIONAL RESPONSE CENTER, SYRACUSE CITY AND PINNACLE ENGINEERING, INC. IF NECESSARY, THIS POLLUTION PREVENTION PLAN SHOULD BE REVISED TO REFLECT THE CHANGE IN CONDITIONS OF THE CONSTRUCTION ACTIVITY. A REPORTABLE QUANTITY IS ESTABLISHED BY 40 CODE OF FEDERAL REGULATIONS (CFR) 117.3
 - ALL CONTRACTORS AND THEIR PERSONNEL WHOSE WORK CAN CONTRIBUTE TO OR CAUSE POLLUTION OF STORM WATER SHOULD BE MADE FAMILIAR WITH THIS POLLUTION PREVENTION PLAN. ADEQUATE TRAINING FOR IMPLEMENTATION OF THE MEASURES PRESENTED HEREIN SHALL BE PROVIDED TO THE CONTRACTORS AND THEIR PERSONNEL.
 - CHANGES IN CONSTRUCTION OR IN CONDITIONS WHICH ARE NOT COVERED BY THIS PLAN SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER, CPB AND PINNACLE ENGINEERING, INC. IF NECESSARY, THIS POLLUTION PREVENTION PLAN WILL BE REVISED TO REFLECT THE CHANGE IN CONSTRUCTION OR IN CONDITIONS.
 - ALL PREVENTION AND CLEAN UP MEASURES SHOULD BE CONDUCTED IN ACCORDANCE WITH SYRACUSE CITY ORDINANCES, AS WELL AS STATE AND FEDERAL REGULATIONS. WASTE MATERIALS SHOULD BE DISPOSED OF IN ALL DISCHARGERS OF STORM WATER MUST COMPLY WITH THE LAWFUL REQUIREMENTS OF SYRACUSE CITY AND OTHER LOCAL AGENCIES REGARDING THE DISCHARGES OF STORM WATER TO STORM DRAINS.
 - THIS PLAN DOES NOT COVER THE REMOVAL OF HAZARDOUS OR TOXIC WASTE. IN THE EVENT OF A DISCHARGE OR RELEASE OF A REPORTABLE QUANTITY OF TOXIC WASTE, WORK SHOULD BE STOPPED UNTIL THE SPILL CAN BE ASSESSED AND A MITIGATION REPORT PREPARED BY A QUALIFIED ENVIRONMENTAL CONSULTANT, AND IF NECESSARY, REVIEWED BY SYRACUSE CITY AND ANY OTHER AGENCY HAVING JURISDICTION.
 - THIS SWPPP SHALL BE MADE AVAILABLE TO THE PUBLIC UNDER SECTION 308(B) OF THE CLEAN WATER ACT. UPON REQUEST BY MEMBERS OF THE PUBLIC, THE DISCHARGER SHALL MAKE AVAILABLE FOR REVIEW A COPY OF THIS SWPPP EITHER TO THE REGIONAL WATER BOARD OR DIRECTLY THIS SWPPP MUST BE KEPT ON SITE DURING CONSTRUCTION ACTIVITY AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE REGIONAL WATER BOARD AND/OR THE LOCAL AGENCY HAVING JURISDICTION.
- 1) PROHIBITION ON MOST NON-STORM WATER DISCHARGES
- ONLY STORM WATER FROM THE PROJECT SITE SHALL BE ALLOWED TO FLOW INTO THE ON-SITE STORM DRAIN SYSTEM. CLEAN, NON-CHLORINATED WATER FROM THE FLUSHING OF FIRE HYDRANTS, WATER MAINS, AND STORM DRAINS MAY BE DISCHARGED TO THE STORM DRAIN IF IT IS NOT ALLOWED TO COLLECT DIRT, DEBRIS, AND TRASH WHILE FLOWING TO A STORM DRAIN INLET.
- 2) SOURCES OF STORM WATER POLLUTANTS
- STORM WATER POLLUTANTS INCLUDE SOIL SEDIMENT AND NUTRIENTS, OIL, GREASE, TOXIC POLLUTANTS, AND HEAVY METALS. SOURCES OF STORM WATER POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO SOIL EROSION BY WATER AND/OR WIND; CLEARING OF VEGETATION; GRADING; VEHICLE AND EQUIPMENT REFUELING AND MAINTENANCE; WASHING OF CONCRETE TRUCKS, MIXERS AND HANDLING EQUIPMENT; PAINTS, SOLVENTS AND ADHESIVES; AND LANDSCAPING WORK.
- 3) EROSION AND SEDIMENT CONTROLS
- COVER EXPOSED STOCKPILES OF SOILS, CONSTRUCTION AND LANDSCAPING MATERIALS WITH HEAVY PLASTIC SHEETING.
 - IN LANDSCAPING AREAS WHERE THE VEGETATION HAS NOT ESTABLISHED GROWTH AND TAKEN HOLD, CONSTRUCT SANDBAG OR DIRT BERMS AROUND THEIR PERIMETER TO INSURE THAT WATER WILL BE CONTAINED INSIDE THE LANDSCAPING AREA AND THAT IT WILL NOT BE CONVEYED TO A STORM DRAIN INLET.
 - RE-VEGETATE AREAS WHERE LANDSCAPING HAS DIED OR NOT TAKEN HOLD.
 - DIVERT STORM WATER RUNOFF AROUND DISTURBED SOILS WITH BERMS OR DIRT SWALES.
- 4) OTHER CONTROLS
- WASTE DISPOSAL
 - KEEP WASTE DISPOSAL CONTAINERS COVERED.
 - PROVIDE FOR THE WEEKLY (OR MORE FREQUENT, IF NECESSARY) DISPOSAL OF WASTE CONTAINERS.
 - PROVIDE CONTAINERS AT CONVENIENT LOCATIONS AROUND THE SITE.
 - SWEEPING OF SITE
 - PROVIDE WEEKLY SWEEPING BY HAND OR MECHANICAL MEANS TO KEEP THE PAVED AREAS OF THE SITE FREE OF DUST, DIRT, AND DEBRIS.
 - DISPOSE OF ACCUMULATED DIRT IN WASTE CONTAINERS, OR HAUL IT OFF THE SITE TO A LANDFILL.
 - SANITARY/SEPTIC DISPOSAL
 - PORTABLE TOILETS AND OTHER SANITARY FACILITIES SHALL BE SERVICED WEEKLY AND PUMPED CLEAN BY A WASTE DISPOSAL COMPANY. NO TOXIC OR HAZARDOUS WASTE SHALL BE DISPOSED IN A PORTABLE TOILET OR IN THE ON-SITE SANITARY SEWER.
 - OTHER CONTROLS
 - STORE ADEQUATE ABSORBENT MATERIALS, RAGS, BROOMS, SHOVELS, AND WASTE CONTAINERS ON THE SITE TO CLEAN-UP SPILLS OF MATERIALS SUCH AS FUEL, PAINT, SOLVENTS, OR CLEANERS. CLEAN UP MINOR SPILLS IMMEDIATELY.
 - FOR REPORTABLE QUANTITY OF HAZARDOUS OR TOXIC SUBSTANCE, SECURE THE SERVICES OF QUALIFIED PERSONNEL FOR CLEAN-UP AND DISPOSAL.
 - CONTROL OF ALLOWABLE NON-STORM WATER DISCHARGES
 - LANDSCAPING IRRIGATION, EROSION CONTROL MEASURES, PIPE FLUSHING AND TESTING, AND PAVEMENT WASHING ARE ALLOWED IF THEY CANNOT FEASIBLY BE ELIMINATED, COMPLY WITH THIS PLAN, DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS, AND ARE NOT REQUIRED TO BE PERMITTED BY THE LOCAL REGIONAL WATER QUALITY CONTROL BOARD.
 - VEHICLES AND EQUIPMENT
 - FIX LEAKS OF FUEL, OIL AND OTHER SUBSTANCES IMMEDIATELY.
 - PERFORM REFUELING AND SERVICE OF VEHICLES OR EQUIPMENT OFF-SITE WHEN POSSIBLE. IF REFUELING OR SERVICE OF EQUIPMENT IS PERFORMED ON-SITE, THEN PROVIDE AN IMPERVIOUS, CONTAINED AREA WHERE ANY SPILLS CAN BE CONTAINED WITHOUT FLOWING TO A STORM WATER INLET OR INTO THE GROUND.
 - USE DRIP PANS TO CATCH LEAKS AND SMALL SPILLS.
 - CONCRETE TRUCKS, MIXERS AND HANDLING EQUIPMENT
 - DO NOT DISPOSE OF WASHOUT FROM THE WASHING OF CONCRETE TRUCKS, MIXERS, AND HANDLING EQUIPMENT WHERE IT WILL FLOW INTO A STORM WATER INLET OR INTO A PUBLIC STREET.
 - PROVIDE A HOLDING TANK TO RECEIVE ANY WASHOUT FROM CONCRETE EQUIPMENT. DISPOSAL OF TANK CONTENTS SHOULD BE CONDUCTED BY A WASTE HANDLING FIRM.
 - PROVIDE A DESIGNATED AREA FOR WASHING ANY VEHICLES OR EQUIPMENT. DRAINAGE FROM THIS AREA SHOULD FLOW TO THE HOLDING TANK.
 - LANDSCAPING OPERATIONS
 - USE ONLY THE MINIMUM AMOUNT OF LANDSCAPING FERTILIZERS, NUTRIENTS, AND OTHER CHEMICALS THAT ARE NEEDED.
 - DO NOT OVER WATER FERTILIZED OR TREATED LANDSCAPE AREAS. MINIMIZE RUNOFF OF IRRIGATION WATER FROM TREATED AREAS.

GENERAL NOTES

- REGULAR INTERVAL INSPECTION AND INSPECTION BEFORE AND AFTER STORMS
 - TO IDENTIFY AREAS CONTRIBUTING TO A STORM WATER POLLUTION CONTROL MEASURES ARE IN PLACE.
 - BEFORE A STORM, INSPECT THE SITE TO INSURE THAT STORM WATER POLLUTION CONTROL MEASURES ARE IN PLACE.
 - AFTER A STORM, INSPECT ALL STORM WATER INLETS TO INSURE THAT THEY ARE CLEAR OF DIRT AND DEBRIS. CLEAN THOSE STORM WATER INLETS THAT ARE NOT CLEAR AND FREE OF DEBRIS.
 - THE REGIONAL WATER BOARD MAY REQUIRE THE DISCHARGER TO CONDUCT ADDITIONAL SITE INSPECTIONS, SUBMIT REPORTS AND CERTIFICATIONS, OR TO PERFORM SAMPLING AND ANALYSIS.
- ALL DISCHARGERS ARE REQUIRED TO CONDUCT INSPECTIONS OF THE CONSTRUCTION SITE PRIOR TO ANTICIPATED STORM EVENTS AND AFTER ACTUAL STORM EVENTS. TO IDENTIFY AREAS CONTRIBUTING TO A STORM WATER DISCHARGE, TO EVALUATE WHETHER MEASURES TO REDUCE POLLUTANT LOADINGS IDENTIFIED IN THIS SWPPP ARE ADEQUATE, TO PROPERLY IMPLEMENT IN ACCORDANCE WITH THE TERMS OF THE GENERAL PERMIT, AND TO DETERMINE WHETHER ADDITIONAL CONTROL PRACTICES ARE NEEDED.
- PREPARATION OF REPORTS AND RETENTION OF RECORDS
 - EACH DISCHARGER MUST CERTIFY ANNUALLY THAT ITS CONSTRUCTION ACTIVITY IS IN COMPLIANCE WITH THE REQUIREMENTS OF THE GENERAL PERMIT AND THIS SWPPP. THIS CERTIFICATION MUST BE BASED ON THE SITE INSPECTIONS. THE FIRST CERTIFICATION MUST BE COMPLETED BY JULY 15, 2012, AND EACH JULY 15, THEREAFTER.
 - THE DISCHARGER IS REQUIRED TO RETAIN RECORDS OF ENVIRONMENTAL RESPONSE, COMPLIANCE, AND LIABILITY ACT (CERCLA); ANY CHEMICAL DATA USED TO COMPLETE THE NOTICE OF INTENT FOR CONSTRUCTION ACTIVITY FOR A PERIOD OF AT LEAST THREE YEARS. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE STATE WITH THE EXCEPTION OF NONCOMPLIANCE REPORTING, DISCHARGERS ARE NOT REQUIRED TO SUBMIT THE RECORDS EXCEPT UPON SPECIFIC REQUEST BY THE STATE DEQ DIVISION OF WATER QUALITY.
 - DISCHARGERS WHO CANNOT CERTIFY COMPLIANCE MUST NOTIFY THE STATE DEQ DIVISION OF WATER QUALITY. THIS NOTIFICATION SHALL IDENTIFY THE TYPE OR TYPES OF NONCOMPLIANCE, DESCRIBE THE ACTIONS NECESSARY TO ACHIEVE COMPLIANCE, AND INCLUDE A TIME SCHEDULE, SUBJECT TO THE MODIFICATIONS BY THE STATE DEQ DIVISION OF WATER QUALITY, INDICATING WHEN COMPLIANCE WILL BE ACHIEVED. NONCOMPLIANCE REPORTS MUST BE SUBMITTED WITHIN 30 DAYS OF THE IDENTIFICATION OF THE NONCOMPLIANCE.
- MAINTENANCE OF CONTROLS
 - MAINTENANCE AND REPAIR ALL CONTROLS AND MEASURES INDICATED ON THIS PLAN SHOULD BE MAINTAINED IN GOOD AND EFFECTIVE CONDITION IF ANY CONTROLS OR MEASURES ARE DAMAGED OR REMOVED, THEY SHOULD BE PROMPTLY REPAIRED OR RESTORED.
 - PLAN REVISIONS IF CONSTRUCTION ACTIVITY OR CONDITIONS CHANGE FROM THOSE SHOWN IN THIS PLAN, THEN THIS PLAN SHALL BE REVISED TO REFLECT THE CURRENT CONDITIONS.
 - FINAL STABILIZATION AND POST-CONSTRUCTION CONTROLS
 - AFTER CONSTRUCTION HAS BEEN COMPLETED, THE SITE SHALL BE SWEEPED CLEAN, STORM WATER INLETS (GRATES AND BASINS) SHALL BE CLEANED, AND ALL WASTE AND LEFTOVER MATERIALS SHALL BE REMOVED FROM THE SITE.
 - ALL LANDSCAPING AND PLANTING AREAS SHOULD BE WELL MAINTAINED TO PREVENT EROSION. AVOID OVER WATERING OF LANDSCAPING.
 - ALL PAVED AREAS SHOULD BE SWEEPED WEEKLY EITHER BY HAND OR BY MECHANICAL MEANS TO KEEP THE SITE CLEAR OF DIRT, DUST, AND DEBRIS.
 - WASTE MATERIALS ON-SITE SHOULD BE STORED IN COVERED CONTAINERS WHICH ARE CLEANED OUT REGULARLY.
 - TESTING OF FIRE HYDRANTS ON-SITE SHALL NOT BE CONDUCTED UNTIL THE AREA WHERE THE WATER DISCHARGES HAS BEEN SWEEPED CLEAN OF DIRT AND DEBRIS.
 - STORM DRAIN LINES SHOULD BE CHECKED AND CLEANED ANNUALLY TO KEEP THEM CLEAN AND CLEAR OF DEBRIS.
 - ALL ON-SITE STORM WATER INLETS SHOULD BE CLEARLY MARKED "STORM WATER ONLY".
 - COMPLETION OF CONSTRUCTION ACTIVITIES AND NOTICE OF TERMINATION
 - WHEN CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED ON THIS SITE, THE OWNER SHALL FILE A LETTER WITH THE STATE DEQ DIVISION OF WATER QUALITY. THIS LETTER SHALL CERTIFY THAT THE CONSTRUCTION ACTIVITY HAS BEEN COMPLETED, THAT ALL ELEMENTS OF THE SWPPP HAVE BEEN IMPLEMENTED, THAT CONSTRUCTION AND EQUIPMENT MAINTENANCE WASTES HAVE BEEN DISPOSED OF PROPERLY, THAT THE SITE IS IN COMPLIANCE WITH ALL LOCAL STORM WATER REQUIREMENTS INCLUDING EROSION/SEDIMENT CONTROL REQUIREMENTS, POLICIES, AND GUIDELINES.

DEFINITIONS

- "BEST MANAGEMENT PRACTICES" ("BMP'S") MEANS SCHEDULES OF ACTIVITIES, PROHIBITIONS OF PRACTICES, MAINTENANCE PROCEDURES, AND OTHER MANAGEMENT PRACTICES TO PREVENT OR REDUCE THE POLLUTION OF WATERS OF THE UNITED STATES. BMP'S ALSO INCLUDE TREATMENT REQUIREMENTS, OPERATING PROCEDURES, AND PRACTICES TO CONTROL SITE RUNOFF, SPILLAGE OR LEAKS, WASTE DISPOSAL, OR DRAINAGE FROM RAW MATERIAL STORAGE.
- "CLEAN WATER ACT" ("CWA") MEANS THE FEDERAL WATER POLLUTION CONTROL ACT ENACTED BY PUBLIC LAW 92-500 AS AMENDED BY PUBLIC LAWS 95-217, 95-576, 96-483, AND 97-111; 33 USC 1251 ET SEQ.
- "CONSTRUCTION SITE" IS THE LOCATION OF THE CONSTRUCTION ACTIVITY.
- "NON-STORM WATER DISCHARGE" MEANS ANY DISCHARGE TO STORM DRAIN SYSTEMS THAT IS NOT COMPOSED ENTIRELY OF STORM WATER EXCEPT DISCHARGE PURSUANT TO AN NPDES PERMIT AND DISCHARGES RESULTING FROM FIRE FIGHTING ACTIVITIES.
- "SIGNIFICANT MATERIALS" INCLUDES, BUT IS NOT LIMITED TO RAW MATERIALS; FUELS; MATERIALS SUCH AS SOLVENTS, DETERGENTS, AND PLASTIC FILLS; FINISHED MATERIALS SUCH AS METALLIC PRODUCTS; RAW MATERIALS USED IN FOOD PROCESSING OR PRODUCTION HAZARDOUS SUBSTANCES DESIGNATED UNDER SECTION 101(14) OF THE COMPREHENSIVE ENVIRONMENTAL RESPONSE, COMPENSATION, AND LIABILITY ACT (CERCLA); ANY CHEMICAL DATA USED TO COMPLETE THE NOTICE OF INTENT FOR CONSTRUCTION ACTIVITY FOR A PERIOD OF AT LEAST THREE YEARS. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE STATE WITH THE EXCEPTION OF NONCOMPLIANCE REPORTING, DISCHARGERS ARE NOT REQUIRED TO SUBMIT THE RECORDS EXCEPT UPON SPECIFIC REQUEST BY THE STATE DEQ DIVISION OF WATER QUALITY.
- DISCHARGERS WHO CANNOT CERTIFY COMPLIANCE MUST NOTIFY THE STATE DEQ DIVISION OF WATER QUALITY. THIS NOTIFICATION SHALL IDENTIFY THE TYPE OR TYPES OF NONCOMPLIANCE, DESCRIBE THE ACTIONS NECESSARY TO ACHIEVE COMPLIANCE, AND INCLUDE A TIME SCHEDULE, SUBJECT TO THE MODIFICATIONS BY THE STATE DEQ DIVISION OF WATER QUALITY, INDICATING WHEN COMPLIANCE WILL BE ACHIEVED. NONCOMPLIANCE REPORTS MUST BE SUBMITTED WITHIN 30 DAYS OF THE IDENTIFICATION OF THE NONCOMPLIANCE.
- "SIGNIFICANT QUANTITIES" IS THE VOLUME, CONCENTRATIONS, OR MASS OF A POLLUTANT IN STORM WATER DISCHARGE THAT CAN CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR RUINANCE; ADVERSELY IMPACT HUMAN HEALTH OR THE ENVIRONMENT; AND CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY APPLICABLE WATER QUALITY STANDARDS FOR THE RECEIVING WATER.
- "STORM WATER" MEANS STORM WATER RUNOFF, SNOW MELT RUNOFF, SURFACE RUNOFF AND DRAINAGE. IT EXCLUDES INFILTRATION AND RUNOFF FROM AGRICULTURAL LAND.
- "POLLUTION" MEANS THE "MAN-MADE OR MAN-INDUCED ALTERATION OF THE CHEMICAL, PHYSICAL, BIOLOGICAL, AND RADIOLOGICAL INTEGRITY OF WATER" (CLEAN WATER ACT SECTION 502(19)). POLLUTION ALSO MEANS "AN ALTERATION OF THE QUALITY OF THE WATERS OF THE STATE BY WASTE TO A DEGREE WHICH UNREASONABLY AFFECTS EITHER... THE WATERS FOR BENEFICIAL USES... OR FACILITIES WHICH SERVE THESE BENEFICIAL USES." (CALIFORNIA WATER CODE SECTION 13050(1)).
- "CONTAMINATION" MEANS "AN IMPAIRMENT OF THE QUALITY OF THE WATERS OF THE STATE BY WASTE TO A DEGREE WHICH CREATES A HAZARD TO THE PUBLIC HEALTH THROUGH POISONING OR THROUGH THE SPREAD OF DISEASE... INCLUDING ANY EQUIVALENT EFFECT RESULTING FROM THE DISPOSAL OF WASTE, WHETHER OR NOT WATERS OF THE STATE ARE AFFECTED."
- "NUISANCE" MEANS "ANYTHING WHICH MEETS ALL OF THE FOLLOWING REQUIREMENTS: (1) IS INJURIOUS TO HEALTH, OR IS INDECENT OR OFFENSIVE TO THE SENSES, OR AN OBSTRUCTION TO THE FREE USE OF PROPERTY, SO AS TO INTERFERE WITH THE COMFORTABLE ENJOYMENT OF LIFE AND PROPERTY; (2) AFFECTS AT THE SAME TIME AN ENTIRE COMMUNITY OR NEIGHBORHOOD, OR ANY CONSIDERABLE NUMBER OF PERSONS, ALTHOUGH THE EXTENT OF THE ANNOYANCE OR DAMAGE INFLICTED UPON INDIVIDUALS MAY BE UNEQUAL; (3) OCCURS DURING OR AS A RESULT OF THE TREATMENT OR DISPOSAL OF WASTES."
- "LOCAL AGENCY" MEANS ANY AGENCY THAT IS INVOLVED WITH REVIEW, APPROVAL, OR OVERSIGHT OF THE CONSTRUCTION SITES (a) CONSTRUCTION ACTIVITY, (b) EROSION AND SEDIMENT CONTROLS, (c) STORM WATER DISCHARGE.

RESPONSIBLE PARTY

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 2853 WEST 2330 SOUTH
 SYRACUSE, UT 84075
 TEL: (801) 940-6057

PINNACLE
 Engineering & Land Surveying, Inc.
 Layton • West Bountiful • Mount Pleasant • St. George
 2770 North 350 West, Suite #108 Phone: (801) 773-1910
 Layton, UT 84041 Fax: (801) 773-1925

SPRING HAVEN ESTATES
 STORM WATER POLLUTION PREVENTION PLAN
 FOR: JOSH HUGHES
 ~1840 SOUTH 3475 WEST
 SYRACUSE, UT
 15-018

STEPHEN P. BOYD
 LICENSED PROFESSIONAL ENGINEER
 348893
 01/15
 UTAH

REVISION	DATE	BY	DESCRIPTION
R1	04/20/15	JFH/CM	CHANGED BLOWOFF TO FH
R2	05/20/15	SPB	REMOVED NEW CHAIN LINK FENCE
R3	05/20/15	SD	DESIGNED BY
R4	05/20/15	SD/SB	DRAWN BY
R5	06/10/15	SB/SD	APPROVED BY
R6	06/20/15	SJF	APPROVED BY
R7			
R8			
R9			

CALL BLUESTAKES
 1-800-662-4111
 AT LEAST 48 HOURS BEFORE DIGGING

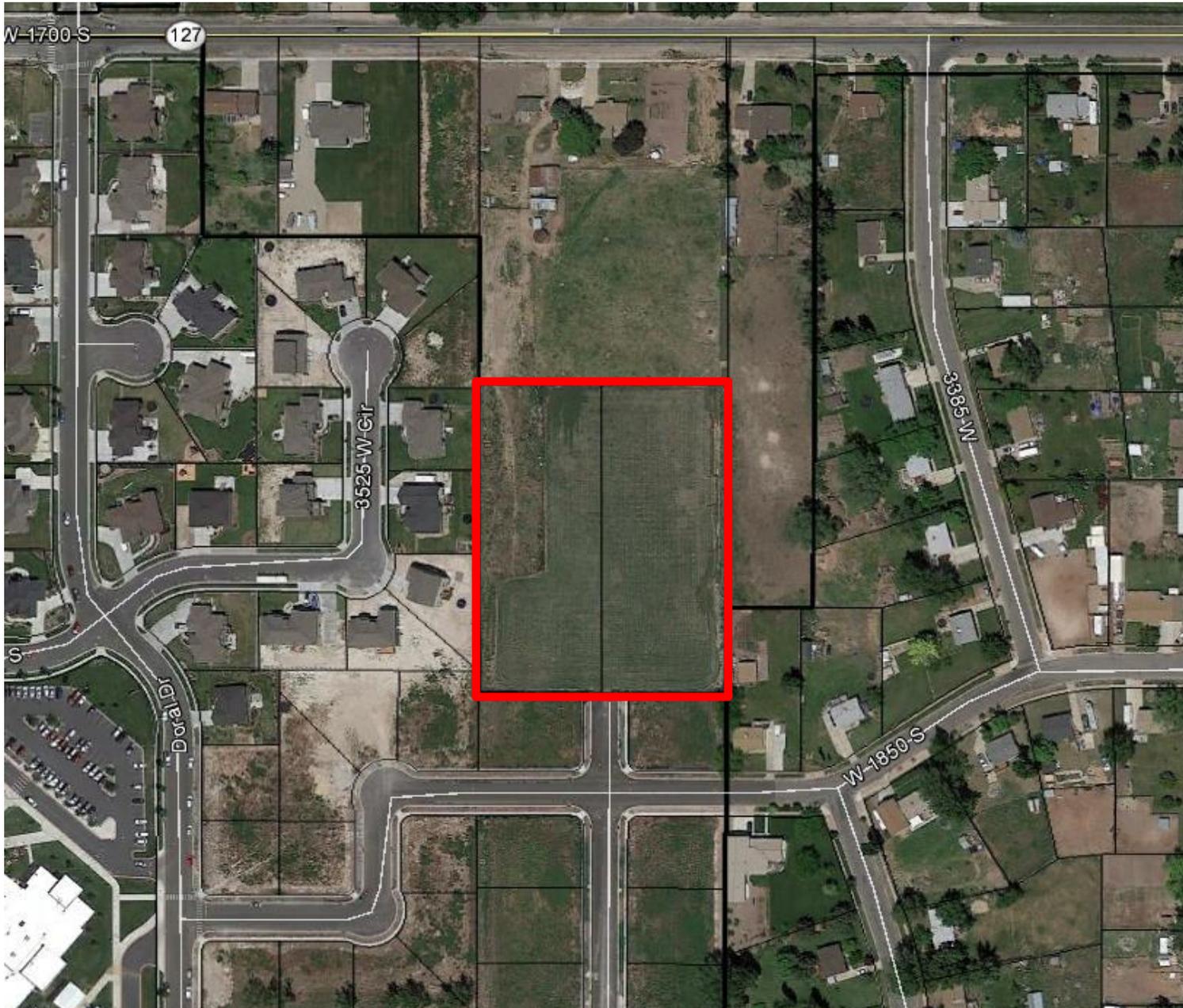
SHEET
 6
 OF 6

PROJECT: 15-018 (Spring Haven Estates) DATE: 7/20/2015 10:48:31 AM

ALL INFORMATION SHOWN HEREON IS NOT FINAL OR APPROVED WITHOUT THE GOVERNING AGENCY'S STAMP AND SIGNATURE. ANY USE OF THIS DRAWING AND ITS CONTENT WITHOUT SAID APPROVAL IS AT THE INDIVIDUAL'S OWN RISK. PINNACLE ENGINEERING & LAND SURVEYING, INC. DOES NOT ASSUME LIABILITY FOR ANY SUCH USE.



Spring Haven Subdivision 1840 S 3475 W





CITY COUNCIL AGENDA

July 28, 2015

Agenda Item # 8

Final Subdivision Plan Trails Edge Phase 3-5 3250 W 700 S

Factual Summation

Zone:	R-3 Residential
Applicant:	Mark Sandberg
Phase 3	
Acreage	4.466
Net Developable Acreage	3.573
Allowed lots	19
Proposed lots	15
Phase 4	
Acreage	3.555
Net Developable Acreage	2.844
Allowed lots	15
Proposed lots	14
Phase 5	
Acreage	5.961
Net Developable Acres:	4.769
Allowed Lots (5.44 units/acre)	25
Proposed Lots	19

Public Meeting Outline

General Plan Amendment Approval	
Planning Commission	April 15, 2014
City Council	May 13, 2014
Rezone R-3 Approval	
Planning Commission	June 3, 2014
City Council	June 10, 2014
Rezone R-1 Approval	
Planning Commission	July 1, 2013
City Council	July 8, 2014
Sketch Plan Approval	June 17, 2014
Preliminary Plan Approval	August 19, 2014
Final Plan Approval	July 21, 2015

Attachments

- Aerial
- Final Plan
- Staff Reviews

Planning Commission Recommendation

The Planning Commission moved to recommend approval to the City Council of the Trails Edge Phase 3-5 Final Plan, Mark Sandberg, property located at approximately 3250 W 700 S, subject to all applicable requirements of the City's municipal codes and City staff reviews with a unanimous vote on July 21, 2015.



Trail's Edge Subdivision Phases 3 - 5

700 South & 3300 West

Engineer Final Plan Review

Completed by Brian Bloemen on June 29, 2015

Below are the engineering comments for the final plan review of the Trail's Edge Subdivision Phases 3-5.

1. Per City code Lot 503 cannot have a dwelling constructed on it until the road no longer is a dead end street and the temporary cul-de-sac has been removed.

If you have any further comments or questions please feel free to contact me at 801-614-9630.

Sincerely,

Brian Bloemen, P.E.
City Engineer



TO: Community Development, Attention: Jenny Schow
FROM: Jo Hamblin, Fire Marshal
RE: Trail's Edge Subdivision Final revisions phase 3, 4, and 5

DATE: July 15, 2015

These plans have been reviewed for Fire Department requirements only. Other departments must review these plans and will have their requirements. All requirements have been met and are acceptable, the Fire Department does not have any concerns at this time. This review by the Fire Department must not be construed as final approval from Syracuse City.

Sincerely,

Jo Hamblin
Deputy Chief/ Fire Marshal
Syracuse City Fire Department

1869 South 3000 West, Syracuse, Utah 84075
801-614-9614 (Station)
801-776-1976 (Fax)



SYRACUSE
EST. CITY 1935

Planner Final Subdivision Review

Subdivision: Trails Edge Phase 3-5
Completed By: Jenny Schow, City Planner

Date: June 23, 2015
Updated: 7-15-15

8-6-10 Final Plat

Please review and amend the following items:

1. Include the site triangle on the typical setback detail.
2. Amend 3200 West to 3250 West on Phase 3 and 5
3. Amend Lot 311 to 567 South
4. Amend Lot 502 to 451 South 3250 West
5. Amend Lot 503 to 417 South
6. Amend Lot 504 to 433 South 3350 West
7. Amend Lot 506 to 441 South 3350 West and 444 S 3250 W
8. Amend Lot 515 to 438 South 3350 W
9. Amend Lot 516 to 421 South 3200 W

Items required for Preconstruction:

1. Construction Drawing Prints and PDF files
2. Schedule a preconstruction meeting
3. Bond estimate using the City template
4. Final Inspection Fees as calculated in the approved bond estimate
5. Offsite Improvement Agreement
6. BMP Facilities Maintenance Agreement (Parcel A)
7. Streetlight Agreement
8. SWPPP NOI
9. SWPPP City Permit
10. Fugitive Dust Control Plan

Items required for Recording:

1. Escrow Agreement
2. Water Shares
3. Title Report - must be updated within 30 days or recording
4. Recording fees: \$37/page +\$1/lot and any common space as well as \$1/land-owner signatures over two



TRAIL'S EDGE SUBDIVISION

PHASE 3

3350 WEST 700 SOUTH
SYRACUSE CITY, UTAH

**FOR APPROVAL
FOR CONSTRUCTION**

DATE PRINTED
July 10, 2015



INDEX OF DRAWINGS

1 OF 1	SUBDIVISION PLAT
C-001	NOTES
C-100	SITE PLAN
C-200	GRADING AND DRAINAGE PLAN
C-300	UTILITY PLAN
C-400	EROSION CONTROL PLAN
C-500	DETAILS
PP-1	3200 WEST STREET PLAN AND PROFILE
PP-2	3300 WEST STREET PLAN AND PROFILE

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

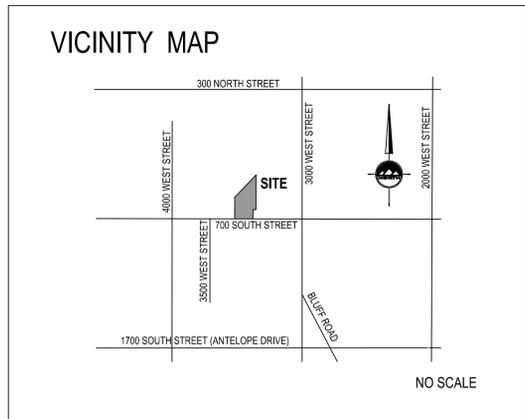
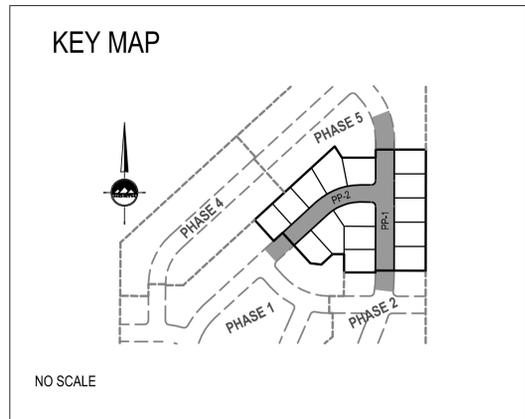
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

CITY ENGINEER ACCEPTANCE OF IMPROVEMENT PLANS

THE IMPROVEMENT PLANS FOR THIS SUBDIVISION HAVE BEEN REVIEWED BY THE CITY ENGINEER FOR GENERAL CONFORMANCE WITH THE REQUIREMENTS OF THE CITY SUBDIVISION ORDINANCE. THIS SET OF CITY APPROVED DRAWINGS SHALL BE USED FOR CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS. THE DEVELOPER'S ENGINEER, WHOSE STAMP IS ON THESE DRAWINGS, IS RESPONSIBLE FOR THE ENGINEERING DESIGN, DRAFTING AND RELATED FIELD INFORMATION. THE CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR THE DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE. FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, COORDINATION OF HIS OR HER WORK WITH THAT OF ALL OTHER TRADES, AND THE SATISFACTORY PERFORMANCE OF HIS OR HER WORK.

BY: _____ DATE: _____
CITY ENGINEER

DEVELOPER
MSA MARK SANDBERG
1882 WOODHAVEN DRIVE
HENDERSON, NEVADA 89074
702-205-4627



- #### GENERAL NOTES
1. ALL WORK SHALL CONFORM WITH SYRACUSE CITY STANDARDS & SPECIFICATIONS.
 2. ALL UTILITIES SHALL BE INSTALLED PER SYRACUSE CITY STANDARDS & SPECIFICATIONS.
 3. CALL BLUE STAKES 48 HOURS PRIOR TO DIGGING.
 4. BENCHMARK ELEVATION = SOUTH QUARTER CORNER OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN. ELEV. = 4245.76

ENGINEER/SURVEYOR:

THE STANDARD IN ENGINEERING

WWW.ENSIGNUTAH.COM

LAYTON
1485 West Hillfield Rd.
Suite 204
Layton UT 84041
Phone: 801.547.1100
Fax: 801.593.6315

SALT LAKE CITY
Phone: 801.256.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

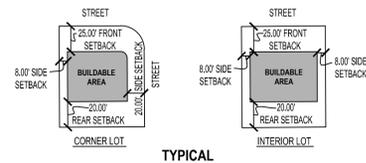
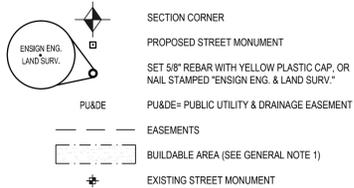
RICHFIELD
Phone: 435.590.0187

TRAIL'S EDGE SUBDIVISION PHASE 3
FOR REVIEW - JULY 10, 2015

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	15.00'	23.56'	90°00'00"	S45°04'52"W	21.21'
C2	230.00'	44.83'	11°10'06"	S84°29'49"W	44.76'
C3	230.00'	78.16'	19°28'16"	S69°10'38"W	77.79'
C4	230.00'	47.30'	11°46'58"	S53°33'01"W	47.22'
C5	170.00'	25.51'	8°35'57"	N51°57'30"E	25.49'
C6	170.00'	100.36'	33°49'23"	N73°10'10"E	98.90'
C7	15.00'	23.56'	90°00'00"	S44°55'08"E	21.21'
C8	230.00'	170.29'	42°25'20"	S68°52'12"W	166.43'
C9	170.00'	125.87'	42°25'20"	S68°52'12"W	123.01'
C10	200.00'	148.08'	42°25'20"	S68°52'12"W	144.72'

LINE TABLE		
LINE	BEARING	LENGTH
L1	S89°55'08"E	15.00'
L2	N44°55'08"W	42.43'
L3	S0°04'52"W	15.00'
L4	S89°55'08"E	15.00'
L5	N45°04'52"E	42.43'
L6	N0°04'52"E	15.00'

LEGEND

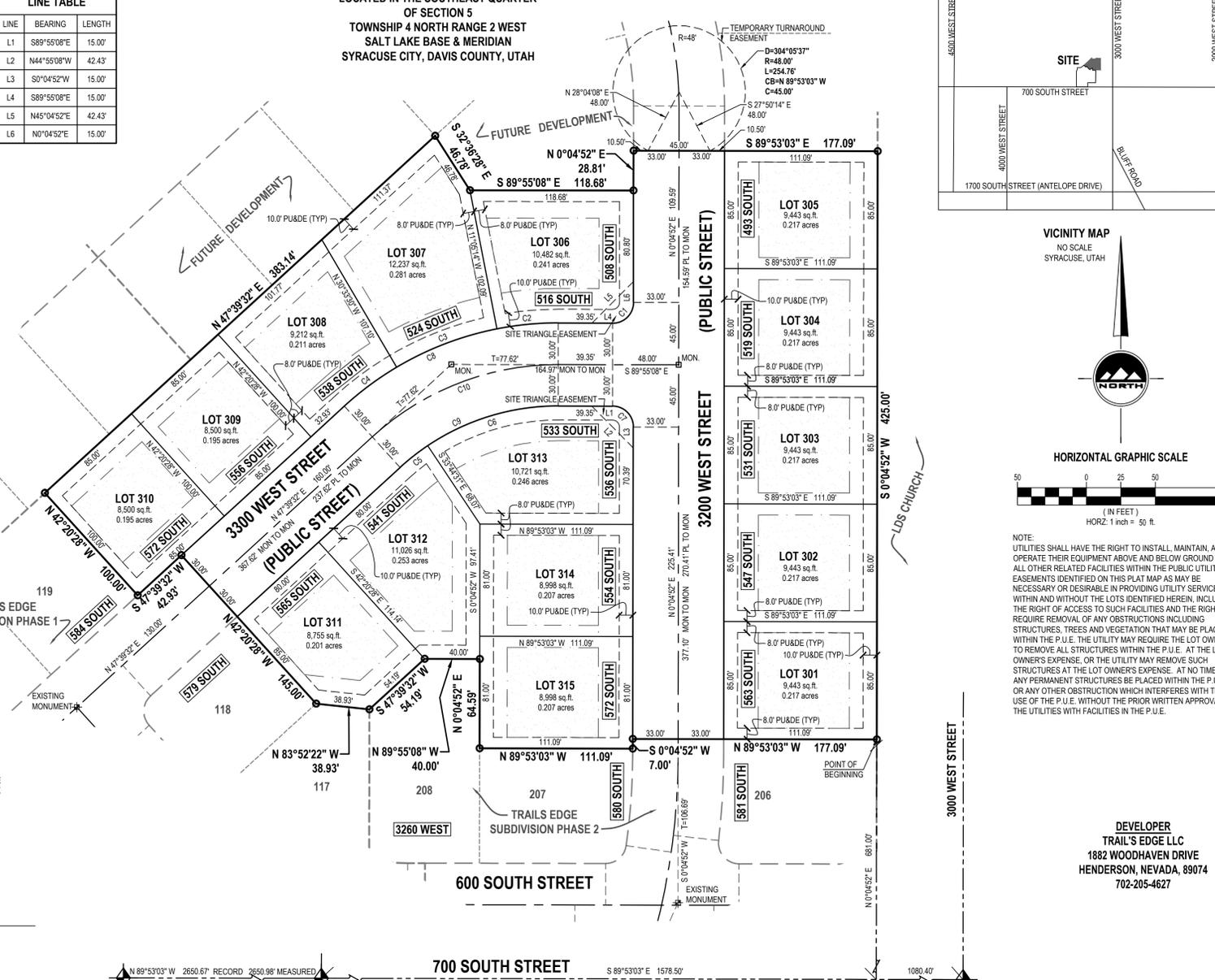


GENERAL NOTES:

- PROPERTY IS ZONED R-3
 - FRONT YARD SETBACK IS 25'
 - REAR YARD SETBACK IS 20'
 - SIDE YARD SETBACK IS 6'
 - CORNER LOT SIDE YARD SETBACK IS 20'
- ALL PUBLIC UTILITY AND DRAINAGE EASEMENTS (PU & DE) ARE 10' FRONT, 8' SIDE AND 10' REAR UNLESS OTHERWISE NOTED HEREON.
- LOWEST FINISH FLOOR ELEVATION FOR ANY HOME IS 4260.00 (DAVIS COUNTY SURVEYORS' OFFICE DATUM).

TRAIL'S EDGE SUBDIVISION PHASE 3

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 5 TOWNSHIP 4 NORTH RANGE 2 WEST SALT LAKE BASE & MERIDIAN SYRACUSE CITY, DAVIS COUNTY, UTAH

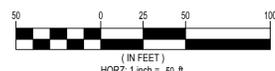


VICINITY MAP

NO SCALE SYRACUSE, UTAH



HORIZONTAL GRAPHIC SCALE



NOTE: UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REMOVE ALL OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE P.U.E. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE P.U.E. AT THE LOT OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE P.U.E. OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE P.U.E. WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE P.U.E.

DEVELOPER
TRAIL'S EDGE LLC
1882 WOODHAVEN DRIVE
HENDERSON, NEVADA, 89074
702-205-4627

SURVEYOR'S CERTIFICATE

I, **KEITH R. RUSSELL**, do hereby certify that I am a Licensed Land Surveyor, and that I hold certificate No. **164386**, as prescribed under laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as **TRAIL'S EDGE SUBDIVISION PHASE 3**, and that the same has been correctly surveyed and staked on the ground as shown on this plat. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

BOUNDARY DESCRIPTION

Beginning at the Northeast Corner of Lot 206, Trail's Edge Subdivision Phase 2, said point being South 89°53'03" East 1578.50 feet along the section line and North 0°04'52" East 681.00 feet from the South Quarter Corner of Section 5, Township 4 North, Range 2 West, Salt Lake Base and Meridian, and running:
 Thence North 89°53'03" West 177.09 feet along the north line to a Northwest Corner of Trail's Edge Subdivision Phase 2;
 Thence South 0°04'52" West 7.00 feet along a west line to an interior corner of Trail's Edge Subdivision Phase 2;
 Thence North 89°53'03" West 111.09 feet along a north line to an interior corner of Trail's Edge Subdivision Phase 2;
 Thence North 0°04'52" East 54.59 feet along the west line to a Northeast Corner of Trail's Edge Subdivision Phase 2;
 Thence North 89°55'08" East 40.00 feet along a north line to an angle point in the north line of Trail's Edge Subdivision Phase 2;
 Thence South 47°39'32" West 54.19 feet along a north line to a Northwest Corner of Trail's Edge Subdivision Phase 2, also being a Northeast Corner of Trail's Edge Subdivision Phase 1;
 Thence North 83°52'22" West 38.93 feet along the north line to an angle point in the north line of Trail's Edge Subdivision Phase 1;
 Thence North 89°53'03" West 111.09 feet along a north line to a Northeast Corner of Trail's Edge Subdivision Phase 1;
 Thence South 47°39'32" West 42.93 feet along a north line to an interior corner of Trail's Edge Subdivision Phase 1;
 Thence North 42°20'28" West 100.00 feet along a north line to a Northeast Corner of Trail's Edge Subdivision Phase 2, also being a Northeast Corner of Trail's Edge Subdivision Phase 1;
 Thence North 47°39'32" East 383.14 feet;
 Thence South 32°36'28" East 48.78 feet;
 Thence South 89°55'08" East 118.68 feet;
 Thence North 0°04'52" East 28.81 feet;
 Thence South 89°53'03" East 177.09 feet;
 Thence South 0°04'52" West 425.00 feet to the point of beginning.

Contains 194,535 square feet, 4.466 acres, 15 lots.

Date **7-10-15**

Keith R. Russell
Keith R. Russell
License no. 164386



OWNER'S DEDICATION

Known all men by these presents that I, the undersigned owner of the above described tract of land, having caused same to be subdivided, hereafter known as the

TRAIL'S EDGE SUBDIVISION PHASE 3

do hereby dedicate for perpetual use of the public all streets as shown on this plat as Public Streets intended for Public use.

In witness whereof I have hereunto set my hand this _____ day of _____ A.D. 20__

Trail's Edge, a Limited Liability Company
Gregory Higley
Manager

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH J.S.S.
County of Davis

On the _____ day of _____ A.D., 20__ personally appeared before me, the undersigned Notary Public, in and for said County of Davis, in the State of Utah, who after being duly sworn, acknowledged to me that He is the Manager of Trail's Edge LLC, a Limited Liability Company and that He signed the Owner's Dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein mentioned and acknowledged to me that said Limited Liability Company executed the same.

MY COMMISSION EXPIRES: _____
RESIDING IN _____ COUNTY.

TRAIL'S EDGE SUBDIVISION PHASE 3

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 5 TOWNSHIP 4 NORTH RANGE 2 WEST SALT LAKE BASE & MERIDIAN SYRACUSE CITY, DAVIS COUNTY, UTAH

DAVIS COUNTY RECORDER

ENTRY NO. _____ FEE _____
PAID _____ FILED FOR RECORD AND
RECORDED THIS DAY OF _____ 20__
AT _____ IN BOOK _____ OF OFFICIAL RECORDS
PAGE _____

SHEET 1 OF 1

PROJECT NUMBER: L2138
MANAGER: K. RUSSELL
DRAWN BY: J. MOSS
CHECKED BY: K. RUSSELL
DATE: 9/16/14

DAVIS COUNTY RECORDER
BY _____ DEPUTY RECORDER

UTILITY COMPANY APPROVAL	SALT LAKE CITY 1485 West Hillfield Rd. Suite 204 Layton UT 84041 Phone: 801.547.1100 Fax: 801.593.6315 WWW.ENSIGNUTAH.COM	CITY ATTORNEY'S APPROVAL	PLANNING COMMISSION APPROVAL	CITY ENGINEER'S APPROVAL	CITY COUNCIL APPROVAL	SHEET 1 OF 1
ROCKY MOUNTAIN POWER _____ DATE _____	SALT LAKE CITY Phone: 801.255.0529	APPROVED THIS _____ DAY OF _____, 20__ BY THE SYRACUSE CITY ATTORNEY.	APPROVED THIS _____ DAY OF _____, 20__ BY THE CITY PLANNING COMMISSION APPROVAL	APPROVED THIS _____ DAY OF _____, 20__ BY THE SYRACUSE CITY ENGINEER	APPROVED THIS _____ DAY OF _____, 20__ BY THE SYRACUSE CITY COUNCIL	PROJECT NUMBER: L2138 MANAGER: K. RUSSELL DRAWN BY: J. MOSS CHECKED BY: K. RUSSELL DATE: 9/16/14
QUESTAR GAS _____ DATE _____	PLEASANT GROVE Phone: 801.796.8145	SYRACUSE CITY ATTORNEY	CHARMAN, SYRACUSE CITY PLANNING COMMISSION	SYRACUSE CITY ENGINEER	CITY RECORDER CITY MAYOR	DAVIS COUNTY RECORDER BY _____ DEPUTY RECORDER
CENTURY LINK _____ DATE _____	TOOELE Phone: 435.843.3990					

GENERAL NOTES

- ALL WORK TO CONFORM TO SYRACUSE CITY STANDARDS, DRAWINGS, AND APWA STANDARD PLANS AND SPECIFICATIONS. WHERE CITY STANDARDS OR PROJECT DRAWINGS DO NOT COVER THE WORK, THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND PLANS, ETC.
- ALL EXISTING MANHOLES, WATER VALVES, CLEAN OUTS, ETC., SHALL BE ADJUSTED TO FINISH GRADE.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
- CONTRACTOR TO NOTIFY SYRACUSE CITY AND ENSIGN ENGINEERING 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION REQUIRED FOR THIS PROJECT.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE SYRACUSE CITY OR DAVIS COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, AT ALL CHANGES IN DIRECTION, AND IN CURB AND SIDEWALK AT EQUAL INTERVALS NOT TO EXCEED 50 FEET. SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/2 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING.
- CONCRETE WATERWAYS, CURB WALLS, MOW STRIPS, CURB AND GUTTER, ETC., WILL TYPICALLY BE SCORED (1/2 THE DEPTH) AT INTERVALS NOT TO EXCEED 10 FEET, AND HAVE FULL DEPTH EXPANSION JOINTS THAT EQUAL SPACING NOT TO EXCEED 50 FEET.
- UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (95 % DENSITY) SUB GRADE.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED, ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- ALL JOINTS (CONTROL JOINTS, CONSTRUCTION JOINTS, EXPANSION JOINTS, ETC.), WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT (SEE SPECIFICATION).
- SAW CUT EDGE OF EXISTING ASPHALT AND INSTALL ASPHALT TO NEW CURB AND GUTTER PER SYRACUSE CITY STANDARDS AND SPECIFICATIONS.
- ALL EXISTING ASPHALT WILL BE SAW CUT IN NEAT STRAIGHT LINES BY THE CONTRACTOR PRIOR TO PAVING TO MATCH.
- EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95 % OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2 % ABOVE NOR 3 % BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUB GRADE AREAS WITHIN THE BUILDING PAD AREA, AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTORS MUST START AT THE LOW END OF ALL GRAVITY FED LINES AND WORK UPHILL.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH SYRACUSE CITY STANDARDS AND SPECIFICATIONS AND DETAILS.
- SEWER LINES SHALL BE SDR-35 PVC PIPE.
- SEWER LATERALS SHALL BE CONSTRUCTED SUCH THAT CONNECTION IS MADE TO THE UPPER QUADRANT OF THE SEWER MAIN PER SYRACUSE CITY STANDARDS AND DETAILS.
- CONTRACTOR IS TO SUBMIT SITE PLAN TO QUESTAR GAS CO. FOR DESIGN OF GAS LINE SERVICE TO LOTS. ACTUAL CONSTRUCTION OF SERVICE TO BE DONE BY QUESTAR GAS COMPANY.
- ALL NEW SECONDARY WATER SHALL BE DONE IN ACCORDANCE WITH SYRACUSE CITY STANDARDS AND SPECIFICATIONS.
- ALL NEW CULINARY WATER CONSTRUCTION SHALL CONFORM TO SYRACUSE CITY STANDARD SPECIFICATIONS AND DETAILS.
- CONTRACTOR TO LOOP NEW WATERLINE AROUND GRAVITY UTILITIES IF CONFLICT DOES OCCUR. (NOTIFY ENGINEER OF THE PROBLEM).
- ALL CULINARY AND SECONDARY WATERLINE PIPE AND FITTINGS TO BE C900 DR-14.
- ALL THRUST BLOCKS SHALL BE POURED IN PLACE AGAINST UNDISTURBED SOIL AS PER SPECIFICATIONS. ALL VALVES, FITTINGS, AND APPURTENANCES TO BE BLOCKED. THRUST BLOCKS SHALL BE SIZED FOR 200 PSI WORKING PRESSURE PER BEARING PRESSURE FROM SOILS REPORT.
- ALL STORM DRAIN PIPING SHALL BE CLASS III RCP UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- EXISTING SEWER MAIN TO REMAIN IN SERVICE UNTIL NEW MAIN HAS BEEN INSTALLED, TESTED, AND ALL SERVICES HAVE BEEN RECONNECTED.
- THE CONTRACTOR SHALL PLACE TEMPORARY STREET ASPHALT SURFACES IF THE WORK IS ACCOMPLISHED AT A TIME WHEN PERMANENT ASPHALT SURFACING MATERIAL IS NOT AVAILABLE. AT THE TIME PERMANENT ASPHALT BECOMES AVAILABLE, THE CONTRACTOR SHALL FURNISH AND PLACE ASPHALT PER SYRACUSE CITY STANDARDS. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR PERIOD OF TWO YEARS FROM THE DATE OF COMPLETION.
- ALL CONCRETE VALVE BOXES WILL BE POURED IN PLACE AGAINST UNDISTURBED SOIL AND BUILT WITH A DUCTILE IRON RING AND COVER POSITIONED OVER THE VALVE OPERATING UNIT CENTERED OVER THE MAN WAY OPENING.
- CONTRACTOR TO LAYOUT AND POTHOLE FOR ALL POTENTIAL CONFLICTS WITH UTILITY LINES ON OR OFF SITE AS REQUIRED PRIOR TO ANY CONSTRUCTION, AND THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY POT HOLING A MINIMUM OF 300 FEET AHEAD OF PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. IF A CONFLICT ARISES RESULTING FROM THE CONTRACTORS NEGLIGENCE TO POTHOLE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW PIPE DURING CONSTRUCTION.
- HANDICAP ACCESSIBILITY: ALL CONSTRUCTION SHALL MEET THE CURRENT ADA HANDICAP ACCESSIBILITY REQUIREMENTS AND STANDARDS. FOR ANY DISCREPANCIES BETWEEN THE PLANS AND CURRENT ADA STANDARD REQUIREMENTS, CURRENT ADA STANDARD REQUIREMENTS WILL GOVERN.
- 700 SOUTH IS CURRENTLY UNDER MORATORIUM. THE FULL WIDTH OF 700 SOUTH FROM STATION 2+90 TO 10+10 SHALL BE MILLED TO A DEPTH OF 2" AND REPLACED WITH NEW ASPHALT. ALL TRENCHES SHALL BE REPAIRED WITH IMPORT AND CAPPED WITH 12" OF BASE ON 4" OF ASPHALT. THE EXISTING ROAD HAS A N.R. 5. MASTIC SEALER (ONLY) WHICH WILL ALSO NEED TO BE REPLACED ALONG WITH THE STRIPING. MILL TO BE INSTALLED UPON COMPLETION OF PHASE 2 ROAD IMPROVEMENTS IN 700 SOUTH STREET.
- SIDEWALKS SHALL BE 6" THICK THROUGH DRIVEWAYS.
- INSTALL SNAKEPIT PEDESTALS PER SYRACUSE CITY STANDARDS ON CULINARY AND SECONDARY WATER MAINS.
- INSTALL A 5' NON-CLIMBABLE FENCE FROM THE SOUTHEAST CORNER OF LOT 301 TO THE NORTHEAST CORNER OF LOT 305. THE DEVELOPER IS TO PROVIDE A LANDSCAPE CERTIFICATE FOR LOTS 301-305 TO ACCOMMODATE THE REQUIRED LANDSCAPE BUFFER ON SAID LOTS PER SYRACUSE CITY CODE 10.30.060.

CITY ENGINEER ACCEPTANCE OF IMPROVEMENT PLANS

THE IMPROVEMENT PLANS FOR THIS SUBDIVISION HAVE BEEN REVIEWED BY THE CITY ENGINEER FOR GENERAL CONFORMANCE WITH THE REQUIREMENTS OF THE CITY SUBDIVISION ORDINANCE. THIS SET OF CITY APPROVED DRAWINGS SHALL BE USED FOR CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS. THE DEVELOPERS ENGINEER, WHOSE STAMP IS ON THESE DRAWINGS, IS RESPONSIBLE FOR THE ENGINEERING DESIGN, DRAFTING AND RELATED FIELD INFORMATION. THE CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR: THE DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE; FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION; COORDINATION OF HIS OR HER WORK WITH THAT OF ALL OTHER TRADES; AND THE SATISFACTORY PERFORMANCE OF HIS OR HER WORK.

BY: _____ DATE: _____
CITY ENGINEER

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

TRAFFIC CONTROL AND SAFETY NOTES

- BARRICAADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT MANUAL IF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE CITY TRAFFIC ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
- TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

ABBREVIATIONS

APWA	AMERICAN PUBLIC WORKS ASSOCIATION	NO	NUMBER
AR	ACCESSIBLE ROUTE	OC	ON CENTER
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	OCW	ON CENTER EACH WAY
AWWA	AMERICAN WATER WORKS ASSOCIATION	OHP	OVERHEAD POWER
BOS	BOTTOM OF STEP	PC	POINT OF CURVATURE OR PRESSURE CLASS
BVC	BEGIN VERTICAL CURVE	PCC	POINT OF COMPOUND CURVATURE
C	CURVE	PI	POINT OF INTERSECTION
CB	CATCH BASIN	PIP	PLASTIC IRRIGATION PIPE
CF	CURB FACE	PIV	POST INDICATOR VALVE
CO	CLEAN OUT	PRC	POINT OF REVERSE CURVATURE
COMM	COMMUNICATION	PRO	PROPOSED
CONC	CONCRETE	PT	POINT OF TANGENCY
CONT	CONTINUOUS	PVC	POINT OF VERTICAL CURVATURE
DIA	DIAMETER	PVI	POINT OF VERTICAL INTERSECTION
DIP	DUCTILE IRON PIPE	PVT	POINT OF VERTICAL TANGENCY
ELEC	ELECTRICAL	R	RADIUS
ELEV	ELEVATION	RD	ROOF DRAIN
EOA	EDGE OF ASPHALT	ROW	RIGHT OF WAY
EVC	END OF VERTICAL CURVE	S	SLOPE
EW	EACH WAY	SAN SWR	SANITARY SEWER
EXIST	EXISTING	SD	STORM DRAIN
FF	FINISH FLOOR	SEC	SECONDARY
LD	LAND DRAIN	SS	SANITARY SEWER
FH	FIRE HYDRANT	STA	STATION
FL	FLOW LINE OR FLANGE	SW	SIDEWALK
GB	GRADE BREAK	SWL	SECONDARY WATER LINE
GV	GATE VALVE	TBC	TOP BACK OF CURB
HC	HANDICAP	TOG	TOP OF GRATE
HP	HIGH POINT	TOA	TOP OF ASPHALT
IRR	IRRIGATION	TOC	TOP OF CONCRETE
K	RATE OF VERTICAL CURVATURE	TOF	TOP OF FOUNDATION
LD	LAND DRAIN	TOW	TOP OF WALL
LF	LINEAR FEET	TOS	TOP OF STEP
LP	LOW POINT	TYP	TYPICAL
MH	MANHOLE	VC	VERTICAL CURVE
MIN	MINIMUM	WIV	WALL INDICATOR VALVE
MJ	MECHANICAL JOINT	WL	WATER LINE
NG	NATURAL GROUND		

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

LEGEND

	SECTION CORNER		EXISTING TREE
	EXISTING MONUMENT		DENSE VEGETATION
	PROPOSED MONUMENT		EXISTING EDGE OF ASPHALT
	EXISTING REBAR AND CAP		PROPOSED EDGE OF ASPHALT
	SET ENSIGN REBAR AND CAP		EXISTING STRIPING
	EXISTING WATER METER		PROPOSED STRIPING
	PROPOSED WATER METER		EXISTING FENCE
	EXISTING WATER MANHOLE		PROPOSED FENCE
	PROPOSED WATER MANHOLE		EXISTING FLOW LINE
	EXISTING WATER BOX		PROPOSED FLOW LINE
	EXISTING WATER VALVE		GRADE BREAK
	PROPOSED WATER VALVE		EXISTING STORM DRAIN LINE
	EXISTING FIRE HYDRANT		PROPOSED STORM DRAIN LINE
	PROPOSED FIRE HYDRANT		ROOF DRAIN LINE
	PROPOSED FIRE DEPARTMENT CONNECTION		CATCHMENTS
	EXISTING SECONDARY WATER VALVE		HIGHWATER LINE
	PROPOSED SECONDARY WATER VALVE		EXISTING SANITARY SEWER
	EXISTING IRRIGATION BOX		PROPOSED SAN. SWR. SERVICE LINE
	EXISTING IRRIGATION VALVE		EXISTING LAND DRAIN LINE
	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
	EXISTING SANITARY SEWER MANHOLE		EXISTING CULINARY WATER LINE
	PROPOSED SANITARY SEWER MANHOLE		PROPOSED CULINARY WATER LINE
	EXISTING SANITARY CLEAN OUT		PROPOSED STORM DRAIN LINE
	EXISTING STORM DRAIN CLEAN OUT BOX		PROPOSED STORM DRAIN LINE
	PROPOSED STORM DRAIN CLEAN OUT BOX		PROPOSED STORM DRAIN LINE
	EXISTING STORM DRAIN INLET BOX		PROPOSED STORM DRAIN LINE
	EXISTING STORM DRAIN CATCH BASIN		PROPOSED STORM DRAIN LINE
	PROPOSED STORM DRAIN CATCH BASIN		PROPOSED STORM DRAIN LINE
	EXISTING STORM DRAIN COMBO BOX		PROPOSED STORM DRAIN LINE
	PROPOSED STORM DRAIN COMBO BOX		PROPOSED STORM DRAIN LINE
	EXISTING STORM DRAIN CLEAN OUT		PROPOSED STORM DRAIN LINE
	EXISTING STORM DRAIN CULVERT		PROPOSED STORM DRAIN LINE
	PROPOSED STORM DRAIN CULVERT		PROPOSED STORM DRAIN LINE
	TEMPORARY SAG INLET PROTECTION		PROPOSED STORM DRAIN LINE
	TEMPORARY IN-LINE INLET PROTECTION		PROPOSED STORM DRAIN LINE
	ROOF DRAIN		PROPOSED STORM DRAIN LINE
	EXISTING ELECTRICAL MANHOLE		PROPOSED STORM DRAIN LINE
	EXISTING ELECTRICAL BOX		PROPOSED STORM DRAIN LINE
	EXISTING TRANSFORMER		PROPOSED STORM DRAIN LINE
	EXISTING UTILITY POLE		PROPOSED STORM DRAIN LINE
	EXISTING LIGHT		PROPOSED STORM DRAIN LINE
	PROPOSED LIGHT		PROPOSED STORM DRAIN LINE
	EXISTING GAS METER		PROPOSED STORM DRAIN LINE
	EXISTING GAS MANHOLE		PROPOSED STORM DRAIN LINE
	EXISTING GAS VALVE		PROPOSED STORM DRAIN LINE
	EXISTING TELEPHONE MANHOLE		PROPOSED STORM DRAIN LINE
	EXISTING TELEPHONE BOX		PROPOSED STORM DRAIN LINE
	EXISTING TRAFFIC SIGNAL BOX		PROPOSED STORM DRAIN LINE
	EXISTING CABLE BOX		PROPOSED STORM DRAIN LINE
	EXISTING BOLLARD		PROPOSED STORM DRAIN LINE
	PROPOSED BOLLARD		PROPOSED STORM DRAIN LINE
	EXISTING SIGN		PROPOSED STORM DRAIN LINE
	PROPOSED SIGN		PROPOSED STORM DRAIN LINE
	EXISTING SPOT ELEVATION		PROPOSED STORM DRAIN LINE
	PROPOSED SPOT ELEVATION		PROPOSED STORM DRAIN LINE
	EXISTING FLOW DIRECTION		PROPOSED STORM DRAIN LINE

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.



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SALT LAKE CITY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

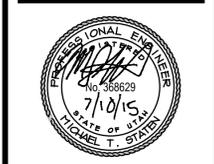
COLORADO SPRINGS
Phone: 719.476.0119

WWW.ENSIGNENG.COM

FOR:
MSA MARK SANDBERG
1882 WOODHAVEN DRIVE
HENDERSON, NEVADA 89074

CONTACT:
MARK SANDBERG
PHONE: 702-205-4627
FAX:

TRAIL'S EDGE SUBDIVISION
PHASE 3
3200 WEST 700 SOUTH STREET
SYRACUSE, UTAH



NO.	DATE	REVISION	BY
1	5-15	FOR REVIEW	MJS
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NOTES

PROJECT NUMBER: L2138
PRINT DATE: 7/9/15
DRAWN BY: M.ELLMER
CHECKED BY: M.STATTON
PROJECT MANAGER: K.RUSSELL

C-001

811
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

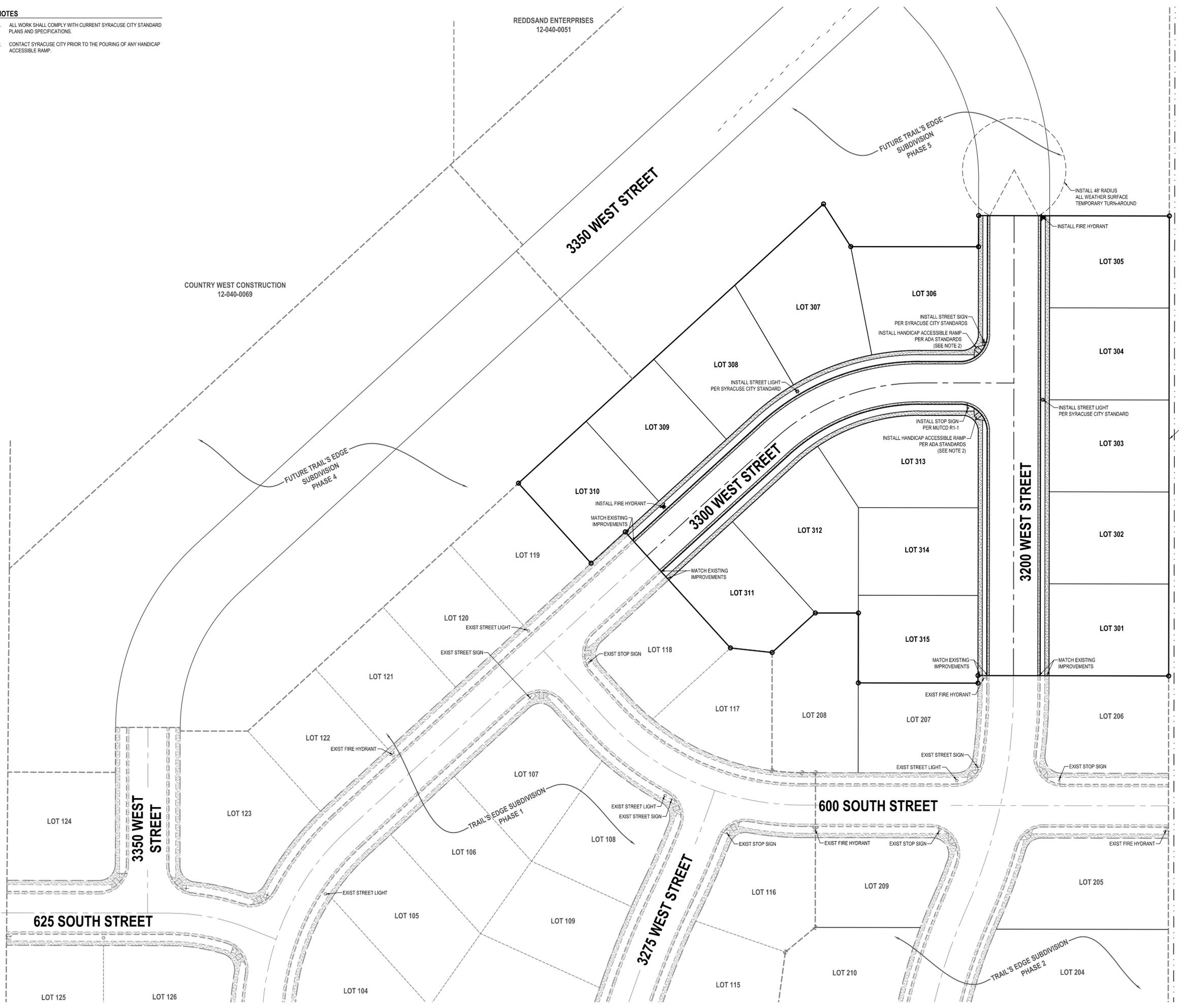
BENCHMARK

BENCHMARK IS THE SOUTH QUARTER
CORNER OF SECTION 5, TOWNSHIP 4 NORTH,
RANGE 2 WEST, SALT LAKE BASE & MERIDIAN
ELEVATION = 4245.76

- NOTES**
1. ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
 2. CONTACT SYRACUSE CITY PRIOR TO THE POURING OF ANY HANDICAP ACCESSIBLE RAMP.

REDD SAND ENTERPRISES
12-040-0051

COUNTRY WEST CONSTRUCTION
12-040-0069



EN SIGN
THE STANDARD IN ENGINEERING

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PHASE 3
3200 WEST 700 SOUTH STREET
SYRACUSE, UTAH**

LDS CHURCH



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SITE PLAN

PROJECT NUMBER: L2138
PRINT DATE: 7/9/15

DRAWN BY: MELMER
CHECKED BY: M.STATEN

PROJECT MANAGER: KRUSSELL

C-100

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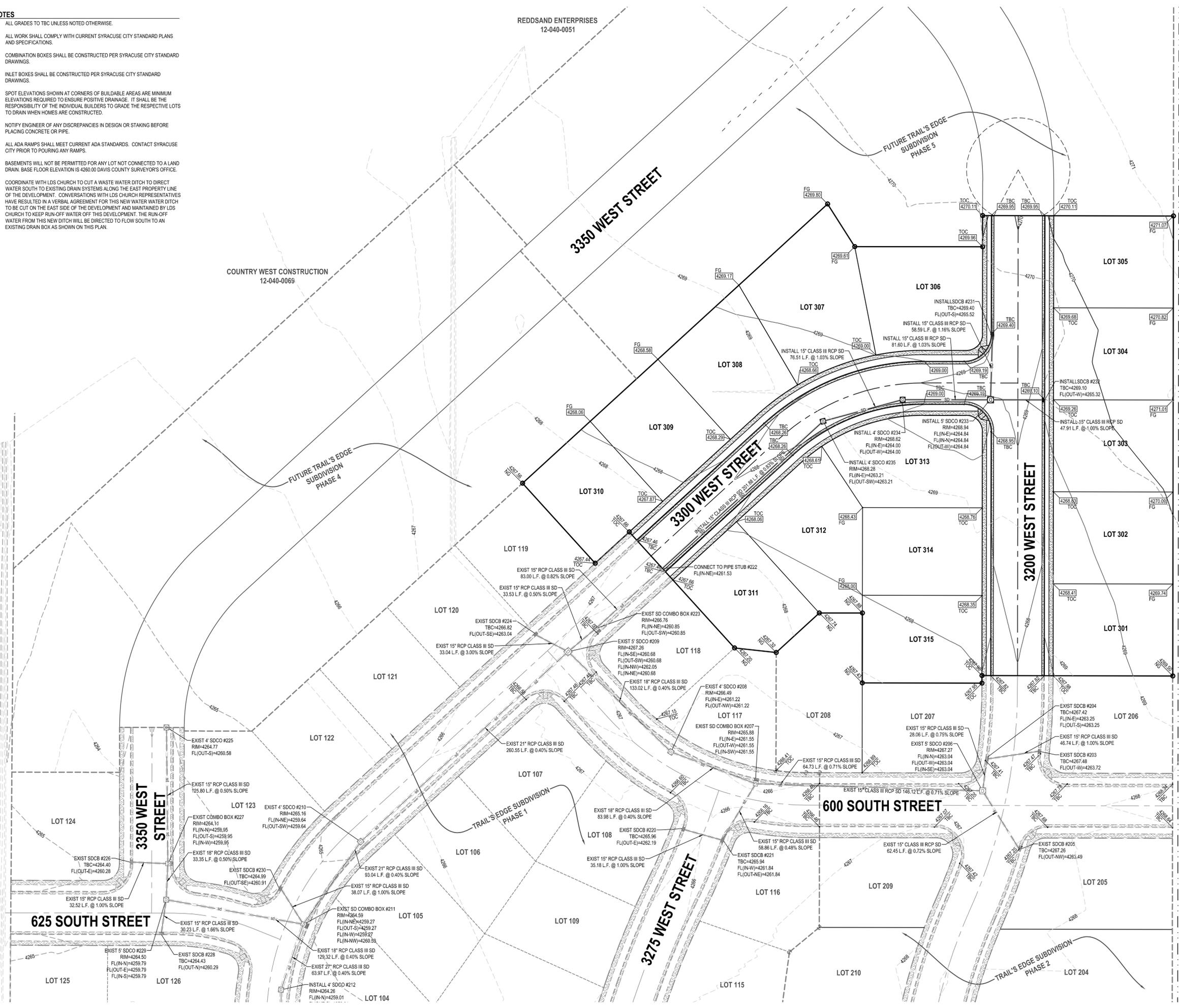
BENCHMARK

BENCHMARK IS THE SOUTH QUARTER
CORNER OF SECTION 5, TOWNSHIP 4 NORTH,
RANGE 2 WEST, SALT LAKE BASE & MERIDIAN
ELEVATION = 4245.76

- NOTES**
1. ALL GRADES TO TBC UNLESS NOTED OTHERWISE.
 2. ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
 3. COMBINATION BOXES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD DRAWINGS.
 4. INLET BOXES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD DRAWINGS.
 5. SPOT ELEVATIONS SHOWN AT CORNERS OF BUILDABLE AREAS ARE MINIMUM ELEVATIONS REQUIRED TO ENSURE POSITIVE DRAINAGE. IT SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL BUILDERS TO GRADE THE RESPECTIVE LOTS TO DRAIN WHEN HOMES ARE CONSTRUCTED.
 6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR PIPE.
 7. ALL ADA RAMPS SHALL MEET CURRENT ADA STANDARDS. CONTACT SYRACUSE CITY PRIOR TO POURING ANY RAMPS.
 8. BASEMENTS WILL NOT BE PERMITTED FOR ANY LOT NOT CONNECTED TO A LAND DRAIN. BASE FLOOR ELEVATION IS 4260.00 DAVIS COUNTY SURVEYOR'S OFFICE.
 9. COORDINATE WITH LDS CHURCH TO CUT A WASTE WATER DITCH TO DIRECT WATER SOUTH TO EXISTING DRAIN SYSTEMS ALONG THE EAST PROPERTY LINE OF THE DEVELOPMENT. CONVERSATIONS WITH LDS CHURCH REPRESENTATIVES HAVE RESULTED IN A VERBAL AGREEMENT FOR THIS NEW WATER WATER DITCH TO BE CUT ON THE EAST SIDE OF THE DEVELOPMENT AND MAINTAINED BY LDS CHURCH TO KEEP RUN-OFF WATER OFF THIS DEVELOPMENT. THE RUN-OFF WATER FROM THIS NEW DITCH WILL BE DIRECTED TO FLOW SOUTH TO AN EXISTING DRAIN BOX AS SHOWN ON THIS PLAN.

REDDSSAND ENTERPRISES
12-040-0051

COUNTRY WEST CONSTRUCTION
12-040-0069



NEW DITCH FOR WASTE WATER - SEE NOTE 9 THIS SHEET

LDS CHURCH

**TRAIL'S EDGE SUBDIVISION
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SYRACUSE, UTAH**

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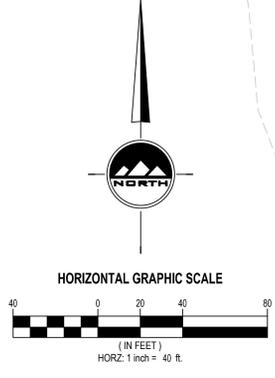
GRADING AND DRAINAGE PLAN

PROJECT NUMBER: L2138
PRINT DATE: 7/9/15

DRAWN BY: M.ELMER
CHECKED BY: M.STATEN

PROJECT MANAGER: K.RUSSELL

C-200



811
Know what's below.
Call before you dig.

BENCHMARK
BENCHMARK IS THE SOUTH QUARTER CORNER OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN
ELEVATION = 4245.76

NOTES

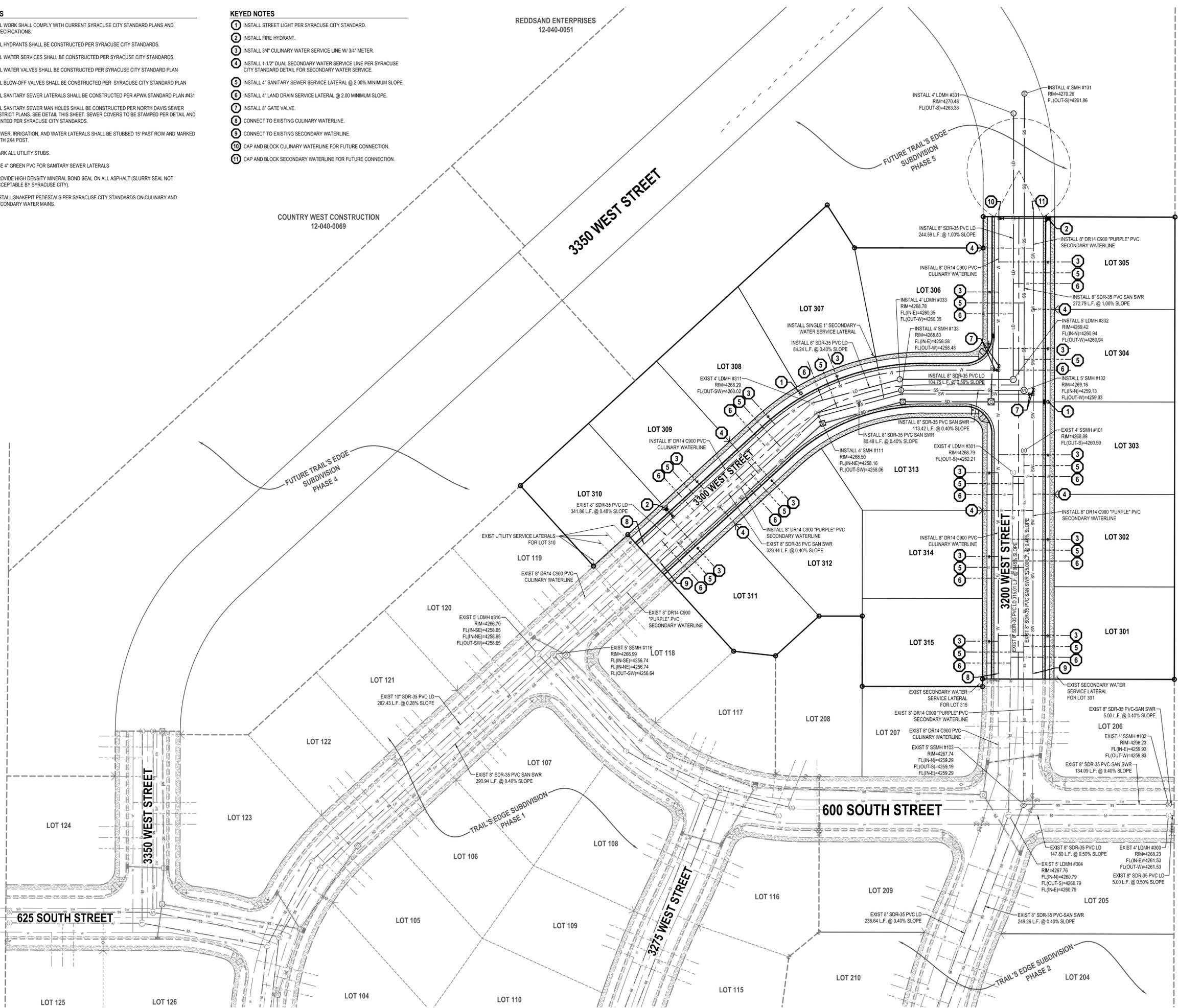
1. ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
2. ALL HYDRANTS SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARDS.
3. ALL WATER SERVICES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARDS.
4. ALL WATER VALVES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD PLAN
5. ALL BLOW-OFF VALVES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD PLAN
6. ALL SANITARY SEWER LATERALS SHALL BE CONSTRUCTED PER APWA STANDARD PLAN #431
7. ALL SANITARY SEWER MAN HOLES SHALL BE CONSTRUCTED PER NORTH DAVIS SEWER DISTRICT PLANS. SEE DETAIL THIS SHEET. SEWER COVERS TO BE STAMPED PER DETAIL AND VENTED PER SYRACUSE CITY STANDARDS.
8. SEWER, IRRIGATION, AND WATER LATERALS SHALL BE STUBBED 15' PAST ROW AND MARKED WITH 2X4 POST.
9. MARK ALL UTILITY STUBS.
10. USE 4" GREEN PVC FOR SANITARY SEWER LATERALS
11. PROVIDE HIGH DENSITY MINERAL BOND SEAL ON ALL ASPHALT (SLURRY SEAL NOT ACCEPTABLE BY SYRACUSE CITY).
12. INSTALL SNAKEPIT PEDESTALS PER SYRACUSE CITY STANDARDS ON CULINARY AND SECONDARY WATER MAINS.

KEYED NOTES

1. INSTALL STREET LIGHT PER SYRACUSE CITY STANDARD.
2. INSTALL FIRE HYDRANT.
3. INSTALL 3/4" CULINARY WATER SERVICE LINE W/ 3/4" METER.
4. INSTALL 1-1/2" DUAL SECONDARY WATER SERVICE LINE PER SYRACUSE CITY STANDARD DETAIL FOR SECONDARY WATER SERVICE.
5. INSTALL 4" SANITARY SEWER SERVICE LATERAL @ 2.00% MINIMUM SLOPE.
6. INSTALL 4" LAND DRAIN SERVICE LATERAL @ 2.00 MINIMUM SLOPE.
7. INSTALL 8" GATE VALVE.
8. CONNECT TO EXISTING CULINARY WATERLINE.
9. CONNECT TO EXISTING SECONDARY WATERLINE.
10. CAP AND BLOCK CULINARY WATERLINE FOR FUTURE CONNECTION.
11. CAP AND BLOCK SECONDARY WATERLINE FOR FUTURE CONNECTION.

REDDSD ENTERPRISES
12-040-0051

COUNTRY WEST CONSTRUCTION
12-040-0069



EN SIGN
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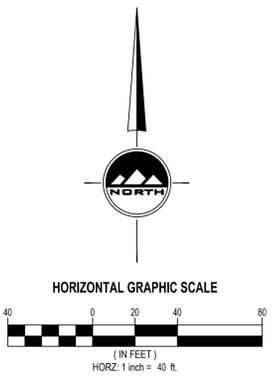


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UTILITY PLAN

PROJECT NUMBER: L2138
PRINT DATE: 7/9/15
DRAWN BY: MELMER
CHECKED BY: M.STATEN
PROJECT MANAGER: KRUSSELL

C-300



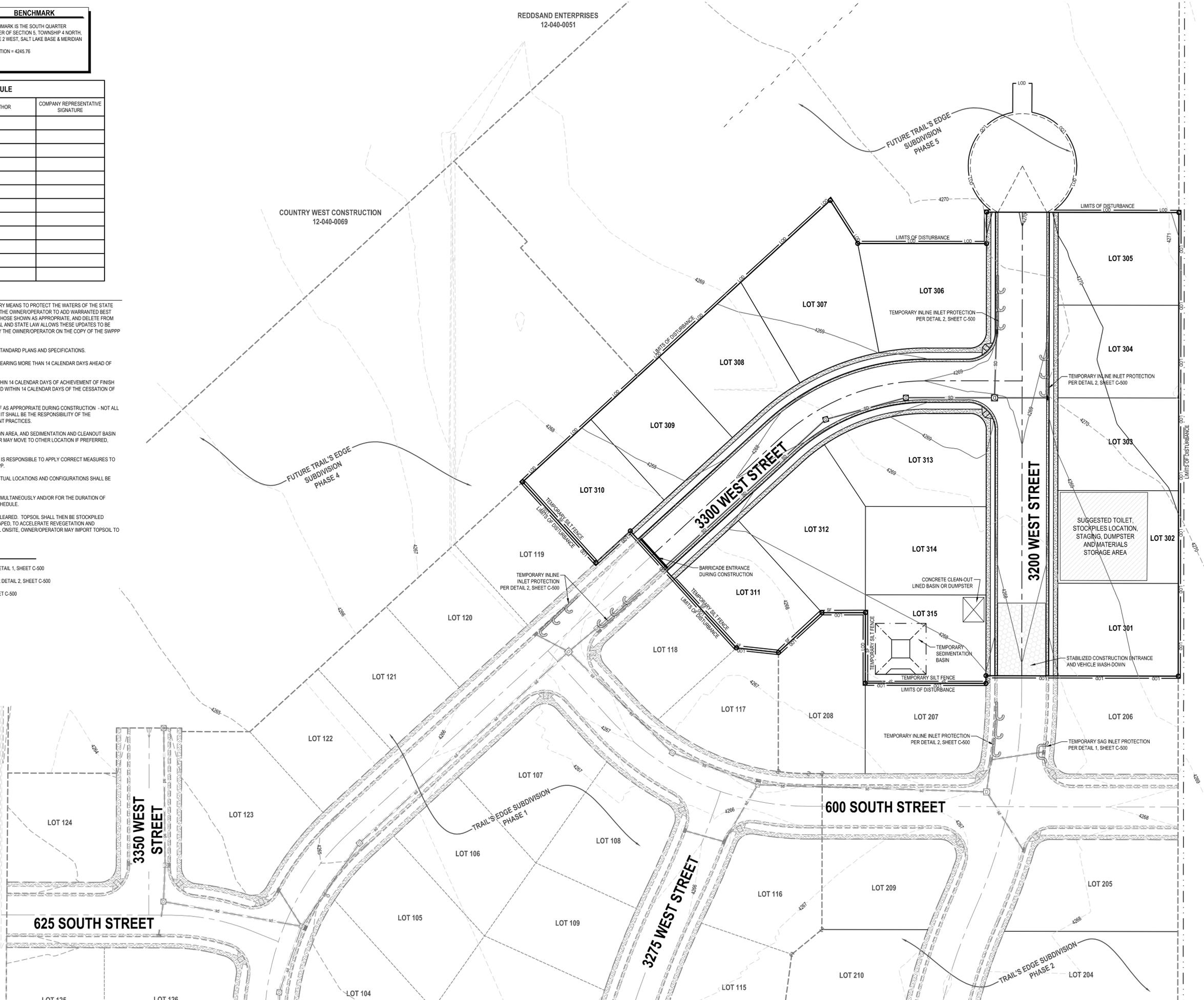
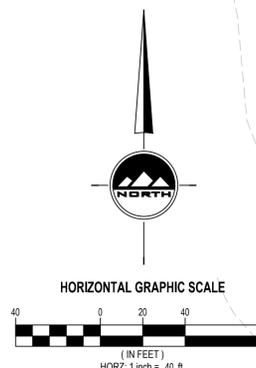


BENCHMARK
 BENCHMARK IS THE SOUTH QUARTER CORNER OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN
 ELEVATION = 4245.76

REVISION SCHEDULE			
NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE
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- NOTES**
- THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY. MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
 - ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
 - DISTURBED LAND SHALL BE KEPT TO A MINIMUM - NO SITE CLEARING MORE THAN 14 CALENDAR DAYS AHEAD OF CONSTRUCTION IN ANY GIVEN AREA SHALL BE ALLOWED.
 - RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
 - DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION - NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES.
 - STABILIZED CONSTRUCTION ENTRANCE, VEHICLE WASH-DOWN AREA, AND SEDIMENTATION AND CLEANOUT BASIN HAVE BEEN SHOWN AT SUGGESTED LOCATION. CONTRACTOR MAY MOVE TO OTHER LOCATION IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
 - NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT POLLUTION OF STORM WATER PER PROJECT SWPPP.
 - PLAN LOCATIONS SHOWN FOR BMP'S ARE APPROXIMATE. ACTUAL LOCATIONS AND CONFIGURATIONS SHALL BE FIELD-DETERMINED BY THE OWNER/OPERATOR.
 - NOT ALL BMP'S SHOWN CAN OR SHOULD BE IMPLEMENTED SIMULTANEOUSLY AND/OR FOR THE DURATION OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
 - EXISTING TOPSOIL IS TO BE HARVESTED WHEN GROUND IS CLEARED. TOPSOIL SHALL THEN BE STOCKPILED ON-SITE FOR USE IN AREAS NOT OTHERWISE TO BE LANDSCAPED, TO ACCELERATE REVEGETATION AND STABILIZATION. AS AN ALTERNATE TO STOCKPILING TOPSOIL ONSITE, OWNER/OPERATOR MAY IMPORT TOPSOIL TO AREAS TO BE STABILIZED FROM OFFSITE.

- LEGEND**
- TEMPORARY SAG INLET PROTECTION PER DETAIL 1, SHEET C-500
 - TEMPORARY IN-LINE INLET PROTECTION PER DETAIL 2, SHEET C-500
 - SF TEMPORARY SILT FENCE PER DETAIL 3, SHEET C-500
 - PROPOSED CONCRETE
 - EXISTING CONCRETE
 - LIMITS OF DISTURBANCE
 - GRADE BREAK
 - EXISTING 5' CONTOUR
 - EXISTING 1' CONTOUR
 - PROPOSED 5' CONTOUR
 - PROPOSED 1' CONTOUR



LAYTON
 1485 W. Hill Field Rd., Ste. 204
 Layton, UT 84041
 Phone: 801.547.1100

SALT LAKE CITY
 Phone: 801.255.0529

TOOELE
 Phone: 435.843.3590

CEDAR CITY
 Phone: 435.865.1453

RICHFIELD
 Phone: 435.896.2983

COLORADO SPRINGS
 Phone: 719.476.0119

WWW.ENSGNENG.COM

FOR:
 MSA MARK SANDBERG
 1882 WOODHAVEN DRIVE
 HENDERSON, NEVADA 89014

CONTACT:
 MARK SANDBERG
 PHONE: 702-205-4627
 FAX:

**TRAIL'S EDGE SUBDIVISION
 PHASE 3
 3200 WEST 700 SOUTH STREET
 SYRACUSE, UTAH**

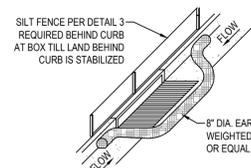


NO.	DATE	REVISION	BY
1	5-15	FOR REVIEW	MTS
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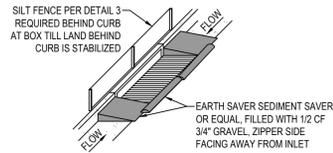
EROSION CONTROL PLAN

PROJECT NUMBER: L2138
 PRINT DATE: 7/9/15
 DRAWN BY: MELMER
 CHECKED BY: M.STATEN
 PROJECT MANAGER: KRUSSELL

C-400



WATTLE OPTION



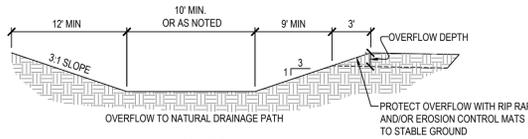
SANDBAG OPTION

NOTES:

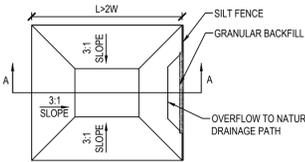
1. PLACE WATTLES OR GRAVEL BAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT-LADEN WATER FROM GETTING BETWEEN CURB AND WATTLEBAG.
2. PLACE WATTLES OR GRAVEL BAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE.
3. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BI-WEEKLY, OR PER SWPPP REQUIREMENTS, WHICHEVER IS MORE STRINGENT, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED.
4. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 50% OF GRAVEL BAG OR WATTLE HEIGHT.
5. CONTRACTOR MAY SUBMIT AN ALTERNATIVE METHOD OF INLET PROTECTION. THE ALTERNATIVE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE ENGINEER OF RECORD.
6. BEFORE PLACEMENT OF CURB, STABILIZATION OF LAND BEHIND CURB, AND/OR PAVING, MAINTAIN TOP OF INLET AT 6" ABOVE GRADE, AND SURROUND WITH SILT FENCE FOR SEDIMENTATION AROUND BOX. MAINTAIN SILT FENCE BEHIND BOX UNTIL LAND BEHIND CURB IS STABILIZED.

1 SAG INLET PROTECTION

SCALE: NONE



A-A SECTION



PLAN VIEW

NOTES:

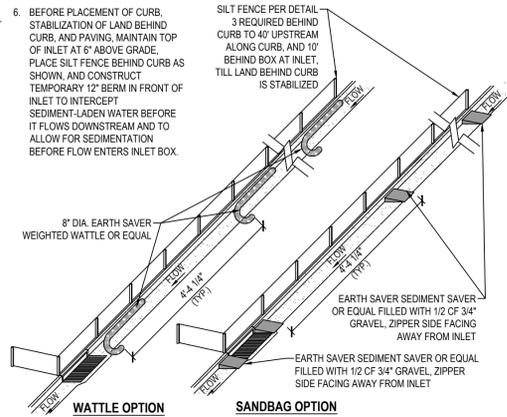
1. CLEAN OUT BASIN WHEN CAPACITY IS REDUCED BY HALF.
2. SIZE BASIN PER MINIMUM DIMENSIONS SHOWN, AND PER DIMENSIONS IN PLAN, WHICHEVER IS GREATER.
3. SAFETY FENCING IS REQUIRED FOR DEPTH GREATER THAN THREE FEET.
4. WHERE 2:1 RATIO OF LENGTH TO WIDTH IS NOT AVAILABLE, CONSTRUCT BERM(S) FOR BAFFLE(S) BETWEEN INLET AND OUTLET TO ACHIEVE 2:1 FLOW LENGTH RATIO.
5. WHERE TEMPORARY SEDIMENTATION WILL BE CONVERTED TO A PERMANENT DETENTION POND, PROTECT OUTLET PER DETAIL 8, TEMPORARY BASIN OUTLET PROTECTION.

5 TEMPORARY SEDIMENTATION BASIN

SCALE: NONE

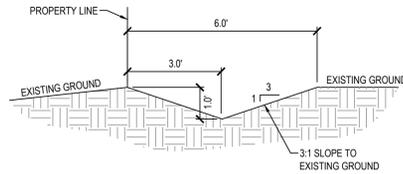
NOTES:

1. PLACE WATTLES OR GRAVEL BAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT-LADEN WATER FROM GETTING BETWEEN CURB AND WATTLEBAG.
2. PLACE WATTLES OR GRAVEL BAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE.
3. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BI-WEEKLY, OR PER SWPPP REQUIREMENTS, WHICHEVER IS MORE STRINGENT, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED.
4. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 50% OF GRAVEL BAG OR WATTLE HEIGHT.
5. CONTRACTOR MAY SUBMIT AN ALTERNATIVE METHOD OF INLET PROTECTION. THE ALTERNATIVE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE ENGINEER OF RECORD.



2 IN-LINE INLET PROTECTION

SCALE: NONE

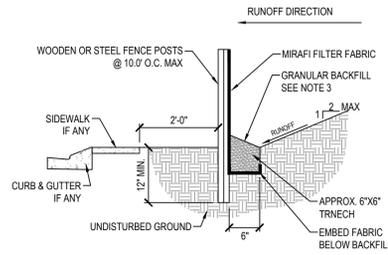


NOTES:

1. PROTECT CHANNEL FROM EROSION AS NECESSARY WITH RIP RAP, EROSION CONTROL MATS AND/OR ROCK CHECK DAMS.
2. SEDIMENT TRAPS REQUIRED AT 200' SPACING OR AS SHOWN ON PLANS, WHICHEVER IS MORE STRINGENT.
3. FOR SWALES STEEPER THAN 5%, STABILIZE SWALES WITH RIP RAP LINING IN SWALE AND ROCK CHECK DAMS SPACED AT EVERY THREE FEET OF DROP IN FLOWLINE.

6 DRAINAGE SWALE

SCALE: NONE

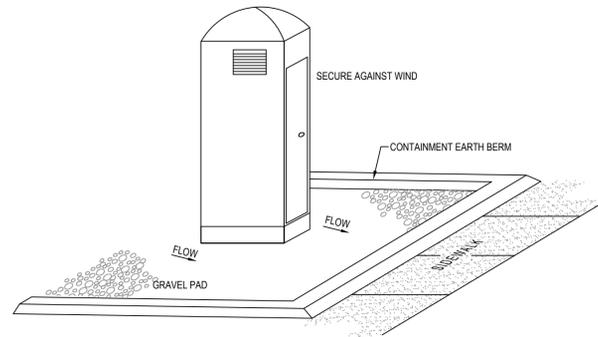


3 TEMPORARY SILT FENCE

SCALE: NONE

NOTES:

1. EXCAVATE 6" X 6" TRENCH ALONG LIMITS OF DISTURBANCE AS SHOWN ON CONSTRUCTION DRAWINGS.
2. POSTS SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
3. LAY TOE-IN FABRIC FLAP IN BOTTOM OF TRENCH, BACKFILL TRENCH WITH FREE DRAINING GRANULAR MATERIAL. COMPACT TRENCH TO SATISFACTION OF THE ENGINEER OF RECORD.
4. SILT FENCE GEOTEXTILE SHALL MEET AASHTO M288-92 REQUIREMENTS.
5. REMOVE & DISPOSE OF SEDIMENT WHEN ACCUMULATION IS 50% OF EXPOSED FENCE HEIGHT.
6. 10' MAX. SPACING BETWEEN STAKES.
7. SILT FENCES SHALL BE INSTALLED ALONG CONTOURS, NOT UP AND DOWN SLOPES, WITH 10' OVERLAP AT BREAKS.

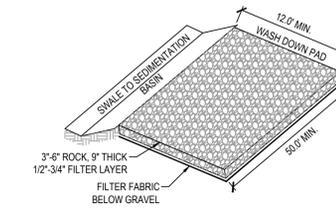


7 PORTABLE TOILET

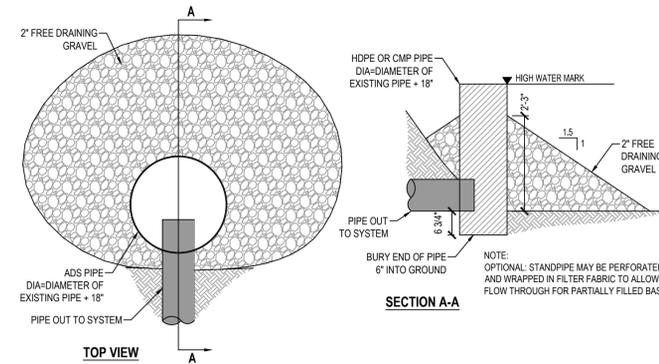
SCALE: NONE

4 TEMPORARY VEHICLE WASHDOWN & STABILIZED CONSTRUCTION ENTRANCE

SCALE: NONE



NOTE: PLACE SIGN ADJACENT TO ENTRANCE "CONSTRUCTION TRAFFIC ONLY - ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT SITE AT THIS LOCATION"



8 TEMPORARY BASIN OUTLET PROTECTION

SCALE: NONE



LAYTON
1485 W. Hill Field Rd., Ste. 204
Layton, UT 84041
Phone: 801.547.1100

SALT LAKE CITY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

COLORADO SPRINGS
Phone: 719.476.0119

WWW.ENSIGNENG.COM

FOR:
MISA MARK SANDBERG
1882 WOODHAVEN DRIVE
HENDERSON, NEVADA 89074

CONTACT:
MARK SANDBERG
PHONE: 702-205-4627
FAX:

TRAIL'S EDGE SUBDIVISION
PHASE 3
3200 WEST 700 SOUTH STREET
SYRACUSE, UTAH



NO.	DATE	REVISION	BY
1	5-15-15	FOR REVIEW	MTS
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DETAILS

PROJECT NUMBER: L2138
PRINT DATE: 7/9/15
DRAWN BY: M.ELMER
CHECKED BY: M.STATLER
PROJECT MANAGER: K.RUSSELL

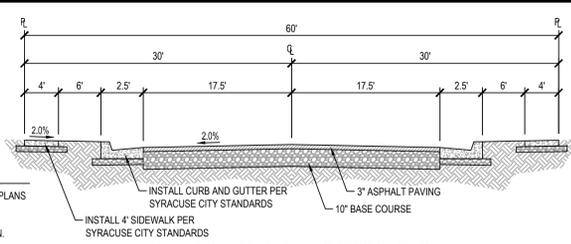
C-500



CALL BLUESTAKES @ 1800.624.4111 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

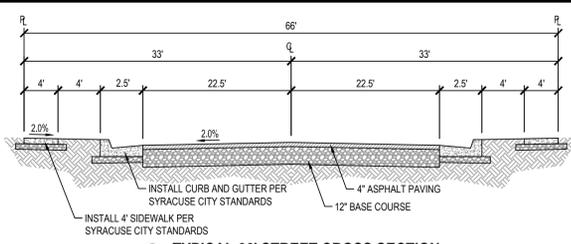
NOTES

- ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
- FIELD VERIFY ALL EXISTING ELEVATIONS PRIOR TO ANY CONSTRUCTION.
- EXTEND UTILITY LATERALS TO 10' BEYOND PROPERTY LINE.



TYPICAL 60' STREET CROSS SECTION (3300 WEST STREET)
SCALE: NONE

- NOTES:
- ROAD BASE REQUIRED 6\"/>



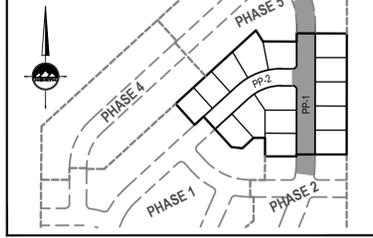
TYPICAL 66' STREET CROSS SECTION (3200 WEST STREET)
SCALE: NONE

- NOTES:
- ROAD BASE REQUIRED 6\"/>

KEYED NOTES

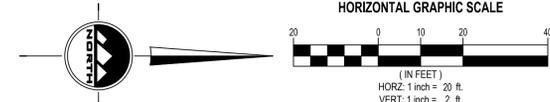
- INSTALL STREET LIGHT PER SYRACUSE CITY STANDARD.
- INSTALL FIRE HYDRANT.
- INSTALL 3/4\"/>

KEY MAP
NOT TO SCALE



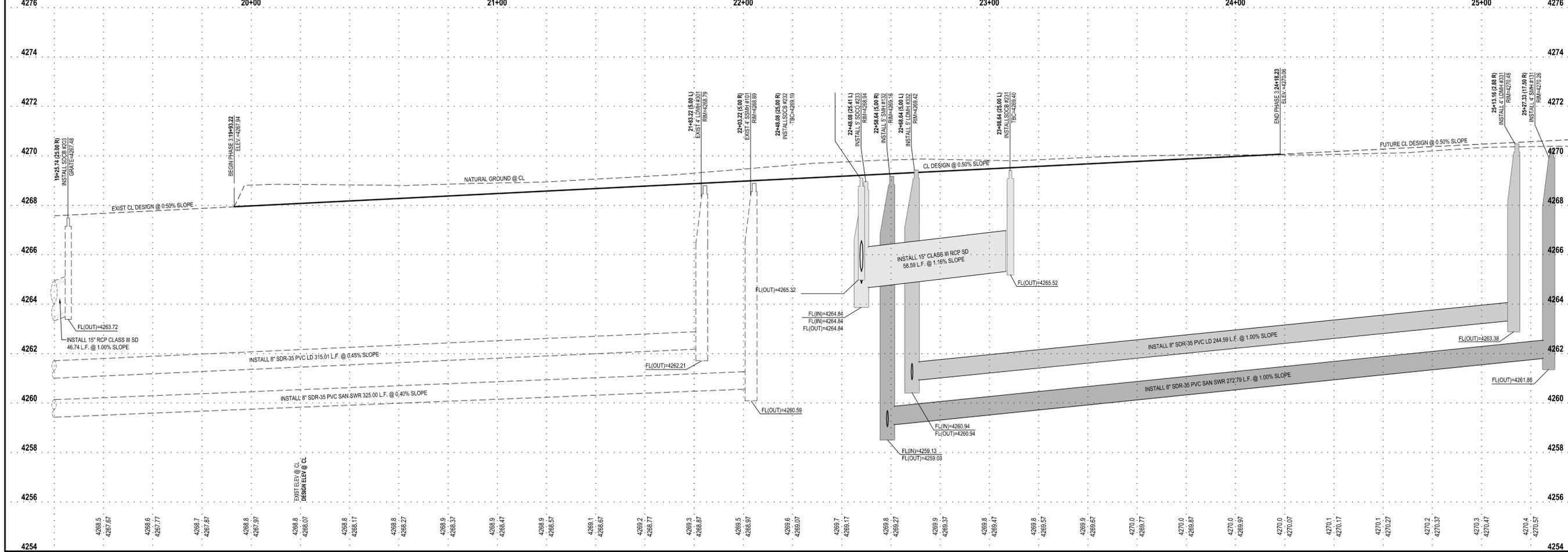
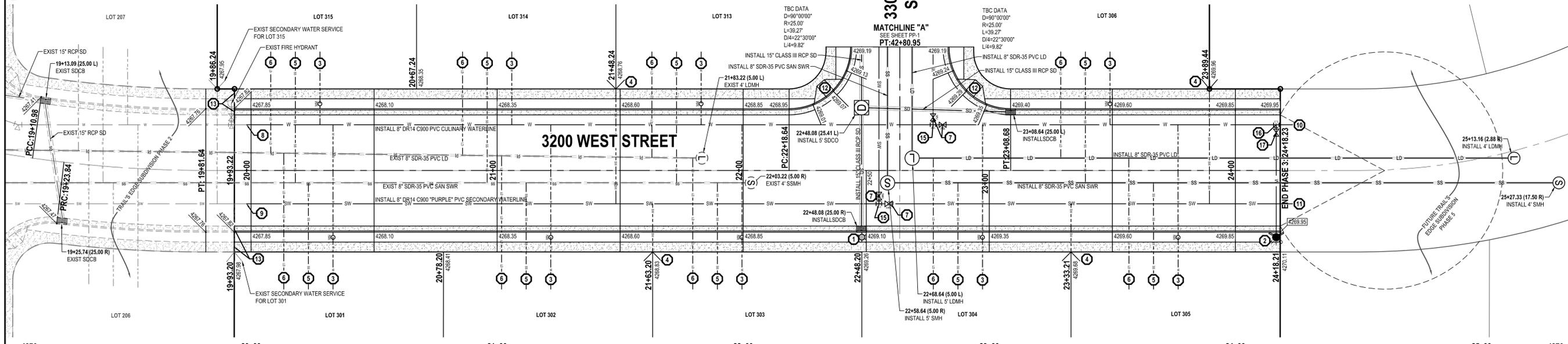
NOTICE TO CONTRACTOR

The intent of the installation of curb and gutter along 3200 WEST STREET is to match the existing asphalt paving such that proper drainage of both the existing and proposed asphalt into the proposed curb and gutter is accomplished. It is the RESPONSIBILITY OF THE CONTRACTOR to verify that drainage into the proposed curb and gutter of all run-off water from the street is accomplished prior to the placement of any concrete. Notice to Ensign Engineering of variations from the design drawings is required prior to any placement of the proposed curb and gutter.



600 SOUTH STREET

3300 WEST STREET



ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
1485 W. Hill Field Rd., Ste. 204
Layton, UT 84041
Phone: 801.547.1100

SALT LAKE CITY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

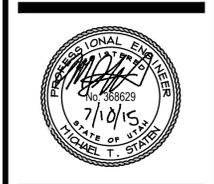
COLORADO SPRINGS
Phone: 719.476.0119

WWW.ENSIGNENG.COM

FOR:
MSA MARK SANDBERG
1882 WOODHAVEN DRIVE
HENDERSON, NEVADA 89074

CONTACT:
MARK SANDBERG
PHONE: 702-205-4627
FAX:

**TRAIL'S EDGE SUBDIVISION
PHASE 3
3200 WEST 700 SOUTH STREET
SYRACUSE, UTAH**



NO.	DATE	REVISION	BY
1	5-15	FOR REVIEW	MTS
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**3200 WEST STREET
PLAN AND PROFILE**

PROJECT NUMBER: L2138
PRINT DATE: 7/9/15
DRAWN BY: M.ELMER
CHECKED BY: M.STATEN
PROJECT MANAGER: K.RUSSELL



TRAIL'S EDGE SUBDIVISION

PHASE 4

3350 WEST 700 SOUTH
SYRACUSE CITY, UTAH

**FOR APPROVAL
FOR CONSTRUCTION**

DATE PRINTED
July 10, 2015



INDEX OF DRAWINGS

1 OF 1	SUBDIVISION PLAT
C-001	NOTES
C-100	SITE PLAN
C-200	GRADING AND DRAINAGE PLAN
C-300	UTILITY PLAN
C-400	EROSION CONTROL PLAN
C-500	DETAILS
PP-1	3350 WEST STREET PLAN AND PROFILE
PP-2	3350 WEST STREET PLAN AND PROFILE

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

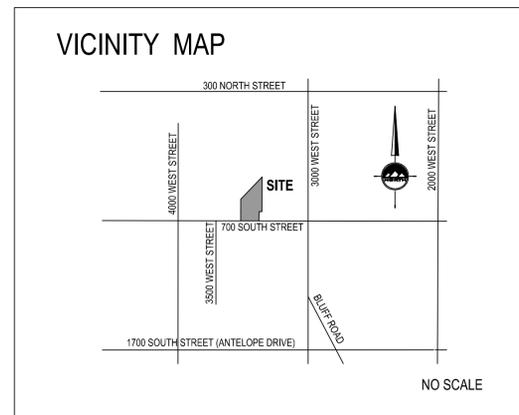
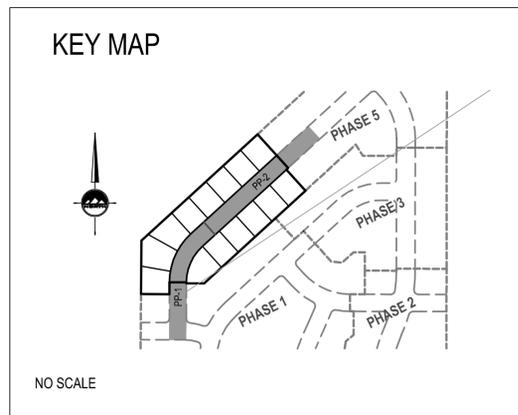
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

CITY ENGINEER ACCEPTANCE OF IMPROVEMENT PLANS

THE IMPROVEMENT PLANS FOR THIS SUBDIVISION HAVE BEEN REVIEWED BY THE CITY ENGINEER FOR GENERAL CONFORMANCE WITH THE REQUIREMENTS OF THE CITY SUBDIVISION ORDINANCE. THIS SET OF CITY APPROVED DRAWINGS SHALL BE USED FOR CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS. THE DEVELOPER'S ENGINEER, WHOSE STAMP IS ON THESE DRAWINGS, IS RESPONSIBLE FOR THE ENGINEERING DESIGN, DRAFTING AND RELATED FIELD INFORMATION. THE CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR THE DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE. FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, COORDINATION OF HIS OR HER WORK WITH THAT OF ALL OTHER TRADES, AND THE SATISFACTORY PERFORMANCE OF HIS OR HER WORK.

BY: _____ DATE: _____
CITY ENGINEER

DEVELOPER
MSA MARK SANDBERG
1882 WOODHAVEN DRIVE
HENDERSON, NEVADA 89074
702-205-4627



GENERAL NOTES

1. ALL WORK SHALL CONFORM WITH SYRACUSE CITY STANDARDS & SPECIFICATIONS.
2. ALL UTILITIES SHALL BE INSTALLED PER SYRACUSE CITY STANDARDS & SPECIFICATIONS.
3. CALL BLUE STAKES 48 HOURS PRIOR TO DIGGING.
4. BENCHMARK ELEVATION = SOUTH QUARTER CORNER OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN. ELEV. = 4245.76

ENGINEER/SURVEYOR:

EN SIGN
THE STANDARD IN ENGINEERING
WWW.ENSIGNUTAH.COM

LAYTON
1485 West Hillfield Rd.
Suite 204
Layton UT 84041
Phone: 801.547.1100
Fax: 801.593.6315

SALT LAKE CITY
Phone: 801.256.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

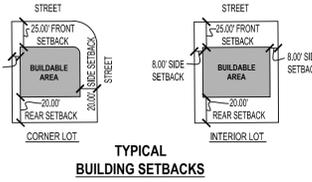
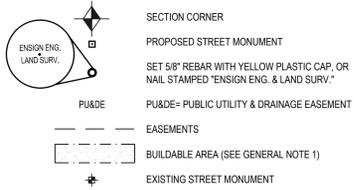
RICHFIELD
Phone: 435.590.0187

TRAIL'S EDGE SUBDIVISION PHASE 4
FOR REVIEW - JULY 10, 2015

GENERAL NOTES:

- PROPERTY IS ZONED R-3
 - FRONT YARD SETBACK IS 25'
 - REAR YARD SETBACK IS 20'
 - SIDE YARD SETBACK IS 8'
 - CORNER LOT SIDE YARD SETBACK IS 20' ON ROAD SIDE AND 10' FRONT, 8' SIDE AND 10' REAR UNLESS OTHERWISE NOTED HEREON.
- ALL PUBLIC UTILITY AND DRAINAGE EASEMENTS (PU & DE) ARE 10' FRONT, 8' SIDE AND 10' REAR UNLESS OTHERWISE NOTED HEREON.
- LOWEST FINISH FLOOR ELEVATION FOR ANY HOME IS 4260.00 (DAVIS COUNTY SURVEYOR'S OFFICE DATUM).

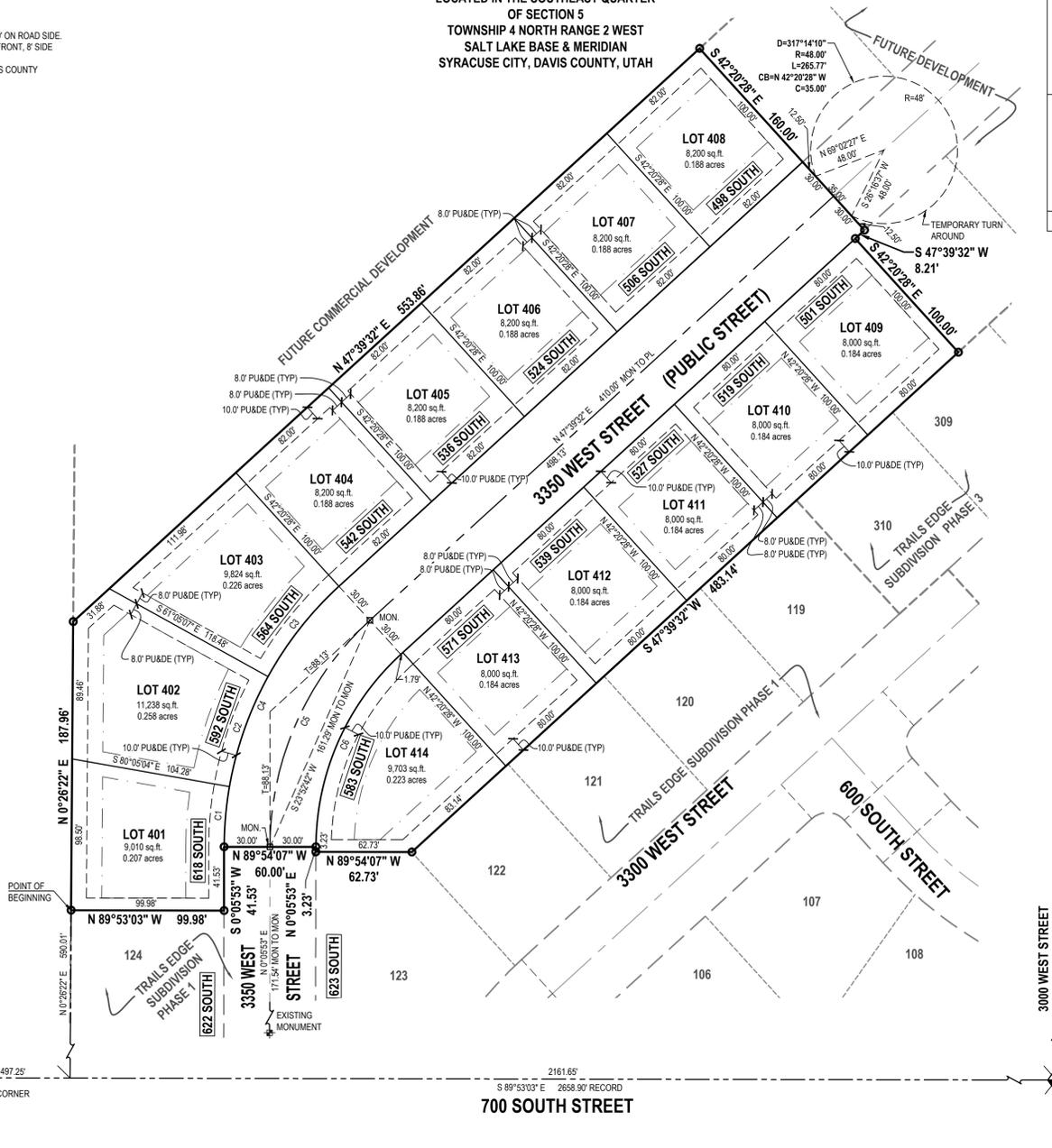
LEGEND



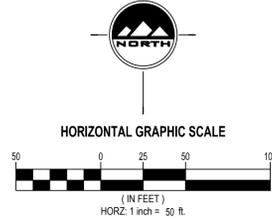
CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	230.00'	39.41'	9°49'03"	S5°00'24"W	39.36'
C2	230.00'	76.27'	18°59'57"	S19°24'54"W	75.92'
C3	230.00'	75.24'	18°44'39"	S38°17'12"W	74.91'
C4	230.00'	76.27'	18°59'58"	S19°24'54"W	75.92'
C5	200.00'	166.02'	47°33'39"	S23°52'42"W	161.29'
C6	170.00'	141.12'	47°33'39"	N23°52'42"E	137.10'

TRAIL'S EDGE SUBDIVISION PHASE 4

LOCATED IN THE SOUTHEAST QUARTER
OF SECTION 5
TOWNSHIP 4 NORTH RANGE 2 WEST
SALT LAKE BASE & MERIDIAN
SYRACUSE CITY, DAVIS COUNTY, UTAH



VICINITY MAP
NO SCALE
SYRACUSE, UTAH



NOTE:
UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE P.U.E. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE P.U.E. AT THE LOT OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE P.U.E. OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE P.U.E. WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE P.U.E.

DEVELOPER
TRAIL'S EDGE LLC
1882 WOODHAVEN DRIVE
HENDERSON, NEVADA, 89074
702-205-4627

SURVEYOR'S CERTIFICATE

I, **KEITH R. RUSSELL**, do hereby certify that I am a Licensed Land Surveyor, and that I hold certificate No. **164386**, as prescribed under laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as **TRAIL'S EDGE SUBDIVISION PHASE 4**, and that the same has been correctly surveyed and staked on the ground as shown on this plat. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

BOUNDARY DESCRIPTION

Beginning at a Northwest Corner of Trail's Edge Subdivision Phase 1, said point being South 89°53'03" East 497.25 feet along the section line to the Southwest Corner of Trail's Edge Subdivision Phase 1 and North 0°26'22" East 590.01 feet along the west line to a Northwest Corner of Trail's Edge Subdivision Phase 1 from the South Quarter Corner of Section 5, Township 4 North, Range 2 West, Salt Lake Base and Meridian, and running:
Thence North 0°26'22" East 187.96 feet;
Thence North 47°39'32" East 553.86 feet;
Thence South 42°20'28" East 160.00 feet;
Thence South 47°39'32" West 5.21 feet;
Thence South 42°20'28" East 100.00 feet to the north line of Trail's Edge Subdivision Phase 3;
Thence South 47°39'32" West 483.14 feet along the north line of Trail's Edge Subdivision Phase 3 to and along to an angle point in the north line of Trail's Edge Subdivision Phase 1;
Thence North 89°54'07" West 62.73 feet along the north line to an interior corner of Trail's Edge Subdivision Phase 1;
Thence North 0°05'53" East 3.23 feet along the east line to a Northeast Corner of Trail's Edge Subdivision Phase 1;
Thence North 89°54'07" West 60.00 feet along the north line to a Northwest Corner of Trail's Edge Subdivision Phase 1;
Thence South 0°05'53" West 41.53 feet along the west line to an interior corner of Trail's Edge Subdivision Phase 1;
Thence North 89°53'03" West 99.98 feet along the north line of Trail's Edge Subdivision Phase 1 to the point of beginning.
Contains 155,336 square feet, 3.566 acres, 14 lots.

Date 7-10-15
Keith R. Russell
License no. 164386



OWNER'S DEDICATION

Known all men by these presents that I, the undersigned owner of the above described tract of land, having caused same to be subdivided, hereafter known as

TRAIL'S EDGE SUBDIVISION PHASE 4

do hereby dedicate for perpetual use of the public all streets as shown on this plat as Public Streets intended for Public use.

In witness whereof I have hereunto set my hand this _____ day of _____ A.D. 20____

Trail's Edge, a Limited Liability company
Gregory Higley
Manager

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH J.S.S.
County of Davis

On the _____ day of _____ A.D., 20____, personally appeared before me, the undersigned Notary Public, in and for said County of Davis, in the State of Utah, who after being duly sworn, acknowledged to me that He is the Manager of Trail's Edge LLC, a Limited Liability Company and that He signed the Owner's Dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein mentioned and acknowledged to me that said Limited Liability Company executed the same.

MY COMMISSION EXPIRES: _____
RESIDING IN _____ COUNTY.

TRAIL'S EDGE SUBDIVISION PHASE 4

LOCATED IN THE SOUTHEAST QUARTER
OF SECTION 5
TOWNSHIP 4 NORTH RANGE 2 WEST
SALT LAKE BASE & MERIDIAN
SYRACUSE CITY, DAVIS COUNTY, UTAH

DAVIS COUNTY RECORDER

ENTRY NO. _____ FEE _____
PAID _____ FILED FOR RECORD AND
RECORDED THIS DAY OF _____ 20____
AT _____ IN BOOK _____ OF OFFICIAL RECORDS
PAGE _____

SHEET 1 OF 1

PROJECT NUMBER: L2138
MANAGER: K. RUSSELL
DRAWN BY: J. MOSS
CHECKED BY: K. RUSSELL
DATE: 5/20/15

DAVIS COUNTY RECORDER
BY _____ DEPUTY RECORDER

UTILITY COMPANY APPROVAL

ROCKY MOUNTAIN POWER DATE _____
QUESTAR GAS DATE _____
CENTURY LINK DATE _____



LAYTON
1485 West Hillfield Rd. Suite 204
Layton UT 84041
Phone: 801.547.1100
Fax: 801.593.6315
WWW.ENSIGNUTAH.COM

SALT LAKE CITY
Phone: 801.255.0529

PLEASANT GROVE
Phone: 801.796.8145

TOOELE
Phone: 435.843.3590

CITY ATTORNEY'S APPROVAL

APPROVED THIS _____ DAY OF _____, 20____,
BY THE SYRACUSE CITY ATTORNEY.

SYRACUSE CITY ATTORNEY

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, 20____,
BY THE CITY PLANNING COMMISSION APPROVAL

CHARMAN, SYRACUSE CITY PLANNING COMMISSION

CITY ENGINEER'S APPROVAL

APPROVED THIS _____ DAY OF _____, 20____,
BY THE SYRACUSE CITY ENGINEER

SYRACUSE CITY ENGINEER

CITY COUNCIL APPROVAL

APPROVED THIS _____ DAY OF _____, 20____,
BY THE SYRACUSE CITY COUNCIL

CITY RECORDER CITY MAYOR

GENERAL NOTES

- ALL WORK TO CONFORM TO SYRACUSE CITY STANDARDS, DRAWINGS, AND APWA STANDARD PLANS AND SPECIFICATIONS. WHERE CITY STANDARDS OR PROJECT DRAWINGS DO NOT COVER THE WORK, THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND PLANS, ETC.
- ALL EXISTING MANHOLES, WATER VALVES, CLEAN OUTS, ETC., SHALL BE ADJUSTED TO FINISH GRADE.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
- CONTRACTOR TO NOTIFY SYRACUSE CITY AND ENSIGN ENGINEERING 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION REQUIRED FOR THIS PROJECT.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE SYRACUSE CITY OR DAVIS COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, AT ALL CHANGES IN DIRECTION, AND IN CURB AND SIDEWALK AT EQUAL INTERVALS NOT TO EXCEED 50 FEET. SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/2 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING.
- CONCRETE WATERWAYS, CURB WALLS, MOW STRIPS, CURB AND GUTTER, ETC., WILL TYPICALLY BE SCORED (1/2 THE DEPTH) AT INTERVALS NOT TO EXCEED 10 FEET, AND HAVE FULL DEPTH EXPANSION JOINTS THAT EQUAL SPACING NOT TO EXCEED 50 FEET.
- UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (95 % DENSITY) SUB GRADE.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED, ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- ALL JOINTS (CONTROL JOINTS, CONSTRUCTION JOINTS, EXPANSION JOINTS, ETC.), WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT (SEE SPECIFICATION).
- SAW CUT EDGE OF EXISTING ASPHALT AND INSTALL ASPHALT TO NEW CURB AND GUTTER PER SYRACUSE CITY STANDARDS AND SPECIFICATIONS.
- ALL EXISTING ASPHALT WILL BE SAW CUT IN NEAT STRAIGHT LINES BY THE CONTRACTOR PRIOR TO PAVING TO MATCH.
- EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95 % OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2 % ABOVE NOR 3 % BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUB GRADE AREAS WITHIN THE BUILDING PAD AREA, AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTORS MUST START AT THE LOW END OF ALL GRAVITY FED LINES AND WORK UPHILL.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH SYRACUSE CITY STANDARDS AND SPECIFICATIONS AND DETAILS.
- SEWER LINES SHALL BE SDR-35 PVC PIPE.
- SEWER LATERALS SHALL BE CONSTRUCTED SUCH THAT CONNECTION IS MADE TO THE UPPER QUADRANT OF THE SEWER MAIN PER SYRACUSE CITY STANDARDS AND DETAILS.
- CONTRACTOR IS TO SUBMIT SITE PLAN TO QUESTAR GAS CO. FOR DESIGN OF GAS LINE SERVICE TO LOTS. ACTUAL CONSTRUCTION OF SERVICE TO BE DONE BY QUESTAR GAS COMPANY.
- ALL NEW SECONDARY WATER SHALL BE DONE IN ACCORDANCE WITH SYRACUSE CITY STANDARDS AND SPECIFICATIONS.
- ALL NEW CULINARY WATER CONSTRUCTION SHALL CONFORM TO SYRACUSE CITY STANDARD SPECIFICATIONS AND DETAILS.
- CONTRACTOR TO LOOP NEW WATERLINE AROUND GRAVITY UTILITIES IF CONFLICT DOES OCCUR. (NOTIFY ENGINEER OF THE PROBLEM).
- ALL CULINARY AND SECONDARY WATERLINE PIPE AND FITTINGS TO BE C900 DR-14.
- ALL THRUST BLOCKS SHALL BE POURED IN PLACE AGAINST UNDISTURBED SOIL AS PER SPECIFICATIONS. ALL VALVES, FITTINGS, AND APPURTENANCES TO BE BLOCKED. THRUST BLOCKS SHALL BE SIZED FOR 200 PSI WORKING PRESSURE PER BEARING PRESSURE FROM SOILS REPORT.
- ALL STORM DRAIN PIPING SHALL BE CLASS III RCP UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- EXISTING SEWER MAIN TO REMAIN IN SERVICE UNTIL NEW MAIN HAS BEEN INSTALLED, TESTED, AND ALL SERVICES HAVE BEEN RECONNECTED.
- THE CONTRACTOR SHALL PLACE TEMPORARY STREET ASPHALT SURFACES IF THE WORK IS ACCOMPLISHED AT A TIME WHEN PERMANENT ASPHALT SURFACING MATERIAL IS NOT AVAILABLE. AT THE TIME PERMANENT ASPHALT BECOMES AVAILABLE, THE CONTRACTOR SHALL FURNISH AND PLACE ASPHALT PER SYRACUSE CITY STANDARDS. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR PERIOD OF TWO YEARS FROM THE DATE OF COMPLETION.
- ALL CONCRETE VALVE BOXES WILL BE POURED IN PLACE AGAINST UNDISTURBED SOIL AND BUILT WITH A DUCTILE IRON RING AND COVER POSITIONED OVER THE VALVE OPERATING UNIT CENTERED OVER THE MAN WAY OPENING.
- CONTRACTOR TO LAYOUT AND POTHOLE FOR ALL POTENTIAL CONFLICTS WITH UTILITY LINES ON OR OFF SITE AS REQUIRED PRIOR TO ANY CONSTRUCTION, AND THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY POT HOLING A MINIMUM OF 300 FEET AHEAD OF PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. IF A CONFLICT ARISES RESULTING FROM THE CONTRACTORS NEGLIGENCE TO POTHOLE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW PIPE DURING CONSTRUCTION.
- HANDICAP ACCESSIBILITY: ALL CONSTRUCTION SHALL MEET THE CURRENT ADA HANDICAP ACCESSIBILITY REQUIREMENTS AND STANDARDS. FOR ANY DISCREPANCIES BETWEEN THE PLANS AND CURRENT ADA STANDARD REQUIREMENTS, CURRENT ADA STANDARD REQUIREMENTS WILL GOVERN.
- 700 SOUTH IS CURRENTLY UNDER MORATORIUM. THE FULL WIDTH OF 700 SOUTH FROM STATION 2+90 TO 10+10 SHALL BE MILLED TO A DEPTH OF 2" AND REPLACED WITH NEW ASPHALT. ALL TRENCHES SHALL BE REPAIRED WITH IMPORT AND CAPPED WITH 12" OF BASE ON 4" OF ASPHALT. THE EXISTING ROAD HAS A N.R. 5. MASTIC SEALER (ONV) WHICH WILL ALSO NEED TO BE REPLACED ALONG WITH THE STRIPING. MILL TO BE INSTALLED UPON COMPLETION OF PHASE 2 ROAD IMPROVEMENTS IN 700 SOUTH STREET.
- SIDEWALKS SHALL BE 6" THICK THROUGH DRIVEWAYS.
- INSTALL SNAKEPIT PEDESTALS PER SYRACUSE CITY STANDARDS ON CULINARY AND SECONDARY WATER MAINS.

CITY ENGINEER ACCEPTANCE OF IMPROVEMENT PLANS

THE IMPROVEMENT PLANS FOR THIS SUBDIVISION HAVE BEEN REVIEWED BY THE CITY ENGINEER FOR GENERAL CONFORMANCE WITH THE REQUIREMENTS OF THE CITY SUBDIVISION ORDINANCE. THIS SET OF CITY APPROVED DRAWINGS SHALL BE USED FOR CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS. THE DEVELOPERS ENGINEER, WHOSE STAMP IS ON THESE DRAWINGS, IS RESPONSIBLE FOR THE ENGINEERING DESIGN, DRAFTING AND RELATED FIELD INFORMATION. THE CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR: THE DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE; FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION; COORDINATION OF HIS OR HER WORK WITH THAT OF ALL OTHER TRADES; AND THE SATISFACTORY PERFORMANCE OF HIS OR HER WORK.

BY: _____ DATE: _____
CITY ENGINEER

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

TRAFFIC CONTROL AND SAFETY NOTES

- BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT MANUAL IF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE CITY TRAFFIC ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
- TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

ABBREVIATIONS

APWA	AMERICAN PUBLIC WORKS ASSOCIATION	NO	NUMBER
AR	ACCESSIBLE ROUTE	OC	ON CENTER
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	OCEW	ON CENTER EACH WAY
AWWA	AMERICAN WATER WORKS ASSOCIATION	OHP	OVERHEAD POWER
BOS	BOTTOM OF STEP	PC	POINT OF CURVATURE OR PRESSURE CLASS
BVC	BEGIN VERTICAL CURVE	PCC	POINT OF COMPOUND CURVATURE
C	CURVE	PI	POINT OF INTERSECTION
CB	CATCH BASIN	PIP	PLASTIC IRRIGATION PIPE
CF	CURB FACE	PIV	POST INDICATOR VALVE
CO	CLEAN OUT	PRC	POINT OF REVERSE CURVATURE
COMM	COMMUNICATION	PRO	PROPOSED
CONC	CONCRETE	PT	POINT OF TANGENCY
CONT	CONTINUOUS	PVC	POINT OF VERTICAL CURVATURE
DIA	DIAMETER	PVI	POINT OF VERTICAL INTERSECTION
DIP	DUCTILE IRON PIPE	PVT	POINT OF VERTICAL TANGENCY
ELEC	ELECTRICAL	R	RADIUS
ELEV	ELEVATION	RD	ROOF DRAIN
EOA	EDGE OF ASPHALT	ROW	RIGHT OF WAY
EVC	END OF VERTICAL CURVE	S	SLOPE
EW	EACH WAY	SAN SWR	SANITARY SEWER
EXIST	EXISTING	SD	STORM DRAIN
FF	FINISH FLOOR	SEC	SECONDARY
LD	LAND DRAIN	SS	SANITARY SEWER
FH	FIRE HYDRANT	STA	STATION
FL	FLOW LINE OR FLANGE	SW	SIDEWALK
GB	GRADE BREAK	SWL	SECONDARY WATER LINE
GV	GATE VALVE	TBC	TOP BACK OF CURB
HC	HANDICAP	TOG	TOP OF GRATE
HP	HIGH POINT	TOA	TOP OF ASPHALT
IRR	IRRIGATION	TOC	TOP OF CONCRETE
K	RATE OF VERTICAL CURVATURE	TOF	TOP OF FOUNDATION
LD	LAND DRAIN	TOW	TOP OF WALL
LF	LINEAR FEET	TOS	TOP OF STEP
LP	LOW POINT	TYP	TYPICAL
MH	MANHOLE	VC	VERTICAL CURVE
MIN	MINIMUM	WIV	WALL INDICATOR VALVE
MJ	MECHANICAL JOINT	WL	WATER LINE
NG	NATURAL GROUND		

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

LEGEND

	SECTION CORNER		EXISTING TREE
	EXISTING MONUMENT		DENSE VEGETATION
	PROPOSED MONUMENT		EXISTING EDGE OF ASPHALT
	EXISTING REBAR AND CAP		PROPOSED EDGE OF ASPHALT
	SET ENSIGN REBAR AND CAP		EXISTING STRIPING
	EXISTING WATER METER		PROPOSED STRIPING
	PROPOSED WATER METER		EXISTING FENCE
	EXISTING WATER MANHOLE		PROPOSED FENCE
	PROPOSED WATER MANHOLE		EXISTING FLOW LINE
	EXISTING WATER BOX		PROPOSED FLOW LINE
	EXISTING WATER VALVE		GRADE BREAK
	PROPOSED WATER VALVE		EXISTING STORM DRAIN LINE
	EXISTING FIRE HYDRANT		PROPOSED STORM DRAIN LINE
	PROPOSED FIRE HYDRANT		ROOF DRAIN LINE
	PROPOSED FIRE DEPARTMENT CONNECTION		CATCHMENTS
	EXISTING SECONDARY WATER VALVE		HIGHWATER LINE
	PROPOSED SECONDARY WATER VALVE		EXISTING SANITARY SEWER
	EXISTING IRRIGATION BOX		PROPOSED SAN. SWR. SERVICE LINE
	EXISTING IRRIGATION VALVE		EXISTING LAND DRAIN LINE
	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
	EXISTING SANITARY SEWER MANHOLE		EXISTING CULINARY WATER LINE
	PROPOSED SANITARY SEWER MANHOLE		PROPOSED CULINARY WATER LINE
	EXISTING SANITARY CLEAN OUT		PROPOSED STORM DRAIN LINE
	EXISTING STORM DRAIN CLEAN OUT BOX		PROPOSED STORM DRAIN INLET BOX
	PROPOSED STORM DRAIN CLEAN OUT BOX		EXISTING STORM DRAIN CATCH BASIN
	EXISTING STORM DRAIN INLET BOX		PROPOSED STORM DRAIN CATCH BASIN
	EXISTING STORM DRAIN CATCH BASIN		EXISTING STORM DRAIN COMBO BOX
	PROPOSED STORM DRAIN CATCH BASIN		PROPOSED STORM DRAIN COMBO BOX
	EXISTING STORM DRAIN COMBO BOX		EXISTING STORM DRAIN CLEAN OUT
	PROPOSED STORM DRAIN COMBO BOX		EXISTING STORM DRAIN CULVERT
	EXISTING STORM DRAIN CLEAN OUT		PROPOSED STORM DRAIN CULVERT
	EXISTING STORM DRAIN CULVERT		TEMPORARY SAG INLET PROTECTION
	PROPOSED STORM DRAIN CULVERT		TEMPORARY IN-LINE INLET PROTECTION
	TEMPORARY SAG INLET PROTECTION		ROOF DRAIN
	TEMPORARY IN-LINE INLET PROTECTION		EXISTING ELECTRICAL MANHOLE
	ROOF DRAIN		EXISTING ELECTRICAL BOX
	EXISTING ELECTRICAL MANHOLE		EXISTING TRANSFORMER
	EXISTING ELECTRICAL BOX		EXISTING UTILITY POLE
	EXISTING TRANSFORMER		EXISTING LIGHT
	EXISTING UTILITY POLE		PROPOSED LIGHT
	EXISTING LIGHT		EXISTING GAS METER
	PROPOSED LIGHT		EXISTING GAS MANHOLE
	EXISTING GAS METER		EXISTING GAS VALVE
	EXISTING GAS MANHOLE		EXISTING TELEPHONE MANHOLE
	EXISTING GAS VALVE		EXISTING TELEPHONE BOX
	EXISTING TELEPHONE MANHOLE		EXISTING TRAFFIC SIGNAL BOX
	EXISTING TELEPHONE BOX		EXISTING CABLE BOX
	EXISTING TRAFFIC SIGNAL BOX		EXISTING BOLLARD
	EXISTING CABLE BOX		PROPOSED BOLLARD
	EXISTING BOLLARD		EXISTING SIGN
	PROPOSED BOLLARD		PROPOSED SIGN
	EXISTING SIGN		EXISTING SPOT ELEVATION
	PROPOSED SIGN		PROPOSED TBC ELEVATION
	EXISTING SPOT ELEVATION		EXISTING FLOW DIRECTION
	PROPOSED TBC ELEVATION		
	EXISTING FLOW DIRECTION		

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.

ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
1485 W. Hill Field Rd., Ste. 204
Layton, UT 84041
Phone: 801.547.1100

SALT LAKE CITY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

COLORADO SPRINGS
Phone: 719.476.0119

WWW.ENSIGNENG.COM

FOR:
MSA MARK SANDBERG
1882 WOODHAVEN DRIVE
HENDERSON, NEVADA 89074

CONTACT:
MARK SANDBERG
PHONE: 702-205-4627
FAX:

TRAIL'S EDGE SUBDIVISION
PHASE 4
3200 WEST 700 SOUTH STREET
SYRACUSE, UTAH



NO.	DATE	REVISION	BY
1	5-6-15	FOR REVIEW	MJS
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NOTES

PROJECT NUMBER: L2138
PRINT DATE: 7/9/15
DRAWN BY: M.ELLMER
CHECKED BY: M.STATTON
PROJECT MANAGER: K.RUSSELL

C-001

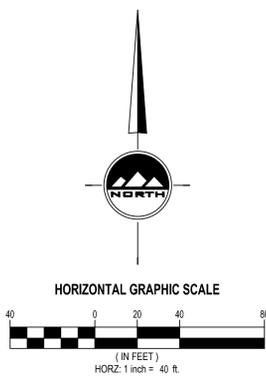
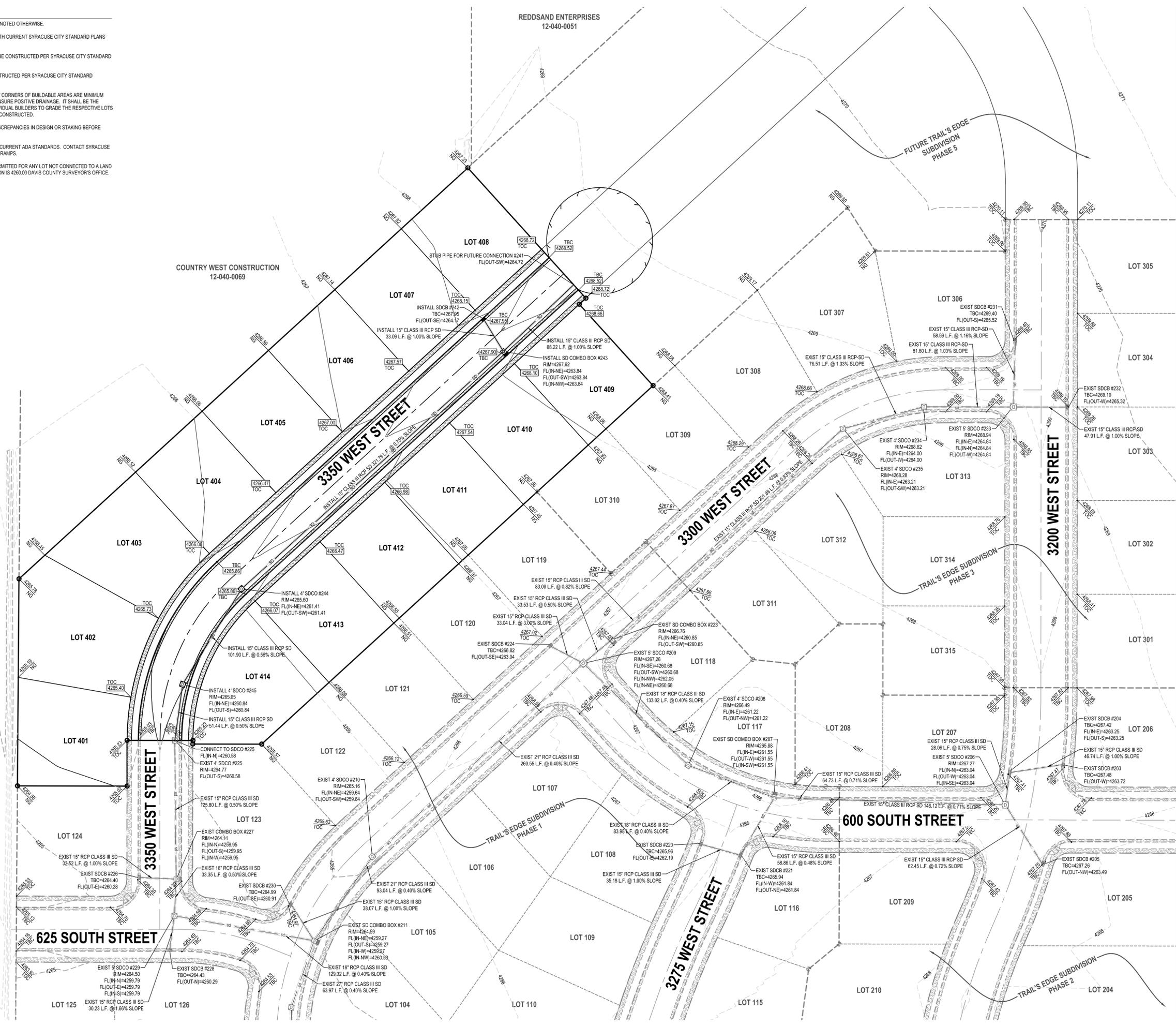
811
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

BENCHMARK IS THE SOUTH QUARTER
CORNER OF SECTION 5, TOWNSHIP 4 NORTH,
RANGE 2 WEST, SALT LAKE BASE & MERIDIAN
ELEVATION = 4245.76

- NOTES**
1. ALL GRADES TO TBC UNLESS NOTED OTHERWISE.
 2. ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
 3. COMBINATION BOXES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD DRAWINGS.
 4. INLET BOXES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD DRAWINGS.
 5. SPOT ELEVATIONS SHOWN AT CORNERS OF BUILDABLE AREAS ARE MINIMUM ELEVATIONS REQUIRED TO ENSURE POSITIVE DRAINAGE. IT SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL BUILDERS TO GRADE THE RESPECTIVE LOTS TO DRAIN WHEN HOMES ARE CONSTRUCTED.
 6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR PIPE.
 7. ALL ADA RAMPS SHALL MEET CURRENT ADA STANDARDS. CONTACT SYRACUSE CITY PRIOR TO POURING ANY RAMPS.
 8. BASEMENTS WILL NOT BE PERMITTED FOR ANY LOT NOT CONNECTED TO A LAND DRAIN. BASE FLOOR ELEVATION IS 4260.00 DAVIS COUNTY SURVEYOR'S OFFICE.



EN SIGN
THE STANDARD IN ENGINEERING

LAYTON
1485 W. Hill Field Rd., Ste. 204
Layton, UT 84041
Phone: 801.547.1100

SALT LAKE CITY
Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

COLORADO SPRINGS
Phone: 719.476.0119

WWW.ENSIGNENG.COM

FOR:
MSA MARK SANDBERG
1882 WOODHAVEN DRIVE
HENDERSON, NEVADA 89074

CONTACT:
MARK SANDBERG
PHONE: 702-205-4627
FAX:

**TRAIL'S EDGE SUBDIVISION
PHASE 4
3200 WEST 700 SOUTH STREET
SYRACUSE, UTAH**



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3			
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5			
6			
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GRADING AND DRAINAGE PLAN

PROJECT NUMBER: L2138
PRINT DATE: 7/9/15
DRAWN BY: MELMER
CHECKED BY: M.STATEN
PROJECT MANAGER: KRUSSELL

C-200

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Know what's below.
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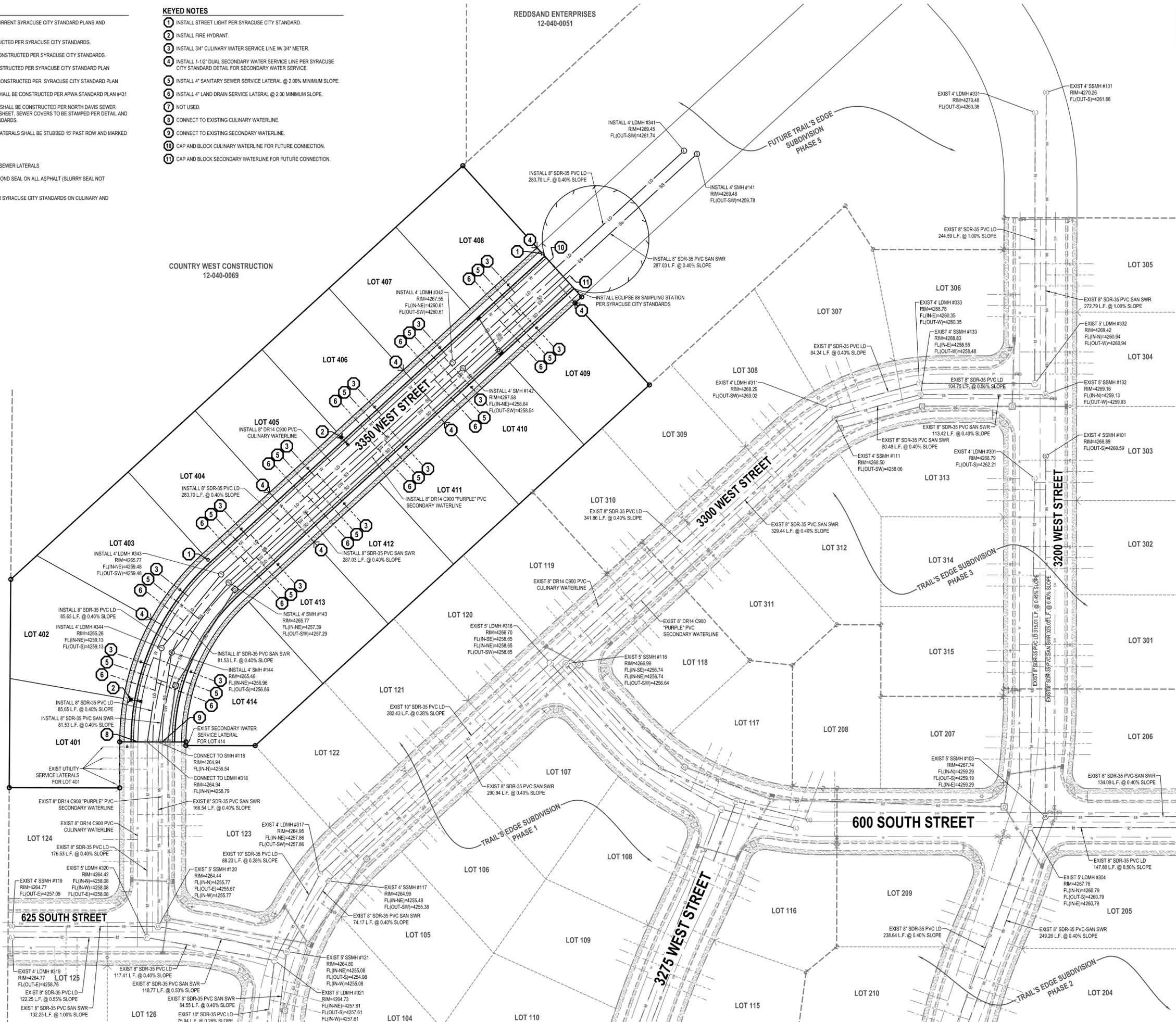
BENCHMARK
BENCHMARK IS THE SOUTH QUARTER CORNER OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN
ELEVATION = 4245.76

NOTES

1. ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
2. ALL HYDRANTS SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARDS.
3. ALL WATER SERVICES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARDS.
4. ALL WATER VALVES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD PLAN
5. ALL BLOW-OFF VALVES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD PLAN
6. ALL SANITARY SEWER LATERALS SHALL BE CONSTRUCTED PER APWA STANDARD PLAN #431
7. ALL SANITARY SEWER MAN HOLES SHALL BE CONSTRUCTED PER NORTH DAVIS SEWER DISTRICT PLANS. SEE DETAIL THIS SHEET. SEWER COVERS TO BE STAMPED PER DETAIL AND VENTED PER SYRACUSE CITY STANDARDS.
8. SEWER, IRRIGATION, AND WATER LATERALS SHALL BE STUBBED 15' PAST ROW AND MARKED WITH 2X4 POST.
9. MARK ALL UTILITY STUBS.
10. USE 4" GREEN PVC FOR SANITARY SEWER LATERALS
11. PROVIDE HIGH DENSITY MINERAL BOND SEAL ON ALL ASPHALT (SLURRY SEAL NOT ACCEPTABLE BY SYRACUSE CITY).
12. INSTALL SNAKEBIT PEDESTALS PER SYRACUSE CITY STANDARDS ON CULINARY AND SECONDARY WATER MAINS.

KEYED NOTES

1. INSTALL STREET LIGHT PER SYRACUSE CITY STANDARD.
2. INSTALL FIRE HYDRANT.
3. INSTALL 3/4" CULINARY WATER SERVICE LINE W/ 3/4" METER.
4. INSTALL 1-1/2" DUAL SECONDARY WATER SERVICE LINE PER SYRACUSE CITY STANDARD DETAIL FOR SECONDARY WATER SERVICE.
5. INSTALL 4" SANITARY SEWER SERVICE LATERAL @ 2.00% MINIMUM SLOPE.
6. INSTALL 4" LAND DRAIN SERVICE LATERAL @ 2.00 MINIMUM SLOPE.
7. NOT USED.
8. CONNECT TO EXISTING CULINARY WATERLINE.
9. CONNECT TO EXISTING SECONDARY WATERLINE.
10. CAP AND BLOCK CULINARY WATERLINE FOR FUTURE CONNECTION.
11. CAP AND BLOCK SECONDARY WATERLINE FOR FUTURE CONNECTION.



HORIZONTAL GRAPHIC SCALE

(IN FEET)
HORZ. 1 inch = 40 ft.

THORNLEY

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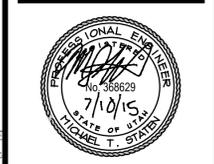
COLORADO SPRINGS
Phone: 719.476.0119

WWW.ENSIGNENG.COM

FOR:
MSA MARK SANDBERG
1882 WOODHAVEN DRIVE
HENDERSON, NEVADA 89074

CONTACT:
MARK SANDBERG
PHONE: 702.205.4627
FAX:

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PHASE 4
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UTILITY PLAN

PROJECT NUMBER: L2138
PRINT DATE: 7/9/15

DRAWN BY: M.ELMER
CHECKED BY: M.STATEN

PROJECT MANAGER: K.RUSSELL

C-300



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COMMENCEMENT OF ANY
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CORNER OF SECTION 5, TOWNSHIP 4 NORTH,
RANGE 2 WEST, SALT LAKE BASE & MERIDIAN
ELEVATION = 4245.76

REVISION SCHEDULE			
NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE
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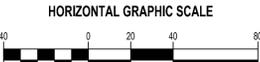
- NOTES**
1. THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMPs) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
 2. ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
 3. DISTURBED LAND SHALL BE KEPT TO A MINIMUM - NO SITE CLEARING MORE THAN 14 CALENDAR DAYS AHEAD OF CONSTRUCTION IN ANY GIVEN AREA SHALL BE ALLOWED.
 4. RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
 5. DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION - NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES.
 6. STABILIZED CONSTRUCTION ENTRANCE, VEHICLE WASH-DOWN AREA, AND SEDIMENTATION AND CLEANOUT BASIN HAVE BEEN SHOWN AT SUGGESTED LOCATION. CONTRACTOR MAY MOVE TO OTHER LOCATION IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
 7. NOT ALL POSSIBLE BMPs HAVE BEEN SHOWN. CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT POLLUTION OF STORM WATER PER PROJECT SWPPP.
 8. PLAN LOCATIONS SHOWN FOR BMPs ARE APPROXIMATE. ACTUAL LOCATIONS AND CONFIGURATIONS SHALL BE FIELD-DETERMINED BY THE OWNER/OPERATOR.
 9. NOT ALL BMPs SHOWN CAN OR SHOULD BE IMPLEMENTED SIMULTANEOUSLY AND/OR FOR THE DURATION OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
 10. EXISTING TOPSOIL IS TO BE HARVESTED WHEN GROUND IS CLEARED. TOPSOIL SHALL THEN BE STOCKPILED ON-SITE FOR USE IN AREAS NOT OTHERWISE TO BE LANDSCAPED, TO ACCELERATE REVEGETATION AND STABILIZATION. AS AN ALTERNATE TO STOCKPILING TOPSOIL ONSITE, OWNER/OPERATOR MAY IMPORT TOPSOIL TO AREAS TO BE STABILIZED FROM OFFSITE.

LEGEND

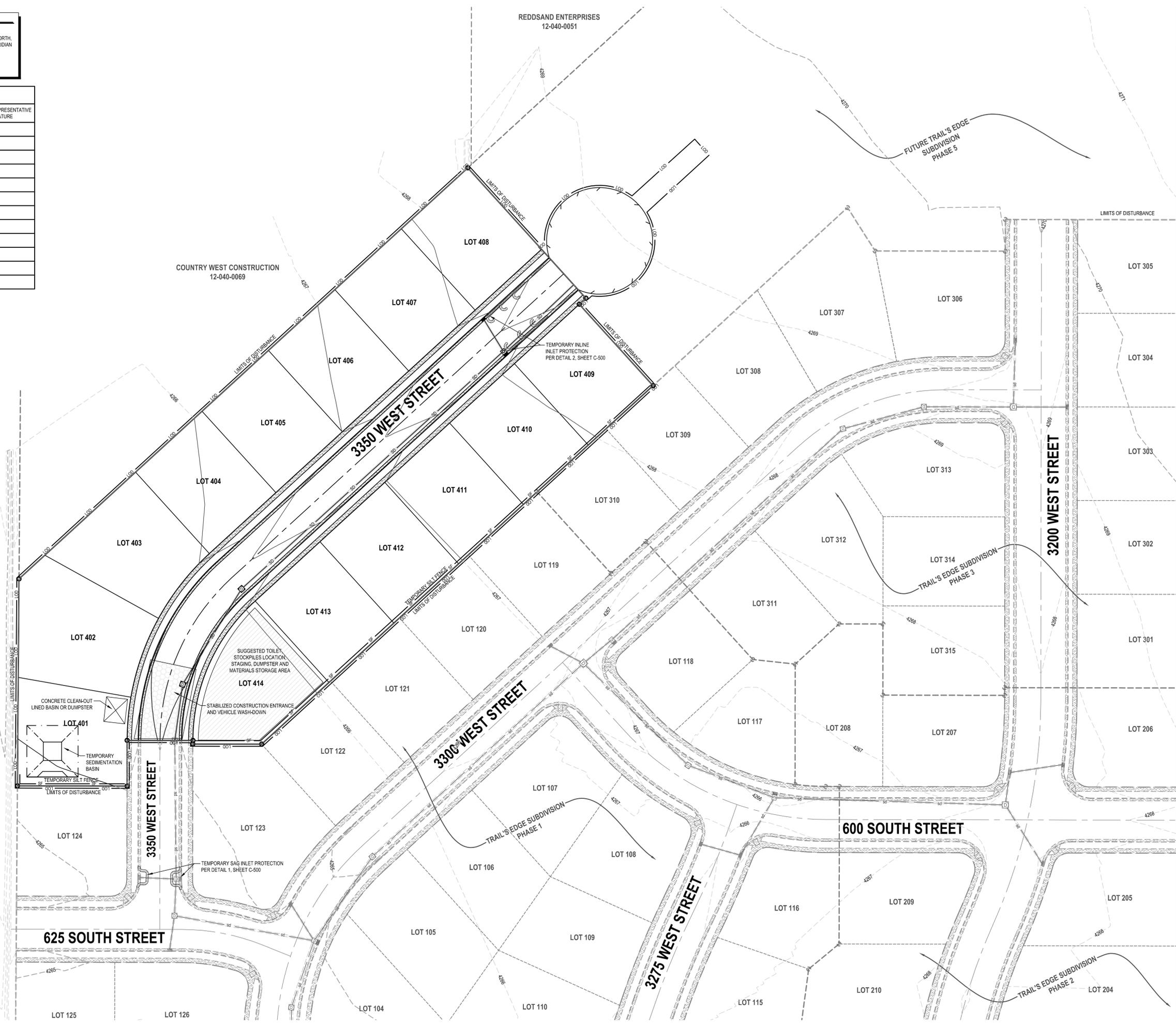
-  TEMPORARY SAG INLET PROTECTION PER DETAIL 1, SHEET C-500
-  TEMPORARY IN-LINE INLET PROTECTION PER DETAIL 2, SHEET C-500
-  TEMPORARY SILT FENCE PER DETAIL 3, SHEET C-500
-  PROPOSED CONCRETE
-  EXISTING CONCRETE
-  LIMITS OF DISTURBANCE
-  GRADE BREAK
-  EXISTING 5' CONTOUR
-  EXISTING 1' CONTOUR
-  PROPOSED 5' CONTOUR
-  PROPOSED 1' CONTOUR



HORIZONTAL GRAPHIC SCALE



(IN FEET)
HORZ: 1 inch = 40 ft.





ENSIGN
THE STANDARD IN ENGINEERING

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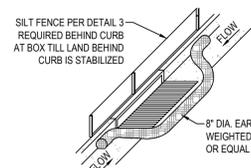


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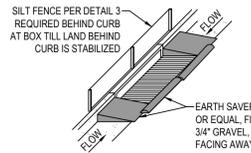
**EROSION CONTROL
PLAN**

PROJECT NUMBER: L2138 PRINT DATE: 7/9/15
DRAWN BY: MELLMER CHECKED BY: M.STATEN
PROJECT MANAGER: KRUSSELL

C-400



WATTLE OPTION



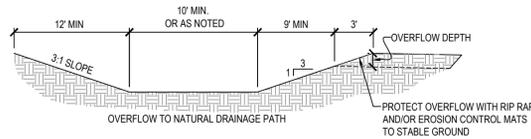
SANDBAG OPTION

NOTES:

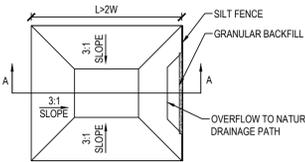
1. PLACE WATTLES OR GRAVEL BAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT-LADEN WATER FROM GETTING BETWEEN CURB AND WATTLEBAG.
2. PLACE WATTLES OR GRAVEL BAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE.
3. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BI-WEEKLY, OR PER SWPPP REQUIREMENTS, WHICHEVER IS MORE STRINGENT, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED.
4. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 50% OF GRAVEL BAG OR WATTLE HEIGHT.
5. CONTRACTOR MAY SUBMIT AN ALTERNATIVE METHOD OF INLET PROTECTION. THE ALTERNATIVE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE ENGINEER OF RECORD.
6. BEFORE PLACEMENT OF CURB, STABILIZATION OF LAND BEHIND CURB, AND/OR PAVING, MAINTAIN TOP OF INLET AT 6\"/>

1 SAG INLET PROTECTION

SCALE: NONE



A-A SECTION



PLAN VIEW

NOTES:

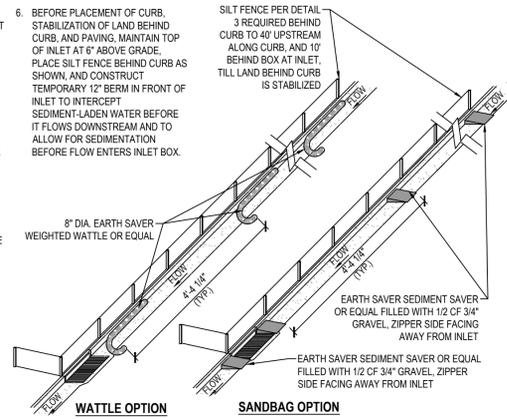
1. CLEAN OUT BASIN WHEN CAPACITY IS REDUCED BY HALF.
2. SIZE BASIN PER MINIMUM DIMENSIONS SHOWN, AND PER DIMENSIONS IN PLAN, WHICHEVER IS GREATER.
3. SAFETY FENCING IS REQUIRED FOR DEPTH GREATER THAN THREE FEET.
4. WHERE 2:1 RATIO OF LENGTH TO WIDTH IS NOT AVAILABLE, CONSTRUCT BERM(S) FOR BAFFLE(S) BETWEEN INLET AND OUTLET TO ACHIEVE 2:1 FLOW LENGTH RATIO.
5. WHERE TEMPORARY SEDIMENTATION WILL BE CONVERTED TO A PERMANENT DETENTION POND, PROTECT OUTLET PER DETAIL 8, TEMPORARY BASIN OUTLET PROTECTION.

5 TEMPORARY SEDIMENTATION BASIN

SCALE: NONE

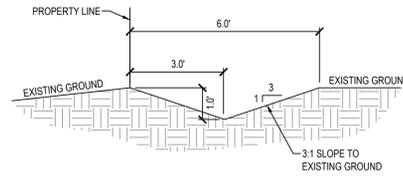
NOTES:

1. PLACE WATTLES OR GRAVEL BAGS TIGHT AGAINST CURRB TO PREVENT SEDIMENT-LADEN WATER FROM GETTING BETWEEN CURB AND WATTLEBAG.
2. PLACE WATTLES OR GRAVEL BAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE.
3. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BI-WEEKLY, OR PER SWPPP REQUIREMENTS, WHICHEVER IS MORE STRINGENT, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED.
4. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 50% OF GRAVEL BAG OR WATTLE HEIGHT.
5. CONTRACTOR MAY SUBMIT AN ALTERNATIVE METHOD OF INLET PROTECTION. THE ALTERNATIVE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE ENGINEER OF RECORD.



2 IN-LINE INLET PROTECTION

SCALE: NONE

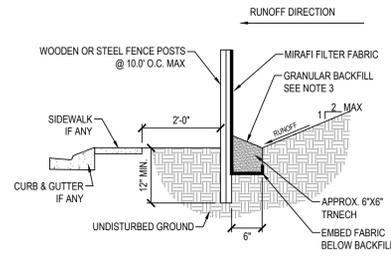


NOTES:

1. PROTECT CHANNEL FROM EROSION AS NECESSARY WITH RIP RAP, EROSION CONTROL MATS AND/OR ROCK CHECK DAMS.
2. SEDIMENT TRAPS REQUIRED AT 200' SPACING OR AS SHOWN ON PLANS, WHICHEVER IS MORE STRINGENT.
3. FOR SWALES STEEPER THAN 5%, STABILIZE SWALES WITH RIP RAP LINING IN SWALE AND ROCK CHECK DAMS SPACED AT EVERY THREE FEET OF DROP IN FLOWLINE.

6 DRAINAGE SWALE

SCALE: NONE

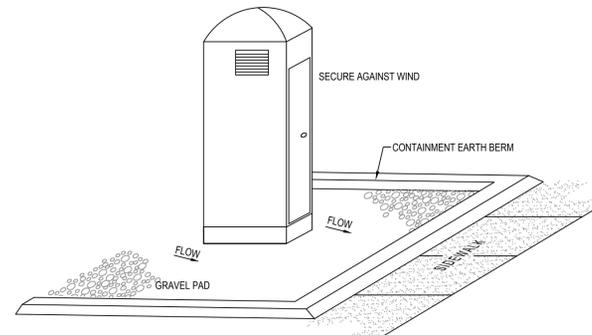


NOTES:

1. EXCAVATE 6\"/>
- 2. POSTS SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
- 3. LAY TOE-IN FABRIC FLAP IN BOTTOM OF TRENCH, BACKFILL TRENCH WITH FREE DRAINING GRANULAR MATERIAL. COMPACT TRENCH TO SATISFACTION OF THE ENGINEER OF RECORD.
- 4. SILT FENCE GEOTEXTILE SHALL MEET AASHTO M288-92 REQUIREMENTS.
- 5. REMOVE & DISPOSE OF SEDIMENT WHEN ACCUMULATION IS 50% OF EXPOSED FENCE HEIGHT.
- 6. 10' MAX. SPACING BETWEEN STAKES.
- 7. SILT FENCES SHALL BE INSTALLED ALONG CONTOURS, NOT UP AND DOWN SLOPES, WITH 10' OVERLAP AT BREAKS.

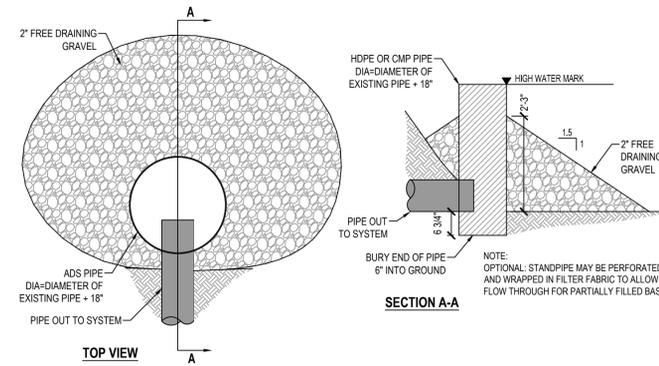
3 TEMPORARY SILT FENCE

SCALE: NONE



7 PORTABLE TOILET

SCALE: NONE



8 TEMPORARY BASIN OUTLET PROTECTION

SCALE: NONE



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1	5-8-15	FOR REVIEW	MTS
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DETAILS

PROJECT NUMBER	PRINT DATE
L2138	7/9/15
DRAWN BY	CHECKED BY
M.ELMER	M.STATEN
PROJECT MANAGER	
K.RUSSELL	



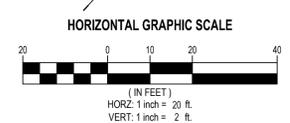
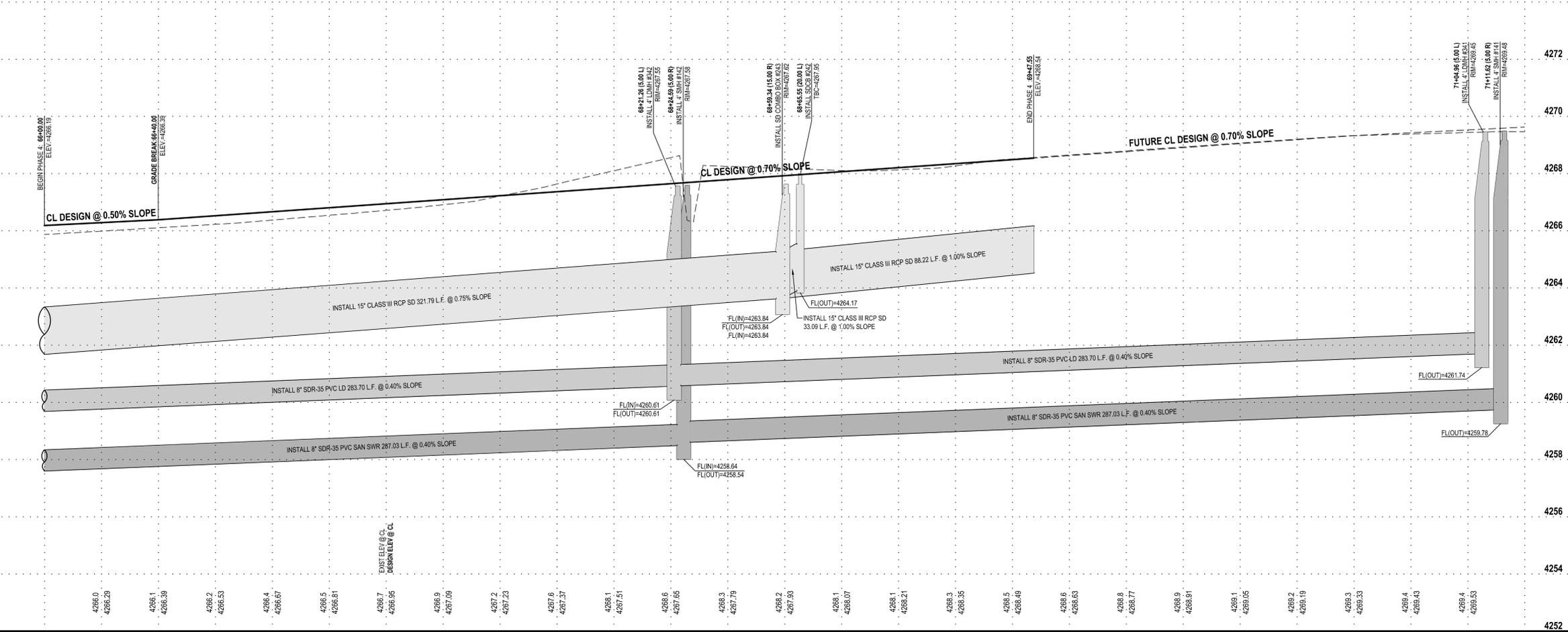
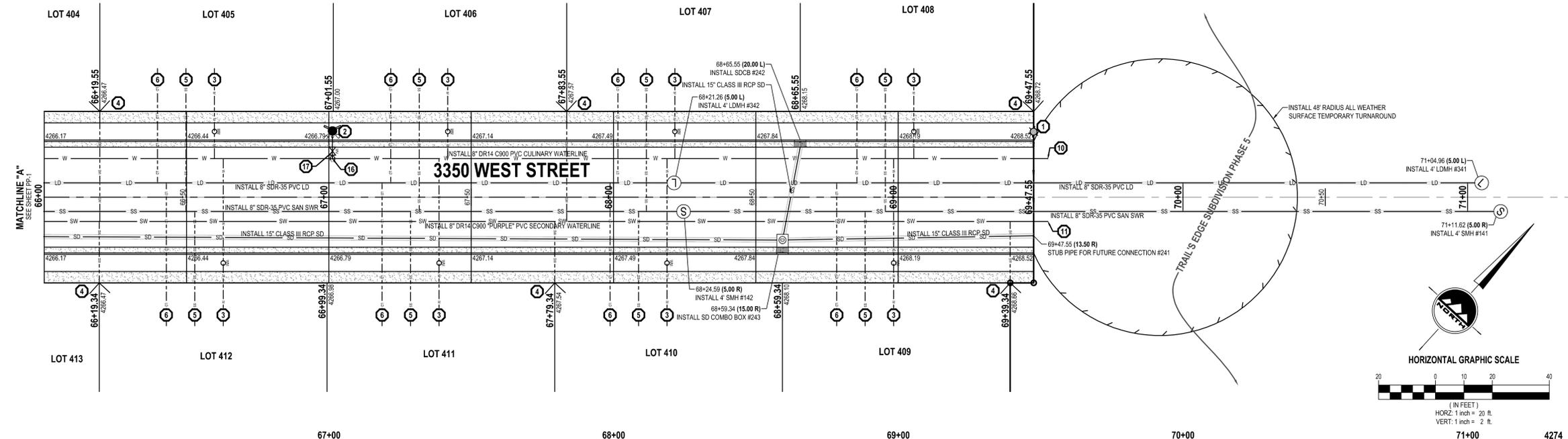
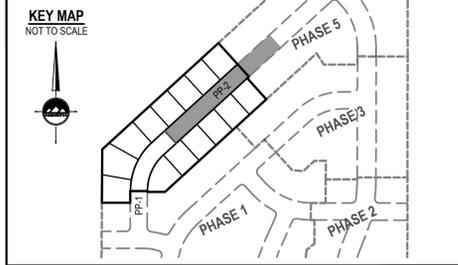
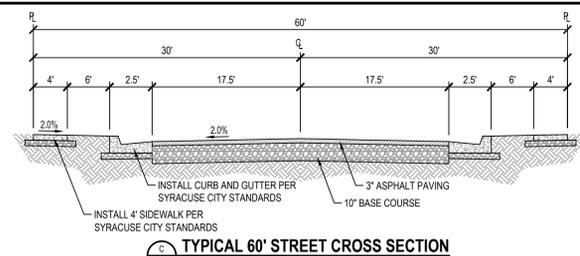
CALL BLUESTAKES
@ 1-800-862-4111 AT LEAST 48
HOURS PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

- NOTES**
- ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
 - FIELD VERIFY ALL EXISTING ELEVATIONS PRIOR TO ANY CONSTRUCTION.
 - EXTEND UTILITY LATERALS TO 10' BEYOND PROPERTY LINE.

NOTICE TO CONTRACTOR

The intent of the installation of curb and gutter along 3350 WEST STREET is to match the existing asphalt paving such that proper drainage of both the existing and proposed asphalt into the proposed curb and gutter is accomplished. It is the RESPONSIBILITY OF THE CONTRACTOR to verify that drainage into the proposed curb and gutter of all run-off water from the street is accomplished prior to the placement of any concrete. Notice to Ensign Engineering of variations from the design drawings is required prior to any placement of the proposed curb and gutter.

- KEYED NOTES**
- INSTALL STREET LIGHT PER SYRACUSE CITY STANDARD.
 - INSTALL FIRE HYDRANT.
 - INSTALL 3/4" CULINARY WATER SERVICE LINE W/ 3/4" METER.
 - INSTALL 1-1/2" DUAL SECONDARY WATER SERVICE LINE PER CITY STDS.
 - INSTALL 4" SANITARY SEWER SERVICE LATERAL @ 2.00% MINIMUM SLOPE.
 - INSTALL 4" LAND DRAIN SERVICE LATERAL @ 2.00% MINIMUM SLOPE.
 - INSTALL 8" GATE VALVE.
 - CONNECT TO EXISTING CULINARY WATERLINE.
 - CONNECT TO EXISTING SECONDARY WATERLINE.
 - CAP AND BLOCK CULINARY WATERLINE FOR FUTURE CONNECTION.
 - CAP AND BLOCK SECONDARY WATERLINE FOR FUTURE CONNECTION.
 - INSTALL HANDICAP ACCESSIBLE RAMP PER CURRENT ADA REQUIREMENTS. CONTACT THE CITY PRIOR TO THE POURING OF ANY RAMP.
 - MATCH EXISTING IMPROVEMENTS.
 - INSTALL 8" TEE.
 - INSTALL 8" 22.5° BEND.
 - INSTALL 8"x6" TEE
 - INSTALL 6" GATE VALVE.



ENSIGN
THE STANDARD IN ENGINEERING

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CONTACT:
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FAX:

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PHASE 4
3200 WEST 700 SOUTH STREET
SYRACUSE, UTAH**



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**3350 WEST STREET
PLAN AND PROFILE**

PROJECT NUMBER: L2138
PRINT DATE: 7/9/15

DRAWN BY: M. ELMER
CHECKED BY: M. STATEN

PROJECT MANAGER: KRUSSELL

PP-2



TRAIL'S EDGE SUBDIVISION

PHASE 5

3350 WEST 700 SOUTH
SYRACUSE CITY, UTAH

**FOR APPROVAL
FOR CONSTRUCTION**

DATE PRINTED
7-10-2015



INDEX OF DRAWINGS

1 OF 1	SUBDIVISION PLAT
C-001	NOTES
C-100	SITE PLAN
C-200	GRADING AND DRAINAGE PLAN
C-300	UTILITY PLAN
C-400	EROSION CONTROL PLAN
C-500	DETAILS
PP-1	3350 WEST STREET PLAN AND PROFILE
PP-2	3350 WEST STREET PLAN AND PROFILE
PP-3	3200 WEST STREET PLAN AND PROFILE

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

CITY ENGINEER ACCEPTANCE OF IMPROVEMENT PLANS

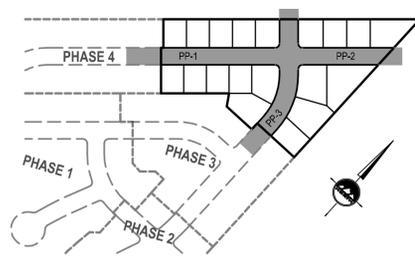
THE IMPROVEMENT PLANS FOR THIS SUBDIVISION HAVE BEEN REVIEWED BY THE CITY ENGINEER FOR GENERAL CONFORMANCE WITH THE REQUIREMENTS OF THE CITY SUBDIVISION ORDINANCE. THIS SET OF CITY APPROVED DRAWINGS SHALL BE USED FOR CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS. THE DEVELOPER'S ENGINEER, WHOSE STAMP IS ON THESE DRAWINGS, IS RESPONSIBLE FOR THE ENGINEERING DESIGN, DRAFTING AND RELATED FIELD INFORMATION. THE CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR THE DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE. FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, COORDINATION OF HIS OR HER WORK WITH THAT OF ALL OTHER TRADES, AND THE SATISFACTORY PERFORMANCE OF HIS OR HER WORK.

BY: _____ DATE: _____
CITY ENGINEER

DEVELOPER

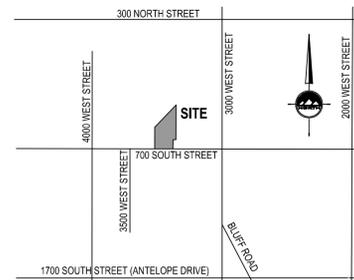
MSA MARK SANDBERG
1882 WOODHAVEN DRIVE
HENDERSON, NEVADA 89074
702-205-4627

KEY MAP



NO SCALE

VICINITY MAP



NO SCALE

GENERAL NOTES

1. ALL WORK SHALL CONFORM WITH SYRACUSE CITY STANDARDS & SPECIFICATIONS.
2. ALL UTILITIES SHALL BE INSTALLED PER SYRACUSE CITY STANDARDS & SPECIFICATIONS.
3. CALL BLUE STAKES 48 HOURS PRIOR TO DIGGING.
4. BENCHMARK ELEVATION = SOUTH QUARTER CORNER OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN. ELEV. = 4245.76

ENGINEER/SURVEYOR:



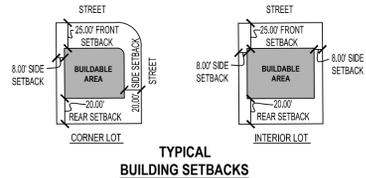
LAYTON
1485 West Hillfield Rd.
Suite 204
Layton UT 84041
Phone: 801.547.1100
Fax: 801.593.6315

SALT LAKE CITY
Phone: 801.256.0529
TOOELE
Phone: 435.843.3590
CEDAR CITY
Phone: 435.865.1453
RICHFIELD
Phone: 435.590.0187

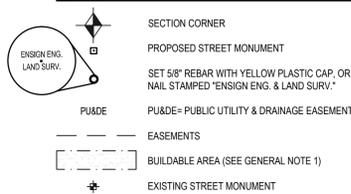
TRAIL'S EDGE SUBDIVISION PHASE 5
FOR REVIEW - JULY 10, 2015

GENERAL NOTES:

- PROPERTY IS ZONED R-3
 - FRONT YARD SETBACK IS 25'
 - REAR YARD SETBACK IS 20'
 - SIDE YARD SETBACK IS 8'
 - CORNER LOT SIDE YARD SETBACK IS 20' ON ROAD SIDE.
- ALL PUBLIC UTILITY AND DRAINAGE EASEMENTS (P.U. & D.E.) ARE 10' FRONT, 8' SIDE AND 10' REAR UNLESS OTHERWISE NOTED HEREON.
- LOWEST FINISH FLOOR ELEVATION FOR ANY HOME IS 4260.00 (DAVIS COUNTY SURVEYOR'S OFFICE DATUM).



LEGEND

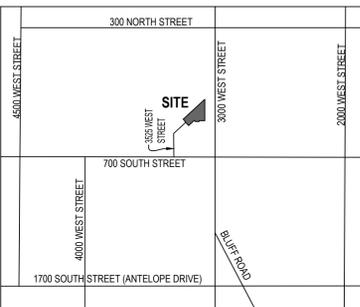
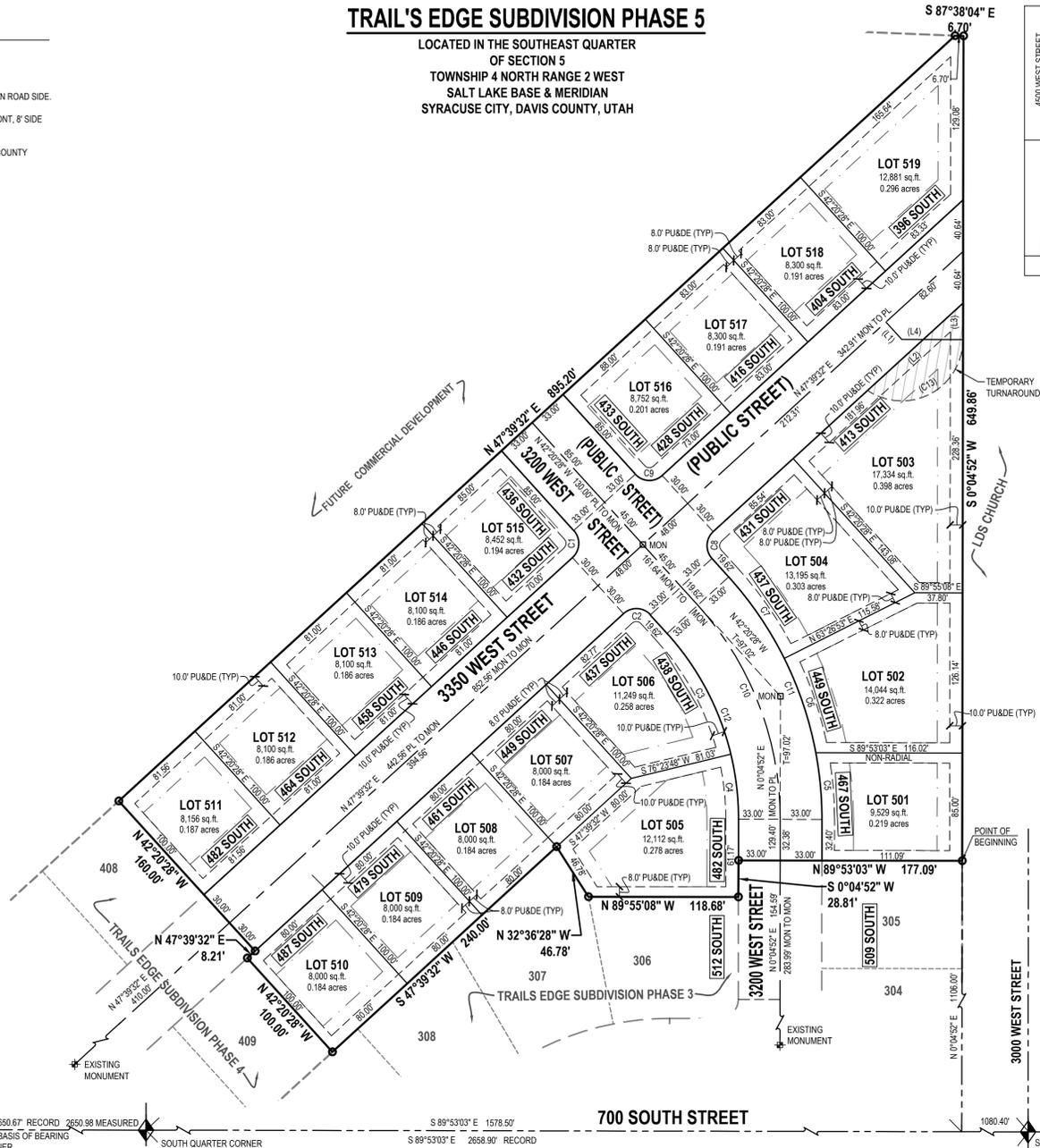


CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	15.00'	23.56'	90°00'00"	S2°39'32"W	21.21'
C2	15.00'	23.56'	90°00'00"	S87°20'28"E	21.21'
C3	217.00'	108.84'	28°44'16"	S27°58'20"E	107.10'
C4	217.00'	51.83'	13°41'04"	S6°45'40"E	51.70'
C5	283.00'	52.91'	10°42'44"	N5°16'30"W	52.83'
C6	283.00'	78.64'	15°55'16"	N18°35'29"W	78.39'
C7	283.00'	77.99'	15°47'21"	N34°26'48"W	77.74'
C8	15.00'	23.56'	90°00'00"	N2°39'32"E	21.21'
C9	15.00'	23.56'	90°00'00"	N87°20'28"W	21.21'
C10	250.00'	185.10'	42°25'20"	N21°07'48"W	180.90'
C11	283.00'	209.54'	42°25'20"	N21°07'48"W	204.78'
C12	217.00'	160.67'	42°25'20"	N21°07'48"W	157.02'
(C13)	48.50'	104.85'	123°51'41"	S62°00'43"W	85.59'

LINE TABLE		
LINE	BEARING	LENGTH
(L1)	S42°20'28"E	18.50'
(L2)	N47°39'32"E	102.31'
(L3)	S0°04'52"W	28.74'
(L4)	S89°55'08"E	48.50'

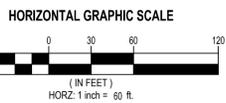
TRAIL'S EDGE SUBDIVISION PHASE 5

LOCATED IN THE SOUTHEAST QUARTER
OF SECTION 5
TOWNSHIP 4 NORTH RANGE 2 WEST
SALT LAKE BASE & MERIDIAN
SYRACUSE CITY, DAVIS COUNTY, UTAH



VICINITY MAP

NO SCALE
SYRACUSE, UTAH



NOTE:
UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE P.U.E. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE P.U.E. AT THE LOT OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE P.U.E. OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE P.U.E. WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE P.U.E.



SURVEYOR'S CERTIFICATE
I, **KEITH R. RUSSELL**, do hereby certify that I am a Licensed Land Surveyor, and that I hold certificate No. **164386**, as prescribed under laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as **TRAIL'S EDGE SUBDIVISION PHASE 5**, and that the same has been correctly surveyed and staked on the ground as shown on this plat. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

BOUNDARY DESCRIPTION
Beginning at the Northeast Corner of Lot 305, Trail's Edge Subdivision Phase 3, said point being South 89°53'03" East 1578.50 feet along the section line and North 0°04'52" East 1100.00 feet from the South Quarter Corner of Section 5, Township 4 North, Range 2 West, Salt Lake Base and Meridian, and running:
Thence North 89°53'03" West 177.09 feet along the north line to a Northwest Corner of Trail's Edge Subdivision Phase 3;
Thence South 0°04'52" West 28.81 feet along a west line to an interior corner of Trail's Edge Subdivision Phase 3;
Thence North 89°55'08" West 118.68 feet along a north line to an interior corner of Trail's Edge Subdivision Phase 3;
Thence North 32°36'28" West 46.78 feet along the west line to a Northeast Corner of Trail's Edge Subdivision Phase 3;
Thence South 47°39'32" West 240.00 feet along a north line of Trail's Edge Subdivision Phase 3 to a Southeast Corner of Trail's Edge Subdivision Phase 4;
Thence North 42°20'28" West 100.00 feet along the east line to a Northeast Corner of Trail's Edge Subdivision Phase 4;
Thence North 47°39'32" East 8.21 feet along a north line to an interior corner of Trail's Edge Subdivision Phase 4;
Thence North 42°20'28" West 160.00 feet along a north line to a Northeast Corner of Trail's Edge Subdivision Phase 4;
Thence South 87°38'04" East 6.70 feet;
Thence South 0°04'52" West 649.86 feet to the point of beginning.

Contains 250,163 square feet, 5,950 acres, 19 lots.
Date 7-10-15
Keith R. Russell
License no. 164386

OWNER'S DEDICATION
Known all men by these presents that I, the undersigned owner of the above described tract of land, having caused same to be subdivided, hereafter known as

TRAIL'S EDGE SUBDIVISION PHASE 5

do hereby dedicate for perpetual use of the public all streets as shown on this plat as Public Streets intended for Public use.
In witness whereof I have hereunto set my hand this _____ day of _____ A.D. 20____

Trail's Edge, a Limited Liability Company
Gregory Higley
Manager

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH J.S.S.
County of Davis
On the _____ day of _____ A.D., 20____
personally appeared before me, the undersigned Notary Public, in and for said County of Davis, in the State of Utah, who after being duly sworn, acknowledged to me that He is the Manager of Trail's Edge LLC, a Limited Liability Company and that He signed the Owner's Dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein mentioned and acknowledged to me that said Limited Liability Company executed the same.
MY COMMISSION EXPIRES: _____
RESIDING IN _____ COUNTY.

TRAIL'S EDGE SUBDIVISION PHASE 5

LOCATED IN THE SOUTHEAST QUARTER
OF SECTION 5
TOWNSHIP 4 NORTH RANGE 2 WEST
SALT LAKE BASE & MERIDIAN
SYRACUSE CITY, DAVIS COUNTY, UTAH

DAVIS COUNTY RECORDER
ENTRY NO. _____ FEE _____
PAID _____ FILED FOR RECORD AND
RECORDED THIS DAY OF _____ 20____
AT _____ IN BOOK _____ OF OFFICIAL RECORDS
PAGE _____
DAVIS COUNTY RECORDER
BY _____ DEPUTY RECORDER

UTILITY COMPANY APPROVAL
ROCKY MOUNTAIN POWER DATE _____
QUESTAR GAS DATE _____
CENTURY LINK DATE _____

ENSIGN
LAYTON
1485 West Hillfield Rd. Suite 204
Layton UT 84041
Phone: 801.547.1100
Fax: 801.593.6315
WWW.ENSIGNUTAH.COM
SALT LAKE CITY
Phone: 801.255.0529
PLEASANT GROVE
Phone: 801.796.8145
TOOELE
Phone: 435.843.3990

CITY ATTORNEY'S APPROVAL
APPROVED THIS _____ DAY OF _____, 20____
BY THE SYRACUSE CITY ATTORNEY.
SYRACUSE CITY ATTORNEY

PLANNING COMMISSION APPROVAL
APPROVED THIS _____ DAY OF _____, 20____
BY THE CITY PLANNING COMMISSION APPROVAL.
CHAIRMAN, SYRACUSE CITY PLANNING COMMISSION

CITY ENGINEER'S APPROVAL
APPROVED THIS _____ DAY OF _____, 20____
BY THE SYRACUSE CITY ENGINEER.
SYRACUSE CITY ENGINEER

CITY COUNCIL APPROVAL
APPROVED THIS _____ DAY OF _____, 20____
BY THE SYRACUSE CITY COUNCIL.
CITY RECORDER CITY MAYOR

SHEET 1 OF 1
PROJECT NUMBER: L2138
MANAGER: K. RUSSELL
DRAWN BY: J. MOSS
CHECKED BY: K. RUSSELL
DATE: 5/20/15

GENERAL NOTES

- ALL WORK TO CONFORM TO SYRACUSE CITY STANDARDS, DRAWINGS, AND APWA STANDARD PLANS AND SPECIFICATIONS, WHERE CITY STANDARDS OR PROJECT DRAWINGS DO NOT COVER THE WORK. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION. DOCUMENTS AND IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND PLANS, ETC.
- ALL EXISTING MANHOLES, WATER VALVES, CLEAN OUTS, ETC., SHALL BE ADJUSTED TO FINISH GRADE.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
- CONTRACTOR TO NOTIFY SYRACUSE CITY AND ENSIGN ENGINEERING 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION REQUIRED FOR THIS PROJECT.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE SYRACUSE CITY OR DAVIS COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DRY DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, AT ALL CHANGES IN DIRECTION, AND IN CURB AND SIDEWALK AT EQUAL INTERVALS NOT TO EXCEED 50 FEET. SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/2 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING.
- CONCRETE WATERWAYS, CURB WALLS, MOW STRIPS, CURB AND GUTTER, ETC., WILL TYPICALLY BE SCORED (1/2 THE DEPTH) AT INTERVALS NOT TO EXCEED 10 FEET, AND HAVE FULL DEPTH EXPANSION JOINTS THAT EQUAL SPACING NOT TO EXCEED 50 FEET.
- UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (95% DENSITY) SUB GRADE.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED, ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- ALL JOINTS (CONTROL JOINTS, CONSTRUCTION JOINTS, EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT (SEE SPECIFICATION).
- SAW CUT EDGE OF EXISTING ASPHALT AND INSTALL ASPHALT TO NEW CURB AND GUTTER PER SYRACUSE CITY STANDARDS AND SPECIFICATIONS.
- ALL EXISTING ASPHALT WILL BE SAW CUT IN NEAT STRAIGHT LINES BY THE CONTRACTOR PRIOR TO PAVING TO MATCH.
- EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUB GRADE AREAS WITHIN THE BUILDING PAD AREA, AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTORS MUST START AT THE LOW END OF ALL GRAVITY FED LINES AND WORK UPHILL.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS. IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH SYRACUSE CITY STANDARDS AND SPECIFICATIONS AND DETAILS.
- SEWER LINES SHALL BE SDR-35 PVC PIPE.
- SEWER LATERALS SHALL BE CONSTRUCTED SUCH THAT CONNECTION IS MADE TO THE UPPER QUADRANT OF THE SEWER MAIN PER SYRACUSE CITY STANDARDS AND DETAILS.
- CONTRACTOR IS TO SUBMIT SITE PLAN TO QUESTAR GAS CO. FOR DESIGN OF GAS LINE SERVICE TO LOTS. ACTUAL CONSTRUCTION OF SERVICE TO BE DONE BY QUESTAR GAS COMPANY.
- ALL NEW SECONDARY WATER SHALL BE DONE IN ACCORDANCE WITH SYRACUSE CITY STANDARDS AND SPECIFICATIONS.
- ALL NEW CULINARY WATER CONSTRUCTION SHALL CONFORM TO SYRACUSE CITY STANDARD SPECIFICATIONS AND DETAILS.
- CONTRACTOR TO LOOP NEW WATERLINE AROUND GRAVITY UTILITIES IF CONFLICT DOES OCCUR. (NOTIFY ENGINEER OF THE PROBLEM).
- ALL CULINARY AND SECONDARY WATERLINE PIPE AND FITTINGS TO BE C900 DR-14.
- ALL THRUST BLOCKS SHALL BE POURED IN PLACE AGAINST UNDISTURBED SOIL AS PER SPECIFICATIONS. ALL VALVES, FITTINGS, AND APPURTENANCES TO BE BLOCKED. THRUST BLOCKS SHALL BE SIZED FOR 200 PSI WORKING PRESSURE PER BEARING PRESSURE FROM SOILS REPORT.
- ALL STORM DRAIN PIPING SHALL BE CLASS III RCP UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- EXISTING SEWER MAIN TO REMAIN IN SERVICE UNTIL NEW MAIN HAS BEEN INSTALLED, TESTED, AND ALL SERVICES HAVE BEEN RECONNECTED.
- THE CONTRACTOR SHALL PLACE TEMPORARY STREET ASPHALT SURFACES IF THE WORK IS ACCOMPLISHED AT A TIME WHEN PERMANENT ASPHALT SURFACING MATERIAL IS NOT AVAILABLE. AT THE TIME PERMANENT ASPHALT BECOMES AVAILABLE, THE CONTRACTOR SHALL FURNISH AND PLACE ASPHALT PER SYRACUSE CITY STANDARDS. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR PERIOD OF TWO YEARS FROM THE DATE OF COMPLETION.
- ALL CONCRETE VALVE BOXES WILL BE POURED IN PLACE AGAINST UNDISTURBED SOIL AND BUILT WITH A DUCTILE IRON RING AND COVER POSITIONED OVER THE VALVE OPERATING UNIT CENTERED OVER THE MAN WAY OPENING.
- CONTRACTOR TO LAYOUT AND POT HOLE FOR ALL POTENTIAL CONFLICTS WITH UTILITY LINES ON OR OFF SITE AS REQUIRED PRIOR TO ANY CONSTRUCTION, AND THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY POT HOLING A MINIMUM OF 300 FEET AHEAD OF PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. IF A CONFLICT ARISES RESULTING FROM THE CONTRACTORS NEGLIGENCE TO POT HOLE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW PIPE DURING CONSTRUCTION.
- HANDICAP ACCESSIBILITY: ALL CONSTRUCTION SHALL MEET THE CURRENT ADA HANDICAP ACCESSIBILITY REQUIREMENTS AND STANDARDS. FOR ANY DISCREPANCIES BETWEEN THE PLANS AND CURRENT ADA STANDARD REQUIREMENTS, CURRENT ADA STANDARD REQUIREMENTS WILL GOVERN.
- 700 SOUTH IS CURRENTLY UNDER MORATORIUM. THE FULL WIDTH OF 700 SOUTH FROM STATION 2+90 TO 10+10 SHALL BE MILLED TO A DEPTH OF 2" AND REPLACED WITH NEW ASPHALT. ALL TRENCHES SHALL BE REPAIRED WITH IMPORT AND CAPPED WITH 12" OF BASE ON 4" OF ASPHALT. THE EXISTING ROAD HAS A N.R.S. MASTIC SEALER (ONX) WHICH WILL ALSO NEED TO BE REPLACED ALONG WITH THE STRIPING. MILL TO BE INSTALLED UPON COMPLETION OF PHASE 2 ROAD IMPROVEMENTS IN 700 SOUTH STREET.
- SIDEWALKS SHALL BE 6" THICK THROUGH DRIVEWAYS.
- INSTALL SNAKEPIT PEDESTALS PER SYRACUSE CITY STANDARDS ON CULINARY AND SECONDARY WATER MAINS.
- INSTALL A 5 NON-CLIMBABLE FENCE FROM THE SOUTHEAST CORNER OF LOT 501 TO THE NORTHEAST CORNER OF LOT 519. THE DEVELOPER IS TO PROVIDE A LANDSCAPE CERTIFICATE FOR LOTS 501-502, 503 AND 519 TO ACCOMMODATE THE REQUIRED LANDSCAPE BUFFER ON SAID LOTS PER SYRACUSE CITY CODE 10.30.080.

CITY ENGINEER ACCEPTANCE OF IMPROVEMENT PLANS

THE IMPROVEMENT PLANS FOR THIS SUBDIVISION HAVE BEEN REVIEWED BY THE CITY ENGINEER FOR GENERAL CONFORMANCE WITH THE REQUIREMENTS OF THE CITY SUBDIVISION ORDINANCE. THIS SET OF CITY APPROVED DRAWINGS SHALL BE USED FOR CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS. THE DEVELOPERS ENGINEER, WHOSE STAMP IS ON THESE DRAWINGS, IS RESPONSIBLE FOR THE ENGINEERING DESIGN, DRAFTING AND RELATED FIELD INFORMATION. THE CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR: THE DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE; FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION; COORDINATION OF HIS OR HER WORK WITH THAT OF ALL OTHER TRADES; AND THE SATISFACTORY PERFORMANCE OF HIS OR HER WORK.

BY: _____ DATE: _____
CITY ENGINEER

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

TRAFFIC CONTROL AND SAFETY NOTES

- BARRICAADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT MANUAL IF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE CITY TRAFFIC ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
- TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

ABBREVIATIONS

APWA	AMERICAN PUBLIC WORKS ASSOCIATION	NO	NUMBER
AR	ACCESSIBLE ROUTE	OC	ON CENTER
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	OCEW	ON CENTER EACH WAY
AWWA	AMERICAN WATER WORKS ASSOCIATION	OHP	OVERHEAD POWER
BOS	BOTTOM OF STEP	PC	POINT OF CURVATURE OR PRESSURE CLASS
BVC	BEGIN VERTICAL CURVE	PCC	POINT OF COMPOUND CURVATURE
C	CURVE	PI	POINT OF INTERSECTION
CB	CATCH BASIN	PIP	PLASTIC IRRIGATION PIPE
CF	CURB FACE	PIV	POST INDICATOR VALVE
CO	CLEAN OUT	PRC	POINT OF REVERSE CURVATURE
COMM	COMMUNICATION	PRO	PROPOSED
CONC	CONCRETE	PT	POINT OF TANGENCY
CONT	CONTINUOUS	PVC	POINT OF VERTICAL CURVATURE
DIA	DIAMETER	PVI	POINT OF VERTICAL INTERSECTION
DIP	DUCTILE IRON PIPE	PVT	POINT OF VERTICAL TANGENCY
ELEC	ELECTRICAL	R	RADIUS
ELEV	ELEVATION	RD	ROOF DRAIN
EOA	EDGE OF ASPHALT	ROW	RIGHT OF WAY
EVC	END OF VERTICAL CURVE	S	SLOPE
EW	EACH WAY	SAN SWR	SANITARY SEWER
EXIST	EXISTING	SD	STORM DRAIN
FF	FINISH FLOOR	SEC	SECONDARY
FG	FINISH GRADE	SS	SANITARY SEWER
FH	FIRE HYDRANT	STA	STATION
FL	FLOW LINE OR FLANGE	SW	SIDEWALK
GB	GRADE BREAK	SWL	SECONDARY WATER LINE
GV	GATE VALVE	TBC	TOP BACK OF CURB
HC	HANDICAP	TOG	TOP OF GRATE
HP	HIGH POINT	TOA	TOP OF ASPHALT
IRR	IRRIGATION	TOC	TOP OF CONCRETE
K	RATE OF VERTICAL CURVATURE	TOP	TOP OF FOUNDATION
LD	LAND DRAIN	TOW	TOP OF WALL
LF	LINEAR FEET	TOS	TOP OF STEP
LP	LOW POINT	TYP	TYPICAL
MH	MANHOLE	VC	VERTICAL CURVE
MIN	MINIMUM	WIV	WALL INDICATOR VALVE
MJ	MECHANICAL JOINT	WL	WATER LINE
NG	NATURAL GROUND		

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

LEGEND

	SECTION CORNER		EXISTING TREE
	EXISTING MONUMENT		DENSE VEGETATION
	PROPOSED MONUMENT		EXISTING EDGE OF ASPHALT
	EXISTING REBAR AND CAP		PROPOSED EDGE OF ASPHALT
	SET ENSIGN REBAR AND CAP		EXISTING STRIPING
	EXISTING WATER METER		PROPOSED STRIPING
	PROPOSED WATER METER		EXISTING FENCE
	EXISTING WATER MANHOLE		PROPOSED FENCE
	PROPOSED WATER MANHOLE		EXISTING FLOW LINE
	EXISTING WATER BOX		PROPOSED FLOW LINE
	EXISTING WATER VALVE		GRADE BREAK
	PROPOSED WATER VALVE		EXISTING STORM DRAIN LINE
	EXISTING FIRE HYDRANT		PROPOSED STORM DRAIN LINE
	PROPOSED FIRE HYDRANT		ROOF DRAIN LINE
	PROPOSED FIRE DEPARTMENT CONNECTION		CATCHMENTS
	EXISTING SECONDARY WATER VALVE		HIGHWATER LINE
	PROPOSED SECONDARY WATER VALVE		EXISTING SANITARY SEWER
	EXISTING IRRIGATION BOX		PROPOSED SAN. SWR. SERVICE LINE
	EXISTING IRRIGATION VALVE		EXISTING LAND DRAIN LINE
	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
	EXISTING SANITARY SEWER MANHOLE		EXISTING CULINARY WATER LINE
	PROPOSED SANITARY SEWER MANHOLE		PROPOSED CULINARY WATER LINE
	EXISTING SANITARY CLEAN OUT		EXISTING STORM DRAIN LINE
	EXISTING STORM DRAIN CLEAN OUT BOX		PROPOSED STORM DRAIN LINE
	PROPOSED STORM DRAIN CLEAN OUT BOX		EXISTING STORM DRAIN CATCH BASIN
	EXISTING STORM DRAIN INLET BOX		PROPOSED STORM DRAIN CATCH BASIN
	EXISTING STORM DRAIN CATCH BASIN		EXISTING STORM DRAIN COMBO BOX
	PROPOSED STORM DRAIN CATCH BASIN		PROPOSED STORM DRAIN COMBO BOX
	EXISTING STORM DRAIN COMBO BOX		EXISTING STORM DRAIN INLET PROTECTION
	PROPOSED STORM DRAIN COMBO BOX		TEMPORARY IN-LINE INLET PROTECTION
	EXISTING STORM DRAIN INLET PROTECTION		ROOF DRAIN
	PROPOSED STORM DRAIN INLET PROTECTION		EXISTING ELECTRICAL MANHOLE
	ROOF DRAIN		EXISTING ELECTRICAL BOX
	EXISTING ELECTRICAL MANHOLE		EXISTING TRANSFORMER
	EXISTING ELECTRICAL BOX		EXISTING UTILITY POLE
	EXISTING TRANSFORMER		EXISTING LIGHT
	EXISTING UTILITY POLE		PROPOSED LIGHT
	EXISTING LIGHT		EXISTING GAS METER
	PROPOSED LIGHT		EXISTING GAS MANHOLE
	EXISTING GAS METER		EXISTING GAS VALVE
	EXISTING GAS MANHOLE		EXISTING TELEPHONE MANHOLE
	EXISTING GAS VALVE		EXISTING TELEPHONE BOX
	EXISTING TELEPHONE MANHOLE		EXISTING TRAFFIC SIGNAL BOX
	EXISTING TELEPHONE BOX		EXISTING CABLE BOX
	EXISTING TRAFFIC SIGNAL BOX		EXISTING BOLLARD
	EXISTING CABLE BOX		PROPOSED BOLLARD
	EXISTING BOLLARD		EXISTING SIGN
	PROPOSED BOLLARD		PROPOSED SIGN
	EXISTING SIGN		EXISTING SPOT ELEVATION
	PROPOSED SIGN		PROPOSED TBC ELEVATION
	EXISTING SPOT ELEVATION		EXISTING FLOW DIRECTION
	PROPOSED TBC ELEVATION		
	EXISTING FLOW DIRECTION		

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.



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MARK SANDBERG
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FAX:

TRAIL'S EDGE SUBDIVISION
PHASE 5
3200 WEST 700 SOUTH STREET
SYRACUSE, UTAH



NO.	DATE	REVISION	BY
1	5-6-15	FOR REVIEW	MTS
2			
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NOTES

PROJECT NUMBER: L2138
PRINT DATE: 7/9/15
DRAWN BY: M.ELLMER
CHECKED BY: M.STATEN
PROJECT MANAGER: K.RUSSELL

C-001

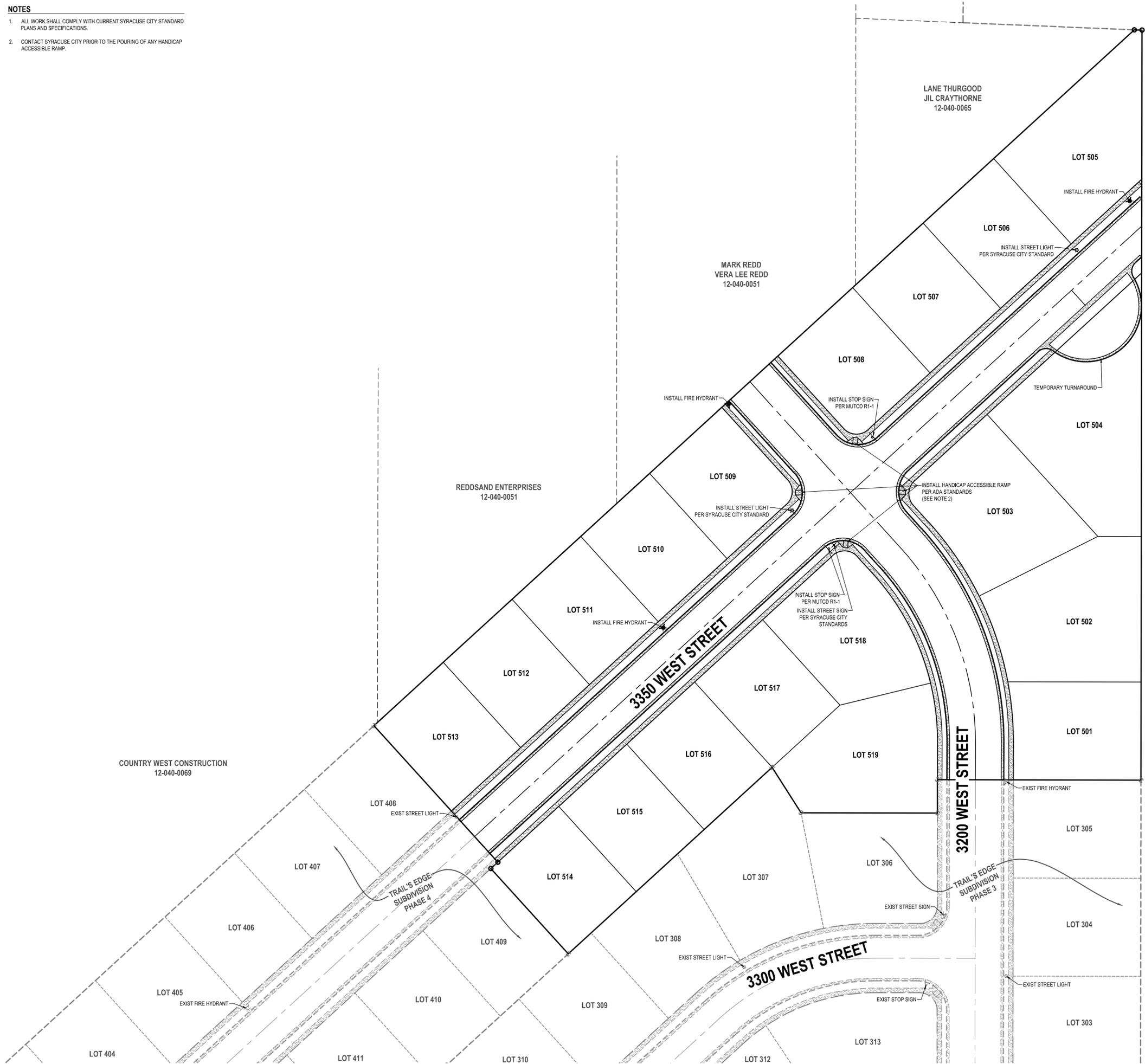
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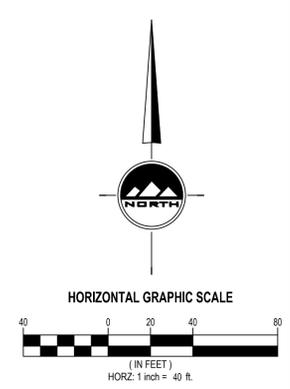
BENCHMARK

BENCHMARK IS THE SOUTH QUARTER
CORNER OF SECTION 5, TOWNSHIP 4 NORTH,
RANGE 2 WEST, SALT LAKE BASE & MERIDIAN
ELEVATION = 4245.76

- NOTES**
1. ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
 2. CONTACT SYRACUSE CITY PRIOR TO THE POURING OF ANY HANDICAP ACCESSIBLE RAMP.



LDS CHURCH



EN SIGN
THE STANDARD IN ENGINEERING

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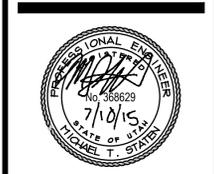
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PHASE 5
3200 WEST 700 SOUTH STREET
SYRACUSE, UTAH**



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SITE PLAN

PROJECT NUMBER: L2138
PRINT DATE: 7/13/15

DRAWN BY: MELMER
CHECKED BY: M.STATEN

PROJECT MANAGER: K.RUSSELL

C-100

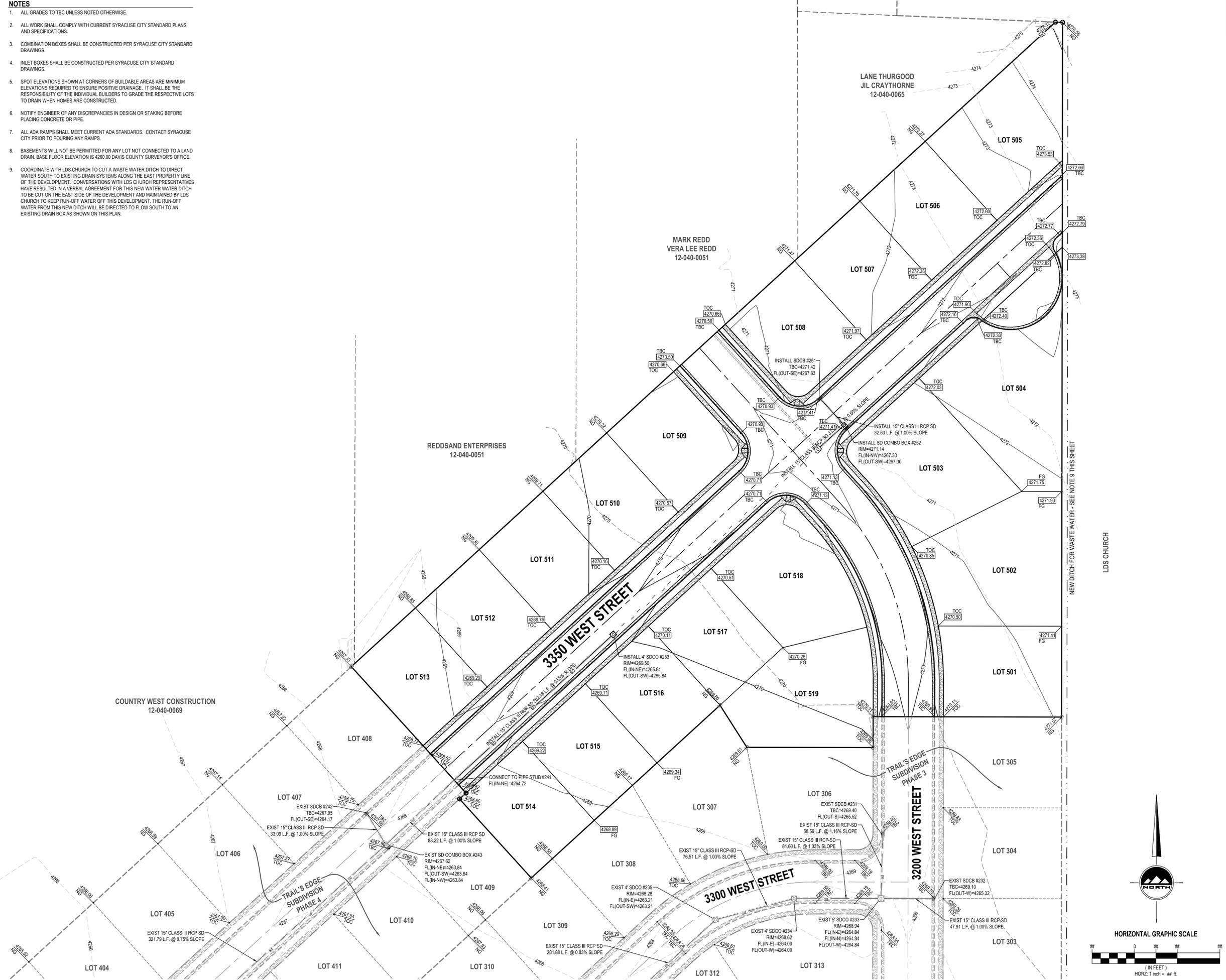
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BENCHMARK

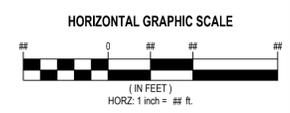
BENCHMARK IS THE SOUTH QUARTER
CORNER OF SECTION 5, TOWNSHIP 4 NORTH,
RANGE 2 WEST, SALT LAKE BASE & MERIDIAN
ELEVATION = 4245.76

- NOTES**
1. ALL GRADES TO TBC UNLESS NOTED OTHERWISE.
 2. ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
 3. COMBINATION BOXES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD DRAWINGS.
 4. INLET BOXES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD DRAWINGS.
 5. SPOT ELEVATIONS SHOWN AT CORNERS OF BUILDABLE AREAS ARE MINIMUM ELEVATIONS REQUIRED TO ENSURE POSITIVE DRAINAGE. IT SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL BUILDERS TO GRADE THE RESPECTIVE LOTS TO DRAIN WHEN HOMES ARE CONSTRUCTED.
 6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR PIPE.
 7. ALL ADA RAMPS SHALL MEET CURRENT ADA STANDARDS. CONTACT SYRACUSE CITY PRIOR TO POURING ANY RAMPS.
 8. BASEMENTS WILL NOT BE PERMITTED FOR ANY LOT NOT CONNECTED TO A LAND DRAIN. BASE FLOOR ELEVATION IS 4286.00 DAVIS COUNTY SURVEYOR'S OFFICE.
 9. COORDINATE WITH LDS CHURCH TO CUT A WASTE WATER DITCH TO DIRECT WATER SOUTH TO EXISTING DRAIN SYSTEMS ALONG THE EAST PROPERTY LINE OF THE DEVELOPMENT. CONVERSATIONS WITH LDS CHURCH REPRESENTATIVES HAVE RESULTED IN A VERBAL AGREEMENT FOR THIS NEW WATER DITCH TO BE CUT ON THE EAST SIDE OF THE DEVELOPMENT AND MAINTAINED BY LDS CHURCH TO KEEP RUN-OFF WATER OFF THIS DEVELOPMENT. THE RUN-OFF WATER FROM THIS NEW DITCH WILL BE DIRECTED TO FLOW SOUTH TO AN EXISTING DRAIN BOX AS SHOWN ON THIS PLAN.



NEW DITCH FOR WASTE WATER - SEE NOTE 9 THIS SHEET

LDS CHURCH



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GRADING AND DRAINAGE PLAN

PROJECT NUMBER: L2138 PRINT DATE: 7/13/15
DRAWN BY: MELMER CHECKED BY: M.STATEN
PROJECT MANAGER: KRUSSELL

C-200

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BENCHMARK

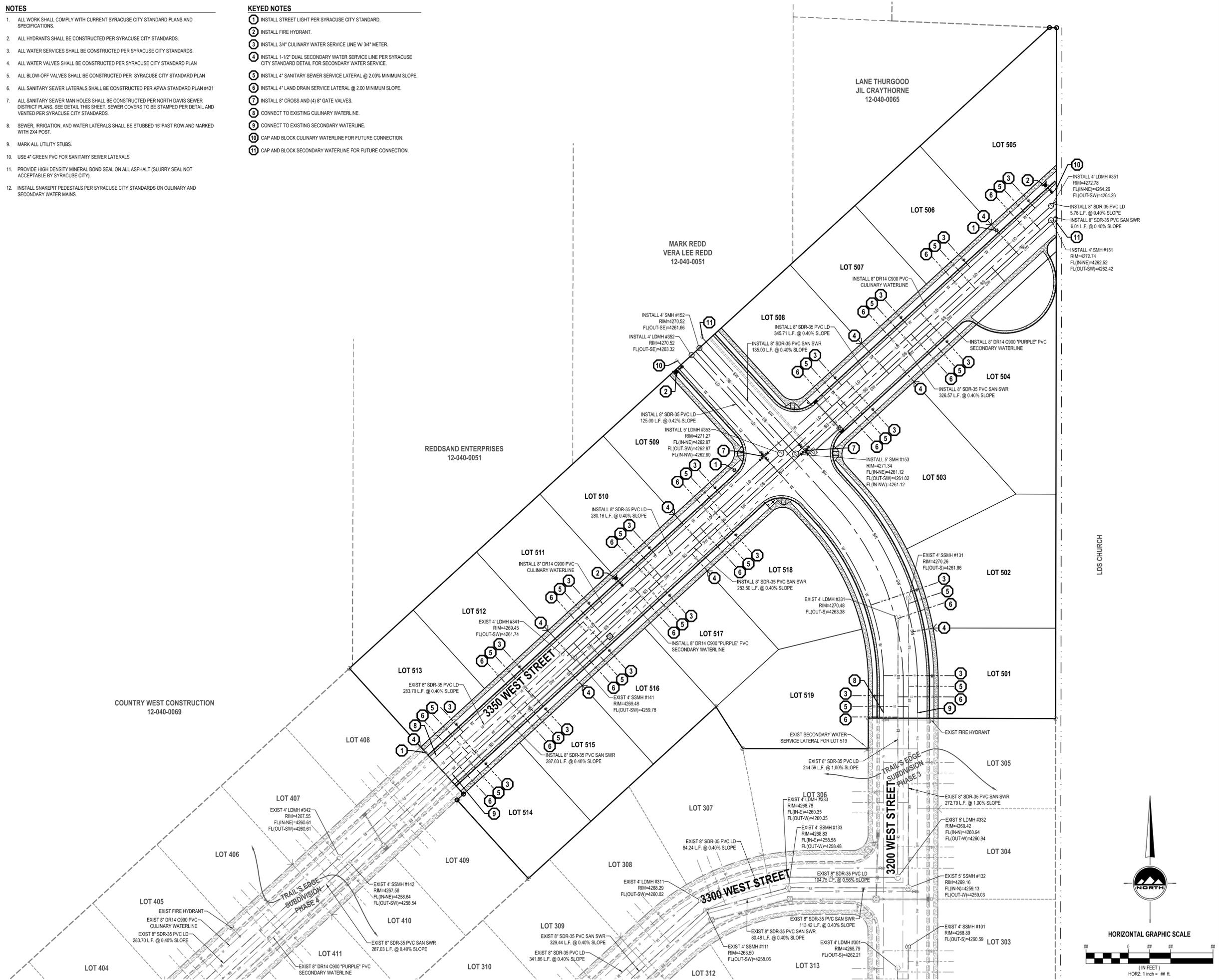
BENCHMARK IS THE SOUTH QUARTER
CORNER OF SECTION 5, TOWNSHIP 4 NORTH,
RANGE 2 WEST, SALT LAKE BASE & MERIDIAN
ELEVATION = 4245.76

NOTES

1. ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
2. ALL HYDRANTS SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARDS.
3. ALL WATER SERVICES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARDS.
4. ALL WATER VALVES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD PLAN
5. ALL BLOW-OFF VALVES SHALL BE CONSTRUCTED PER SYRACUSE CITY STANDARD PLAN
6. ALL SANITARY SEWER LATERALS SHALL BE CONSTRUCTED PER APWA STANDARD PLAN #431
7. ALL SANITARY SEWER MAN HOLES SHALL BE CONSTRUCTED PER NORTH DAVIS SEWER DISTRICT PLANS. SEE DETAIL THIS SHEET. SEWER COVERS TO BE STAMPED PER DETAIL AND VENTED PER SYRACUSE CITY STANDARDS.
8. SEWER, IRRIGATION, AND WATER LATERALS SHALL BE STUBBED 15' PAST ROW AND MARKED WITH 2X4 POST.
9. MARK ALL UTILITY STUBS.
10. USE 4" GREEN PVC FOR SANITARY SEWER LATERALS
11. PROVIDE HIGH DENSITY MINERAL BOND SEAL ON ALL ASPHALT (SLURRY SEAL NOT ACCEPTABLE BY SYRACUSE CITY).
12. INSTALL SNAKEPIPT PEDESTALS PER SYRACUSE CITY STANDARDS ON CULINARY AND SECONDARY WATER MAINS.

KEYED NOTES

1. INSTALL STREET LIGHT PER SYRACUSE CITY STANDARD.
2. INSTALL FIRE HYDRANT.
3. INSTALL 3/4" CULINARY WATER SERVICE LINE W/ 3/4" METER.
4. INSTALL 1-1/2" DUAL SECONDARY WATER SERVICE LINE PER SYRACUSE CITY STANDARD DETAIL FOR SECONDARY WATER SERVICE.
5. INSTALL 4" SANITARY SEWER SERVICE LATERAL @ 2.00% MINIMUM SLOPE.
6. INSTALL 4" LAND DRAIN SERVICE LATERAL @ 2.00 MINIMUM SLOPE.
7. INSTALL 8" CROSS AND (4) 8" GATE VALVES.
8. CONNECT TO EXISTING CULINARY WATERLINE.
9. CONNECT TO EXISTING SECONDARY WATERLINE.
10. CAP AND BLOCK CULINARY WATERLINE FOR FUTURE CONNECTION.
11. CAP AND BLOCK SECONDARY WATERLINE FOR FUTURE CONNECTION.



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UTILITY PLAN

PROJECT NUMBER: L2138
PRINT DATE: 7/13/15

DRAWN BY: M.ELMER
CHECKED BY: M.STATEN

PROJECT MANAGER: K.RUSSELL

C-300

811 CALL BLUESTAKES @ 911 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. Know what's below. Call before you dig.

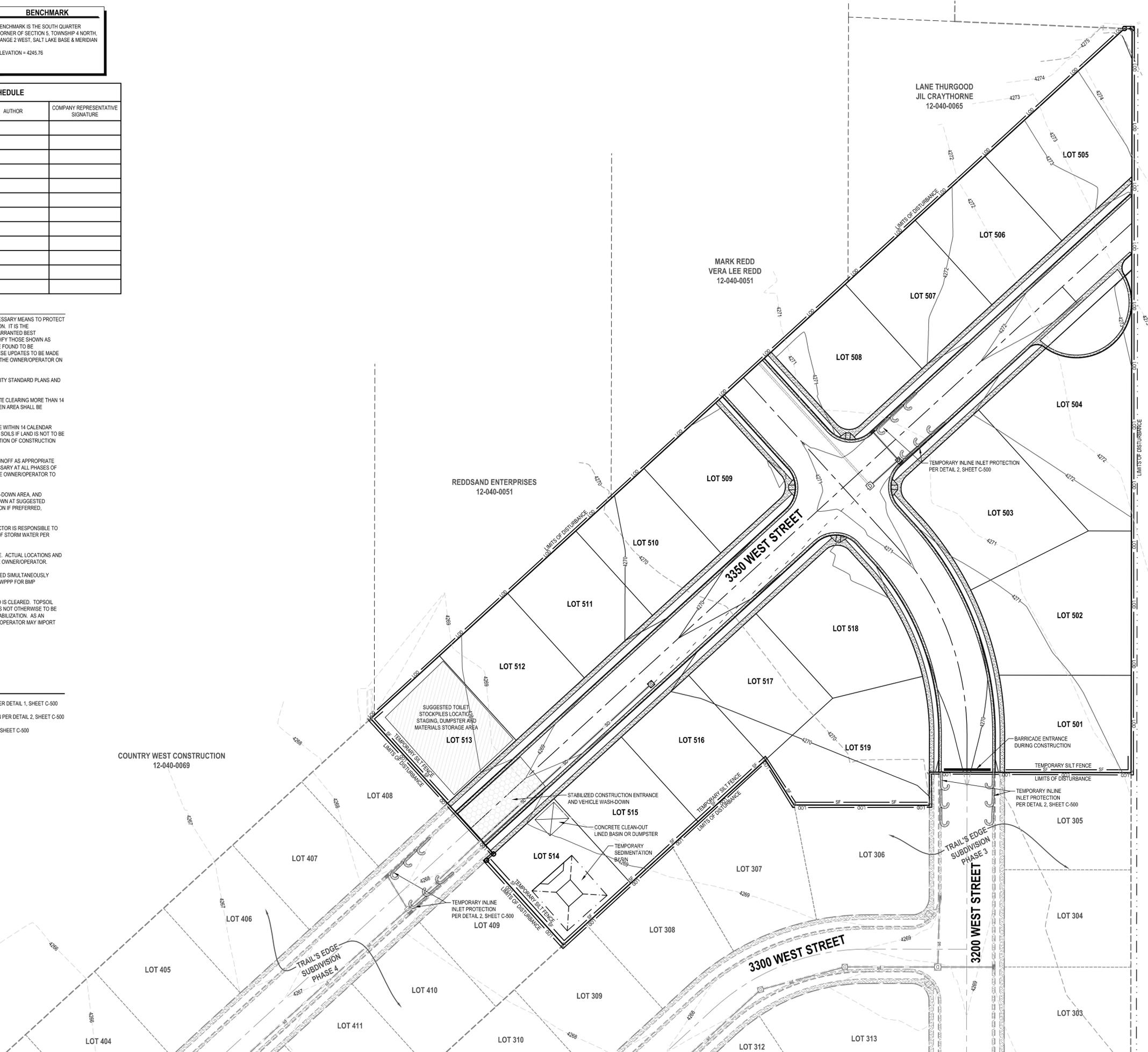
BENCHMARK
BENCHMARK IS THE SOUTH QUARTER CORNER OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN
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REVISION SCHEDULE			
NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE
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- NOTES**
- THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMPs) AS NECESSARY. MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
 - ALL WORK SHALL COMPLY WITH CURRENT SYRACUSE CITY STANDARD PLANS AND SPECIFICATIONS.
 - DISTURBED LAND SHALL BE KEPT TO A MINIMUM - NO SITE CLEARING MORE THAN 14 CALENDAR DAYS AHEAD OF CONSTRUCTION IN ANY GIVEN AREA SHALL BE ALLOWED.
 - RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
 - DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION - NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES.
 - STABILIZED CONSTRUCTION ENTRANCE, VEHICLE WASH-DOWN AREA, AND SEDIMENTATION AND CLEANOUT BASIN HAVE BEEN SHOWN AT SUGGESTED LOCATION. CONTRACTOR MAY MOVE TO OTHER LOCATION IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
 - NOT ALL POSSIBLE BMPs HAVE BEEN SHOWN. CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT POLLUTION OF STORM WATER PER PROJECT SWPPP.
 - PLAN LOCATIONS SHOWN FOR BMPs ARE APPROXIMATE. ACTUAL LOCATIONS AND CONFIGURATIONS SHALL BE FIELD-DETERMINED BY THE OWNER/OPERATOR.
 - NOT ALL BMPs SHOWN CAN OR SHOULD BE IMPLEMENTED SIMULTANEOUSLY AND/OR FOR THE DURATION OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
 - EXISTING TOPSOIL IS TO BE HARVESTED WHEN GROUND IS CLEARED. TOPSOIL SHALL THEN BE STOCKPILED ON-SITE FOR USE IN AREAS NOT OTHERWISE TO BE LANDSCAPED, TO ACCELERATE REVEGETATION AND STABILIZATION. AS AN ALTERNATE TO STOCKPILING TOPSOIL ONSITE, OWNER/OPERATOR MAY IMPORT TOPSOIL TO AREAS TO BE STABILIZED FROM OFFSITE.

LEGEND

- TEMPORARY SAG INLET PROTECTION PER DETAIL 1, SHEET C-500
- TEMPORARY IN-LINE INLET PROTECTION PER DETAIL 2, SHEET C-500
- SF TEMPORARY SILT FENCE PER DETAIL 3, SHEET C-500
- PROPOSED CONCRETE
- EXISTING CONCRETE
- LOD LIMITS OF DISTURBANCE
- GRADE BREAK
- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- PROPOSED 5' CONTOUR
- PROPOSED 1' CONTOUR



EROSION CONTROL PLAN

C-400

HORIZONTAL GRAPHIC SCALE
HORZ: 1 inch = 40 ft.

NO. DATE REVISION BY
1 5-6-15 FOR REVIEW MTS
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PROJECT NUMBER L2138 PRINT DATE 7/13/15
DRAWN BY MELMER CHECKED BY M.STATEN
PROJECT MANAGER KRUSSELL

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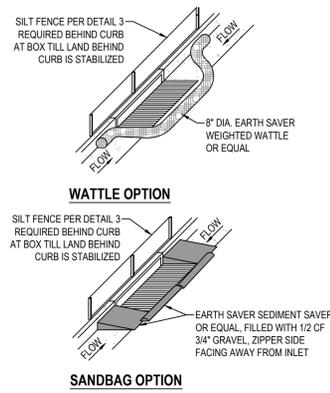
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FAX:

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EROSION CONTROL PLAN

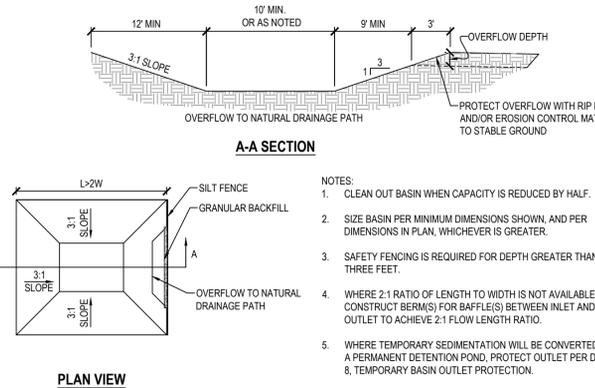
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7/13/15
MICHAEL T. STATEN

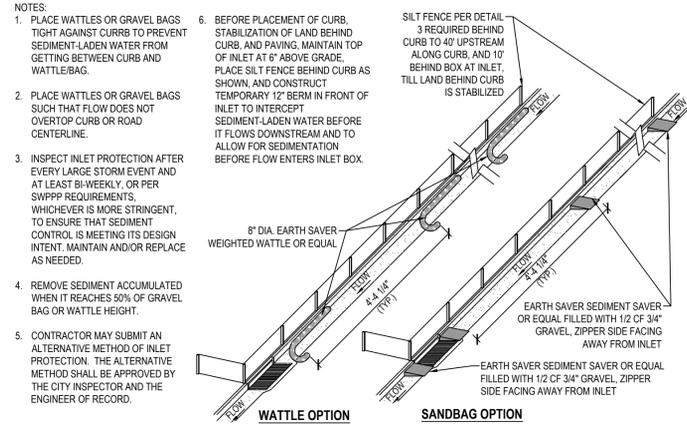


- NOTES:
1. PLACE WATTLES OR GRAVEL BAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT-LADEN WATER FROM GETTING BETWEEN CURB AND WATTLEBAG.
 2. PLACE WATTLES OR GRAVEL BAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE.
 3. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BI-WEEKLY, OR PER SWPPP REQUIREMENTS, WHICHEVER IS MORE STRINGENT, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED.
 4. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 50% OF GRAVEL BAG OR WATTLE HEIGHT.
 5. CONTRACTOR MAY SUBMIT AN ALTERNATIVE METHOD OF INLET PROTECTION. THE ALTERNATIVE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE ENGINEER OF RECORD.
 6. BEFORE PLACEMENT OF CURB, STABILIZATION OF LAND BEHIND CURB, AND/OR PAVING, MAINTAIN TOP OF INLET AT 6" ABOVE GRADE, AND SURROUND WITH SILT FENCE FOR SEDIMENTATION AROUND BOX. MAINTAIN SILT FENCE BEHIND BOX UNTIL LAND BEHIND CURB IS STABILIZED.

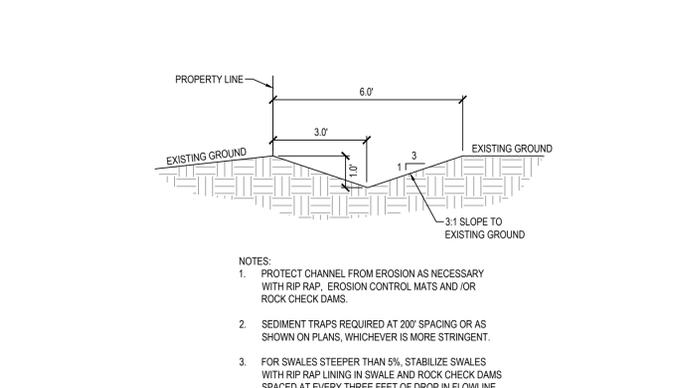
1 SAG INLET PROTECTION SCALE: NONE



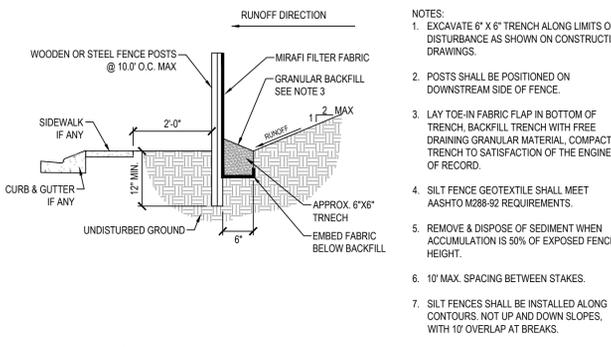
5 TEMPORARY SEDIMENTATION BASIN SCALE: NONE



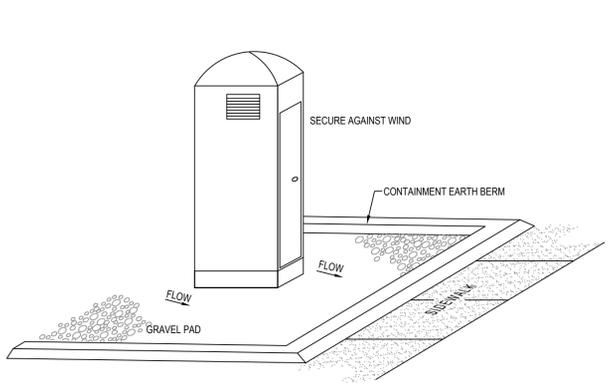
2 IN-LINE INLET PROTECTION SCALE: NONE



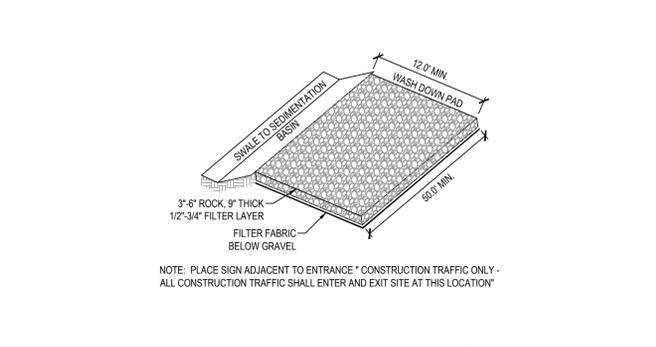
6 DRAINAGE SWALE SCALE: NONE



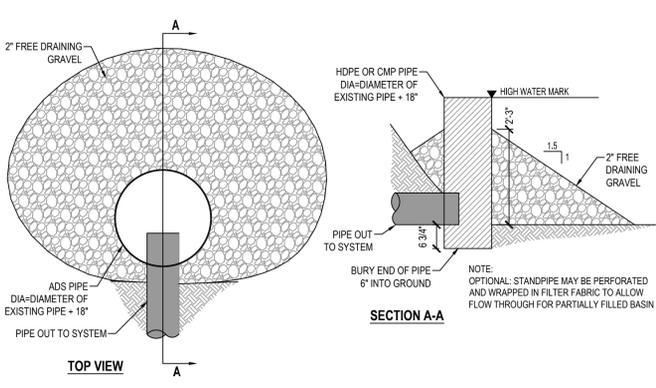
3 TEMPORARY SILT FENCE SCALE: NONE



7 PORTABLE TOILET SCALE: NONE



4 TEMPORARY VEHICLE WASHDOWN & STABILIZED CONSTRUCTION ENTRANCE SCALE: NONE



8 TEMPORARY BASIN OUTLET PROTECTION SCALE: NONE

ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
1485 W. Hill Field Rd., Ste. 204
Layton, UT 84041
Phone: 801.547.1100

SALT LAKE CITY
Phone: 801.255.0529

TOOLEE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

COLORADO SPRINGS
Phone: 719.476.0119

WWW.ENSIGNENG.COM

FOR:
MISA MARK SANDBERG
1882 WOODHAVEN DRIVE
HENDERSON, NEVADA 89074

CONTACT:
MARK SANDBERG
PHONE: 702-205-4627
FAX:

**TRAIL'S EDGE SUBDIVISION
PHASE 5
3200 WEST 700 SOUTH STREET
SYRACUSE, UTAH**



NO.	DATE	REVISION	BY
1	5-8-15	FOR REVIEW	MTS
2			
3			
4			
5			
6			
7			
8			

DETAILS

PROJECT NUMBER: L2138
PRINT DATE: 7/10/15

DRAWN BY: M.ELMER
CHECKED BY: M.STATEN

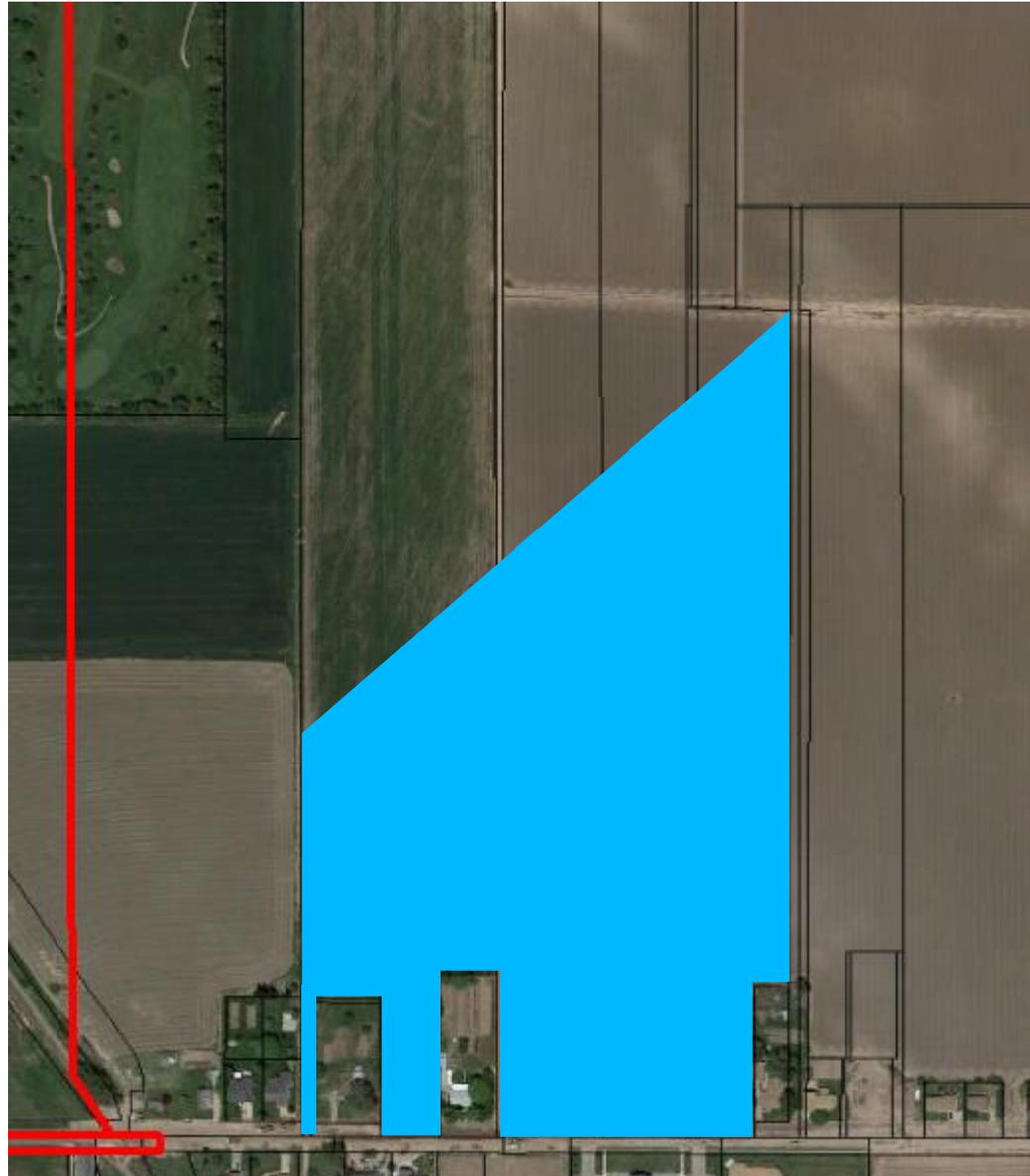
PROJECT MANAGER: K.RUSSELL

C-500



Aerial

Mark Sandberg 3250 W. 700 S.





CITY COUNCIL AGENDA

July 28, 2015

Agenda Item #9

Factual Summation

Development:	Tivoli Gardens Phase 2
Location:	1000 W 1900 S
Zone:	R-3 Residential
Applicant:	Wright Development Group
Acreage	9.53
Net Developable Acreage	7.624
Allowed lots	41
Proposed lots	34

Final Subdivision Plan

Public Meeting Outline

General Plan Approval	
Planning Commission	March 4, 2014
City Council	May 10, 2014
Rezone Approval	
Planning Commission	April 1, 2014
City Council	April 8, 2014
Sketch Plan Approval	April 1, 2014
Preliminary Plan Approval	May 6, 2014
Final Plan Approval PC	July 21, 2015

Attachments

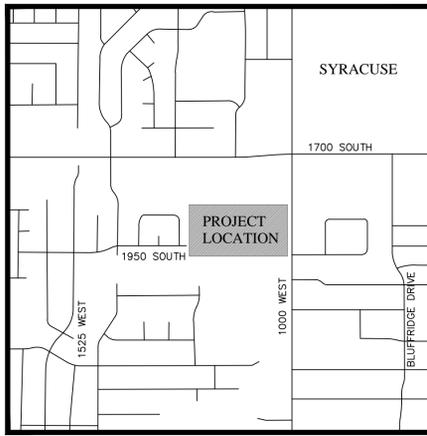
- Aerial
- Final Plan
- Staff Reviews

Planning Commission Recommendation

The Planning Commission moved to recommend approval of the Tivoli Gardens Phase 2 Final Plan request from Wright Development Group and Associates, located at approximately 1000 W 1900 S, R-3 Residential Zone, subject to all applicable requirements of the City's municipal codes with a unanimous vote on July 21, 2017.

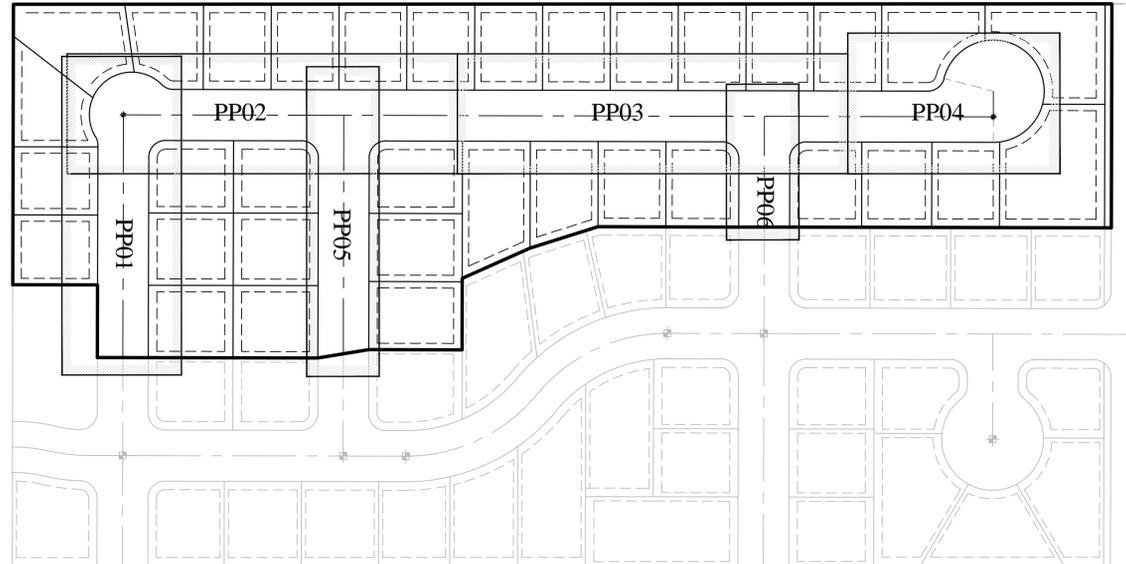
TIVOLI GARDENS PHASE 2

PREPARED FOR:
WRIGHT DEVELOPMENT GROUP, INC.
 LOCATED IN:
SYRACUSE CITY, DAVIS COUNTY, UTAH



VICINITY MAP
 N.T.S.

Sheet List Table	
Sheet Number	Sheet Title
C01	COVERSHEET
C02	FINAL PLAT
C03	SITE AND UTILITY PLAN
C04	DRAINAGE MASTER PLAN
C05	GRADING AND DRAINAGE PLAN
C06	EROSION CONTROL PLAN
PP01	1950 WEST PLAN AND PROFILE
PP02	1875 SOUTH PLAN AND PROFILE
PP03	1875 SOUTH PLAN AND PROFILE
PP04	1875 SOUTH PLAN AND PROFILE
PP05	1200 WEST PLAN AND PROFILE
PP06	1100 WEST PLAN AND PROFILE



SITE MAP

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO APWA STANDARD PLANS AND SYRACUSE CITY STANDARDS AND SPECIFICATIONS
- ALL SANITARY SEWER CONSTRUCTION SHALL ADHERE TO NORTH DAVIS SEWER IMPROVEMENT DISTRICT STANDARDS AND SPECIFICATIONS
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.

NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANTY THE ACCURACY OF SUCH LINWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

CONTACTS

ENGINEER & SURVEYOR
 FOCUS ENGINEERING & SURVEYING
 502 WEST 8360 SOUTH
 SANDY, UTAH 84070
 (801) 352-0075
 CONTACT: GREG DAY

OWNER/DEVELOPER
 WRIGHT DEVELOPMENT GROUP, INC.
 1572 NORTH WOODLAND PARK DRIVE, SUITE 505
 LAYTON, UTAH 84041
 (801) 773-7339
 CONTACT: SPENCER WRIGHT

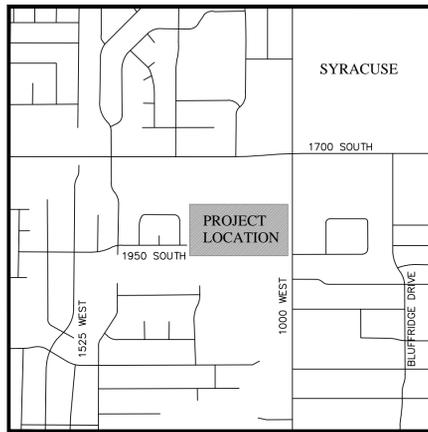


TIVOLI GARDENS PHASE 2
 SYRACUSE CITY, DAVIS COUNTY, UTAH
COVERSHEET

REVISION BLOCK		DESCRIPTION
#	DATE	
1		
2		
3		
4		
5		
6		

COVERSHEET	
Scale: --	Drawn: DRP
Date: 12/04/14	Job #: 14-033
Sheet: C01	

FOCUS[®]
 ENGINEERING AND SURVEYING, LLC
 502 WEST 8360 SOUTH
 SANDY, UTAH 84070 PH: (801) 352-0075
 www.focusutah.com



VICINITY MAP
N.T.S.

NOTES:

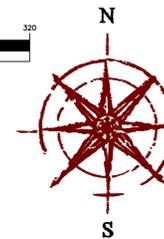
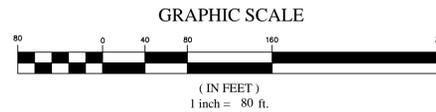
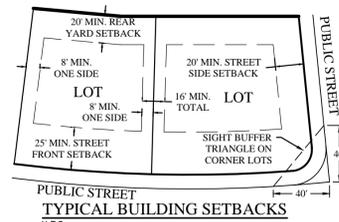
- #5 REBAR & CAP (FOCUS ENG) TO BE SET AT ALL LOT CORNERS. LEAD PLUGS TO BE SET IN THE TOP BACK OF CURB AT THE EXTENSION OF THE SIDE LOT LINES.
- BASIS OF BEARING FOR THIS SURVEY IS N0°07'16"E ALONG THE 1/4 SECTION LINE FROM THE CENTER 1/4 CORNER OF THE CALCULATED POSITION OF THE NORTH 1/4 CORNER OF SECTION 15, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN. PLEASE REFER TO A BOUNDARY TOPOGRAPHICAL SURVEY PREPARED BY THIS OFFICE AND FILED WITH THE DAVIS COUNTY SURVEYOR'S OFFICE FOR ADDITIONAL INFORMATION REGARDING THE BOUNDARY, CONTROLLING MONUMENTS, ETC.
- PARCEL "A" IS DESIGNATED AS COMMON AREA AND IS TO BE MAINTAINED BY THE HOA.

TIVOLI GARDENS PHASE 2

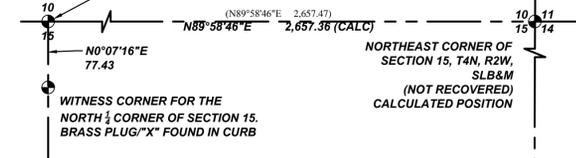
A PORTION OF THE NE 1/4 OF SECTION 15, T4N, R2W, SLB&M
SYRACUSE, DAVIS COUNTY, UTAH

Curve Table					
CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	20.00	90°00'00"	31.42	S45°07'52"W	28.28
C2	20.00	90°00'00"	31.42	N44°52'08"W	28.28
C3	20.00	90°00'00"	31.42	S45°07'52"W	28.28
C4	20.00	90°00'00"	31.42	N44°52'08"W	28.28
C5	20.00	90°00'00"	31.42	S45°07'52"W	28.28
C6	60.00	255°31'21"	267.58	N37°37'48"W	94.87
C7	20.00	75°31'21"	26.36	N52°22'12"E	24.49
C8	20.00	44°24'55"	15.50	S67°39'40"E	15.12
C9	50.00	165°25'05"	144.35	S51°50'15"W	99.19
C10	20.00	31°00'10"	10.82	N15°22'13"W	10.69
C11	60.00	7°13'44"	7.57	S86°31'00"W	7.57
C12	60.00	68°17'37"	71.52	S48°45'19"W	67.36
C13	60.00	114°04'18"	119.46	S42°25'38"E	100.68
C14	60.00	65°55'42"	69.04	N47°34'22"E	65.29
C15	50.00	41°18'15"	36.04	S66°06'20"E	35.27
C16	50.00	69°41'01"	60.81	N58°24'01"E	57.13
C17	50.00	54°25'49"	47.50	N3°39'24"W	45.73

Line Table		
LINE	DIRECTION	LENGTH
L1	N75°23'29"W	60.00
L2	N0°07'52"E	30.00
L3	S89°52'08"W	30.00
L4	N80°40'08"E	30.41
L5	S89°59'20"E	30.00



NORTH 1/4 CORNER OF SECTION 15, T4N, R2W, SLB&M (NOT RECOVERED) CALCULATED POSITION



LEGEND

- SECTION MONUMENT
- EXISTING STREET MONUMENT
- STREET MONUMENT TO BE SET



CENTURY LINK
APPROVED THIS ____ DAY OF ____ 2015, BY CENTURY LINK
BY _____
TITLE _____

QUESTAR GAS
APPROVED THIS ____ DAY OF ____ 2015, BY QUESTAR GAS COMPANY
BY _____
TITLE _____



ROCKY MOUNTAIN POWER
APPROVED THIS ____ DAY OF ____ 2015, BY ROCKY MOUNTAIN POWER
BY _____
TITLE _____

PLANNING COMMISSION
APPROVED THIS ____ DAY OF ____ 2015, BY THE SYRACUSE CITY PLANNING COMMISSION.
CHAIRMAN, PLANNING COMMISSION _____

CITY ENGINEER
APPROVED AS TO FORM THIS ____ DAY OF ____ A.D., 2015.
SYRACUSE CITY ENGINEER _____

CITY ATTORNEY
APPROVED AS TO FORM THIS ____ DAY OF ____ A.D., 2015.
SYRACUSE CITY ATTORNEY _____

CITY COUNCIL
PRESENTED TO THE SYRACUSE CITY COUNCIL THIS ____ DAY OF ____ 2015. AT WHICH ACCEPTED.
MAYOR _____
ATTEST _____ CITY RECORDER

PHASE INFORMATION			
ZONE	TOTAL AREA	NET DEVELOPABLE AREA	PHASE 2 LOTS
R-3	9.53 ACRES	7.15 ACRES	34

RECORDED #
STATE OF UTAH, COUNTY OF DAVIS
RECORDED AND FILED AT THE REQUEST OF _____
DATE ____ TIME ____ BOOK ____ PAGE ____
FEE \$ _____ COUNTY RECORDER _____

SURVEYOR'S CERTIFICATE

I, Dennis P. Carlisle, do hereby certify that I am a Professional Land Surveyor, and that I hold Certificate No. 172675 in accordance with Title 58, Chapter 22 of Utah State Code. I further certify by authority of the owners(s) that I have completed a Survey of the property described on this Plat in accordance with Section 17-23-17 of said Code, and have subdivided said tract of land into lots, blocks, streets, and easements, and the same has, or will be correctly surveyed, staked and monumented on the ground as shown on this Plat, and that this Plat is true and correct.

Dennis P. Carlisle _____ Date _____
Professional Land Surveyor
Certificate No. 172675

BOUNDARY DESCRIPTION

A portion of the NE 1/4 of Section 15, Township 4 North, Range 2 West, Salt Lake Base & Meridian, located in Syracuse, Utah, more particularly described as follows:
Beginning at a point located S0°08'46"W along the Section line 659.54 feet and S89°58'36"W 33.00 feet from the Northeast Corner of Section 15, T4N, R2W, S.L.B. & M.; thence S0°08'46"W 263.00 feet; thence N89°52'08"W 379.39 feet; thence S89°59'20"W 60.00 feet; thence N89°49'03"W 166.00 feet; thence S72°34'08"W 83.91 feet; thence S66°04'41"W 87.61 feet; thence S0°07'52"W 83.97 feet; thence N89°52'08"W 110.00 feet; thence S89°52'08"W 60.83 feet; thence N89°52'08"W 260.00 feet; thence N0°07'52"E 85.28 feet; thence N89°52'08"W 100.00 feet to the westerly line of ANTELOPE RUN Subdivision, according to the Official Plat thereof on file in the Office of the Davis County Recorder; thence N0°07'52"E along said Plat 329.23 feet to the south line of to the south line of DESERTSCAPE Subdivision (Amended), according to the Official Plat thereof on file in the Office of the Davis County Recorder; thence N89°58'36"E along said Plat and extension thereof 1,295.47 feet to the point of beginning.
Contains: 9.53 +/- acres

OWNER'S DEDICATION

WE, THE UNDERSIGNED OWNERS OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THIS PLAT, AND NAME SAID TRACT

**TIVOLI GARDENS
PHASE 2**

AND DO HEREBY DEDICATE, GRANT AND CONVEY TO SYRACUSE CITY, DAVIS COUNTY, UTAH, ALL THOSE PARTS AND PORTIONS OF SAID TRACTS OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER, AND DEDICATE TO THE HOME OWNERS ASSOCIATION (HOA) PARCEL "A" TO BE USED AS COMMON AREA AND PUBLIC UTILITY EASEMENT, ALSO THOSE CERTAIN STRIPS AS EASEMENTS FOR PUBLIC UTILITY AND DRAINAGE PURPOSES AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE AS MAY BE AUTHORIZED BY SYRACUSE CITY.

SIGNED THIS ____ DAY OF _____, 2015

LIMITED LIABILITY ACKNOWLEDGMENT

ON THE ____ DAY OF _____ A.D., 2015 PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF DAVIS, IN SAID STATE OF UTAH, _____ WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE/SHE IS THE _____ OF _____ AND THAT HE/SHE SIGNED THE OWNER'S DEDICATION FOR THE PURPOSES THEREIN MENTIONED AND THAT SAID L.L.C. EXECUTED THE SAME.

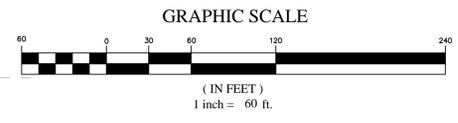
NOTARY PUBLIC
RESIDING IN DAVIS COUNTY



TIVOLI GARDENS PHASE 2
 SYRACUSE CITY, DAVIS COUNTY, UTAH
SITE AND UTILITY PLAN

REVISION BLOCK	
#	DESCRIPTION
1	
2	
3	
4	
5	
6	

SITE AND UTILITY PLAN	
Scale: 1"=60'	Drawn: DRP
Date: 12/04/14	Job #: 14-033
Sheet:	C03

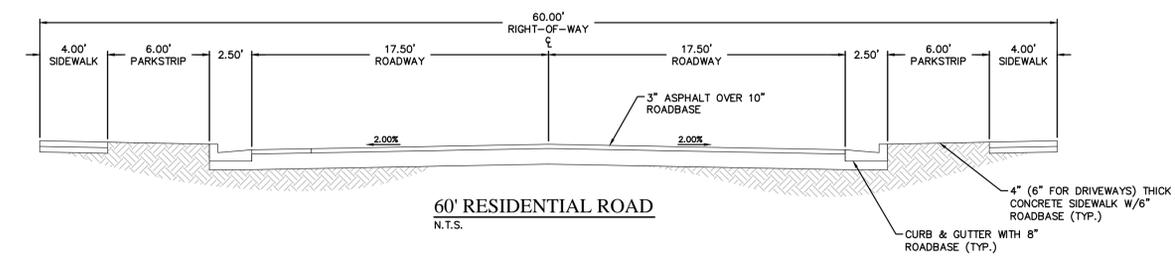
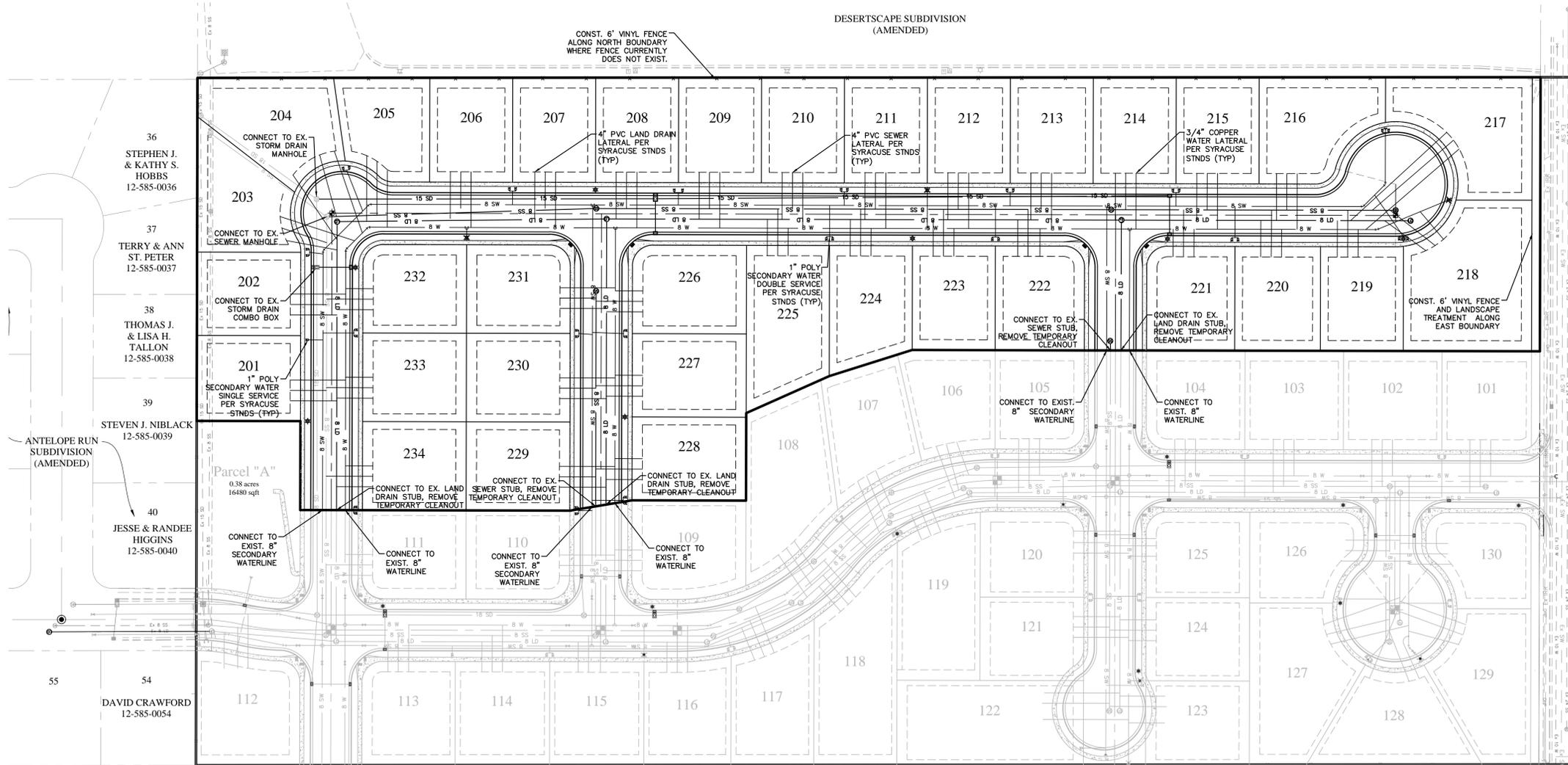


LEGEND

	BOUNDARY
	ROW
	CENTERLINE
	LOT LINE
	EASEMENT
	REVERSE-PAN CURB & GUTT
	15" STORM DRAIN
	8" SANITARY SEWER
	8" CULINARY WATER
	8" SECONDARY WATER
	CONTOUR MAJOR
XXXX symbol	CONTOUR MINOR
	EXIST. STORM DRAIN
	EXIST. SANITARY SEWER
	EXIST. CULINARY WATER
	EXIST. FENCE
	EXIST. CONTOUR MAJOR
(XXXX) symbol"/>	EXIST. CONTOUR MINOR
	SIGN
	STREET LIGHT
	SD MH, INLET, AND COMBO
	SEWER MANHOLE
	VALVE, TEE & BEND
	WATER BLOW-OFF
	FIRE HYDRANT

BENCHMARK
 Vertical data (contour lines and/or spot elevations, etc.) is based on the NGVD29 elevation of 4279.30 published by the Davis County Surveyor on the brass cap monument marking the Center 1/4 Corner of Section 15, T4N, R2W.

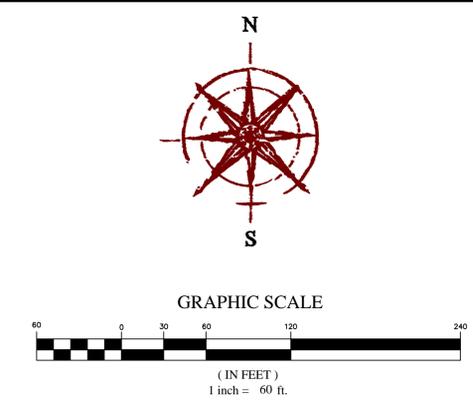
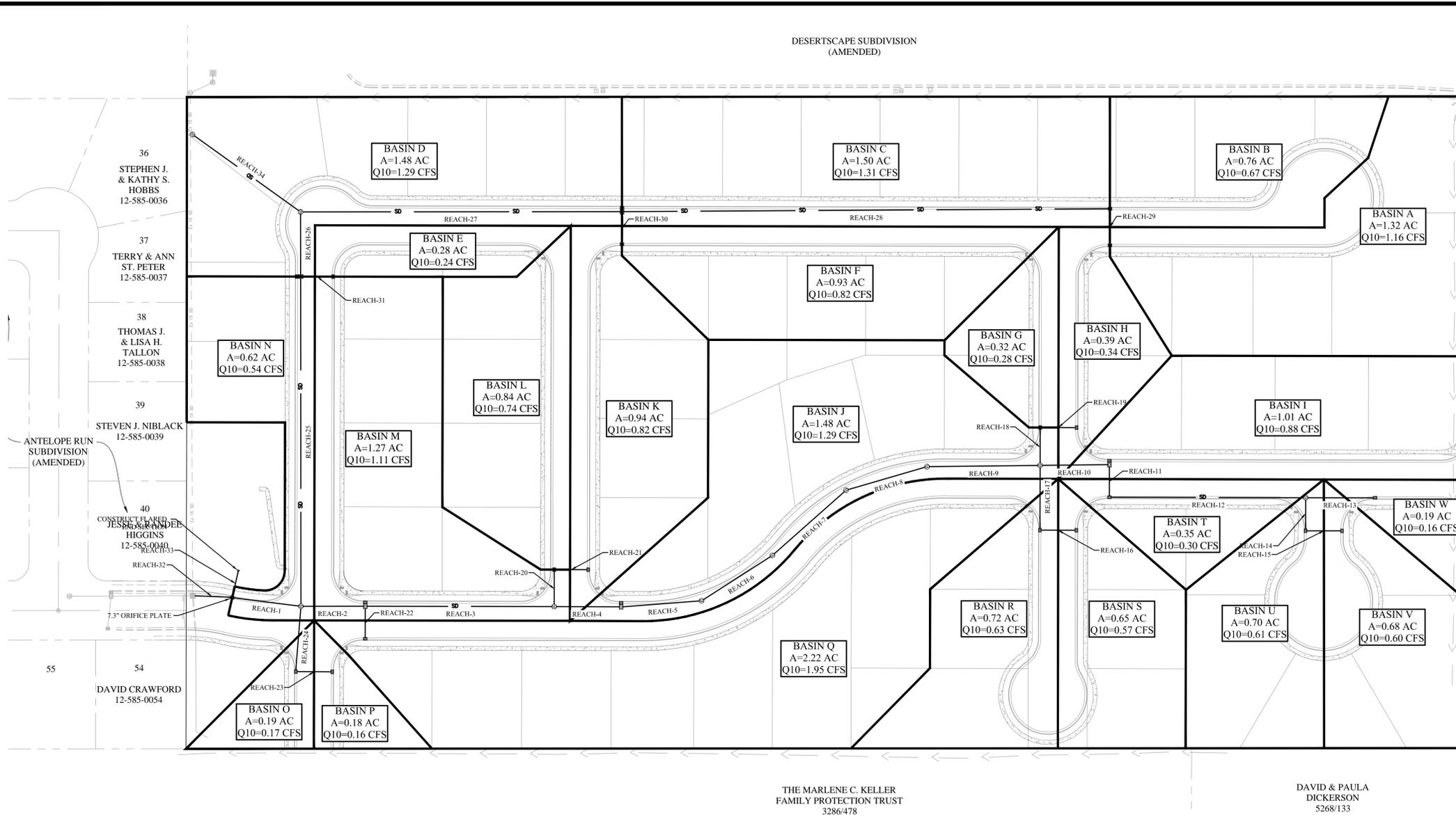
NOTES:
 1. ALL ADA RAMPS SHALL BE INSTALLED PER CURRENT ADA STANDARDS. CONTACT SYRACUSE CITY PRIOR TO POURING ANY ADA RAMPS.



36 STEPHEN J. & KATHY S. HOBBS 12-585-0036
 37 TERRY & ANN ST. PETER 12-585-0037
 38 THOMAS J. & LISA H. TALLON 12-585-0038
 39 STEVEN J. NIBLACK 12-585-0039
 40 JESSE & RANDEE HIGGINS 12-585-0040
 54 DAVID CRAWFORD 12-585-0054
 55
 THE MARLENE C. KELLER FAMILY PROTECTION TRUST 3286/478
 DAVID & PAULA DICKERSON 5268/133
 SUNSET PARK VILLAS "A"

Parcel "A"
 0.38 acres
 16480 sqft

L.E. BRUGGS & SONS
 12-079-0016



LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
---	REVERSE-PAN CURB & GUTT
15 SD	15" STORM DRAIN
8 SS	8" SANITARY SEWER
8 W	8" CULINARY WATER
8 SW	8" SECONDARY WATER
----	CONTOUR MAJOR
----	CONTOUR MINOR
Ex SD	EXIST. STORM DRAIN
Ex SS	EXIST. SANITARY SEWER
Ex W	EXIST. CULINARY WATER
X	EXIST. FENCE
(XXXX)	EXIST. CONTOUR MAJOR
(XXXX)	EXIST. CONTOUR MINOR
⊙	SIGN
⊙	STREET LIGHT
⊙	SD MH, INLET, AND COMBO
⊙	SEWER MANHOLE
⊙	VALVE, TEE & BEND
⊙	WATER BLOW-OFF
⊙	FIRE HYDRANT

FOCUS
ENGINEERING AND SURVEYING, LLC
502 WEST 8360 SOUTH
SANDY, UTAH 84070 PH: (801) 352-0075
www.focusutah.com

PROFESSIONAL ENGINEER
No. 7935851-2202
GREGORY B. DAY
STATE OF UTAH

TIVOLI GARDENS PHASE 2
SYRACUSE CITY, DAVIS COUNTY, UTAH
DRAINAGE MASTER PLAN

Detention Pond Design
Tivoli Gardens
Syracuse, Utah

100-Year Retention Date: March 27, 2014

Design Criteria
Intensity Table: NOAA Atlas 14
Return Period: 100 year
Allowable Discharge: 0.20 cfs/acre Per NOAA

Allowable Discharges
Total Discharge: 3.90 cfs

Weighted "C" Value

Surface Type	Area (sf)	"C" Value	C*A
Roof tops and Driveways	156,240	0.80	124,992
Roadway and Sidewalk	170,869	0.90	153,782
Landscaped	503,711	0.10	50,371
Totals	830,820		329,145

Weighted "C" Value: 0.40

Drainage Calculations

Duration	Intensity	Runoff C	Area	Rainfall	Accumulated Flow	Allowable Discharge	Discharge	Required Storage
min	in/hr		Ac	cfs	cf	cfs	cf	cf
15.0	4.28	0.40	19.50	33.06	29,758	3.90	3,510	26,248
30.0	2.89	0.40	19.50	22.33	40,187	3.90	7,020	33,167
60.0	1.79	0.40	19.50	13.83	49,782	3.90	14,040	35,742
120.0	0.99	0.40	19.50	7.65	55,066	3.90	28,080	26,986
360.0	0.37	0.40	19.50	2.87	62,074	3.90	84,240	-22,166
720.0	0.22	0.40	19.50	1.72	74,422	3.90	168,480	-94,058
1440.0	0.12	0.40	19.50	0.95	82,098	3.90	336,960	-254,862

Maximum Storage Requirement: 35,742
Maximum Storage Requirement (ac-ft): 0.82

Q10 Designed Pipe Flows
10-year flow contained within pipe network

Reach	Upstream Reach	Flow (CFS)	Contributing Basin	Flow (CFS)	Cumulative Flow (CFS)	Notes	Designed Size (Inches)
1	2,24,25	14.38	N/A	0	14.38		24
2	3,22	9.17	N/A	0	9.17		24
3	4,20	7.22	N/A	0	7.22		18
4	5	4.37	J	1.29	5.66		18
5	6	4.37	N/A	0	4.37		15
6	7	4.37	N/A	0	4.37		15
7	8	4.37	N/A	0	4.37		15
8	9	4.37	N/A	0	4.37		15
9	18,17,10	4.37	N/A	0	4.37		15
10	11	1.67	I	0.88	2.55		15
11	12	1.37	T	0.3	1.67		15
12	13,14	1.37	N/A	0	1.37		15
13	n/a	0	W	0.16	0.16		15
14	15	0.6	U	0.61	1.21		15
15	n/a	0	V	0.6	0.6		15
16	n/a	0	S	0.57	0.57		15
17	16	0.57	R	0.63	1.2		15
18	19	0.34	G	0.28	0.82		15
19	n/a	0	H	0.34	0.34		15
20	21	0.82	L	0.74	1.56		15
21	n/a	0	K	0.82	0.82		15
22	n/a	0	Q	1.95	1.95		15
23	n/a	0	P	0.16	0.16		15
24	23	0.16	O	0.17	0.33		15
25	31,26	4.88	N/A	0	4.88		18
26	34,27	4.64	N/A	0	4.64		18
27	30,28	2.74	C	1.31	4.05		15
28	29	1.16	B	0.76	1.92		15
29	-	0	A	1.16	1.16		15
30	-	0	F	0.82	0.82		15
31	-	0	E	0.24	0.24		15
32	-	3.85	N/A	0	3.85	OUTFALL METERED PER CITY STANDARDS	15
33	1	14.38	N/A	0	14.38		24
34	Pass Through	1.9	N/A	0	1.9	PASS THROUGH FLOW FROM THE NORTH	15

Calculated flows compared to the maximum capacity of storm drain sized pipes layed at minimum 0.5% grades. The following are the capacities:
15" RCP @ 0.5% minimum = 4.58
18" RCP @ 0.5% minimum = 7.45
24" RCP @ 0.5% minimum = 16.03
30" RCP @ 0.5% minimum = 29.08

Detention Pond Size
(average end area method)

Contour	Area	Volume	Cumulative Volume
4299	8665	0	0
4300	9848	9256.5	9256.5
4301	11088	10488	19744.5
4302	12385	11736.5	31481
4303	13738	13081.5	44562.5

REVISION BLOCK

#	DATE	DESCRIPTION
1		
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DRAINAGE MASTER PLAN

Scale: 1"=60'
Date: 12/04/14
Sheet: C04

Drawn: DRP
Job #: 14-033

21_12_2014\14-033 Wright Development-Syracuse\Design-14-033\Draw\Sheets\Final_Ph2\C04_Drainage Master Plan.dwg



TIVOLI GARDENS PHASE 2
 SYRACUSE CITY, DAVIS COUNTY, UTAH
GRADING AND DRAINAGE PLAN

REVISION BLOCK	
#	DESCRIPTION
1	
2	
3	
4	
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Scale: 1"=60'		Drawn: DRP	
Date: 12/04/14		Job #: 14-033	
Sheet:		C05	

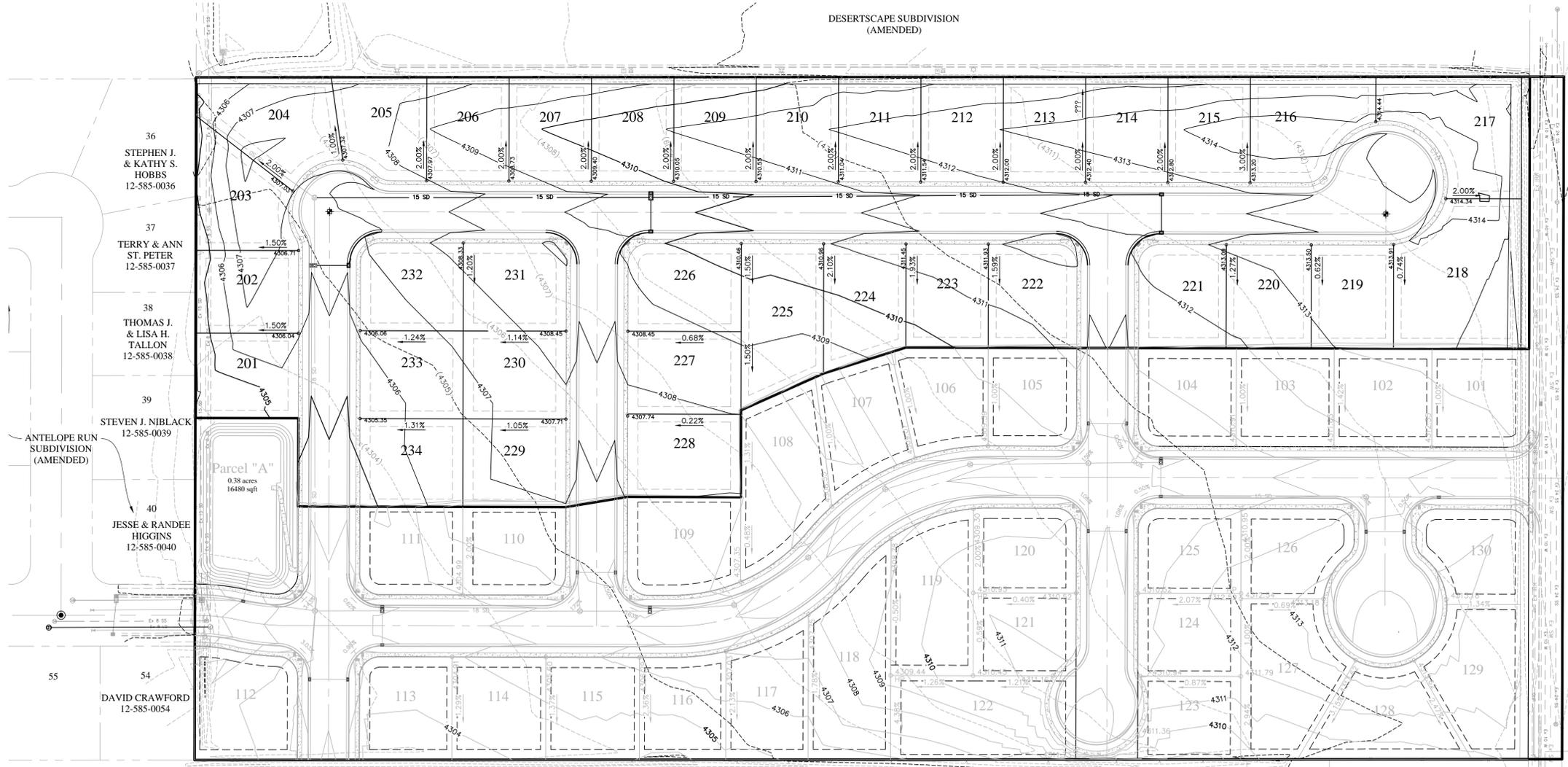


GRAPHIC SCALE
 (IN FEET)
 1 inch = 60 ft.

LEGEND

- BOUNDARY
- ROW
- CENTERLINE
- LOT LINE
- EASEMENT
- REVERSE-PAN CURB & GUTT
- 15 SD 15" STORM DRAIN
- 8 SS 8" SANITARY SEWER
- 8 W 8" CULINARY WATER
- 8 SW 8" SECONDARY WATER
- CONTOUR MAJOR
- CONTOUR MINOR
- Ex SD EXIST. STORM DRAIN
- Ex SS EXIST. SANITARY SEWER
- Ex W EXIST. CULINARY WATER
- EXIST. FENCE
- (XXXX) EXIST. CONTOUR MAJOR
- (XXXX) EXIST. CONTOUR MINOR
- SIGN
- STREET LIGHT
- SD MH, INLET, AND COMBO
- SEWER MANHOLE
- VALVE, TEE & BEND
- WATER BLOW-OFF
- FIRE HYDRANT

BENCHMARK
 Vertical data (contour lines and/or spot elevations, etc.) is based on the NGVD29 elevation of 4279.30 published by the Davis County Surveyor on the brass cap monument marking the Center 1/4 Corner of Section 15, T4N, R2W.



36 STEPHEN J. & KATHY S. HOBBS 12-585-0036
 37 TERRY & ANN ST. PETER 12-585-0037
 38 THOMAS J. & LISA H. TALLON 12-585-0038
 39 STEVEN J. NIBLACK 12-585-0039
 40 JESSE & RANDEE HIGGINS 12-585-0040
 54 DAVID CRAWFORD 12-585-0054

THE MARLENE C. KELLER FAMILY PROTECTION TRUST
 3286/478

DAVID & PAULA DICKERSON
 5268/133

SUNSET PARK VILLAS "A"

L.E. BRUGGS & SONS
 12-079-0016



TIVOLI GARDENS PHASE 2
 SYRACUSE CITY, DAVIS COUNTY, UTAH
EROSION CONTROL PLAN

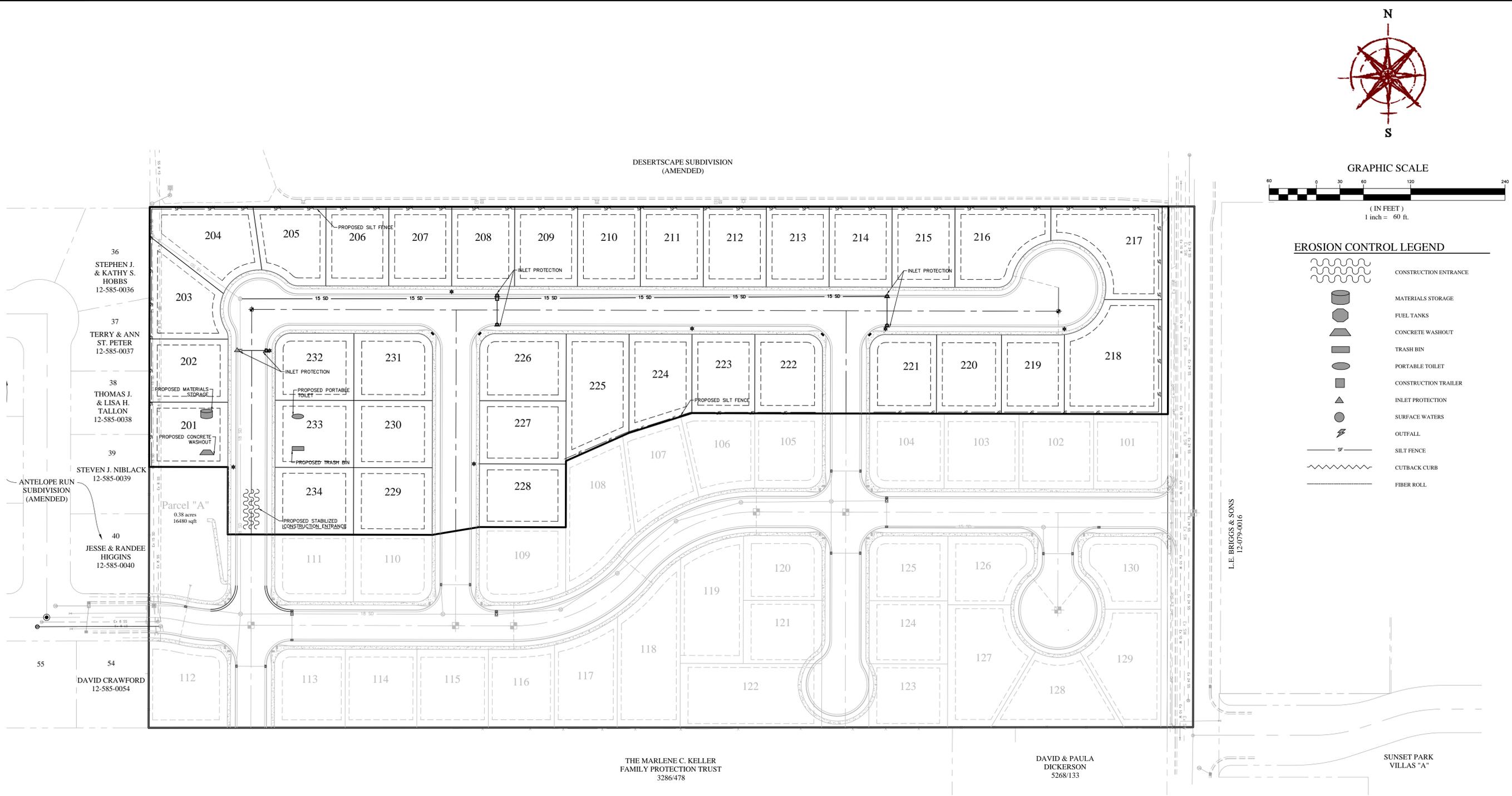
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EROSION CONTROL PLAN	
Scale: 1"=60'	Drawn: DRP
Date: 12/04/14	Job #: 14-033
Sheet: C06	

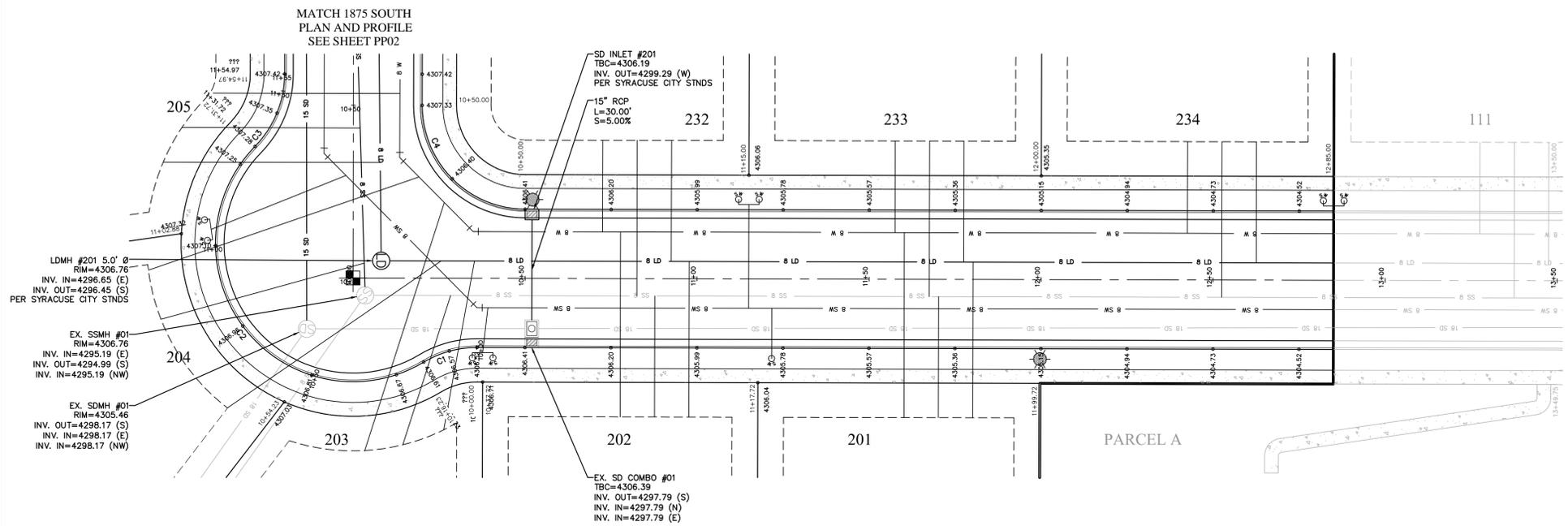


EROSION CONTROL LEGEND

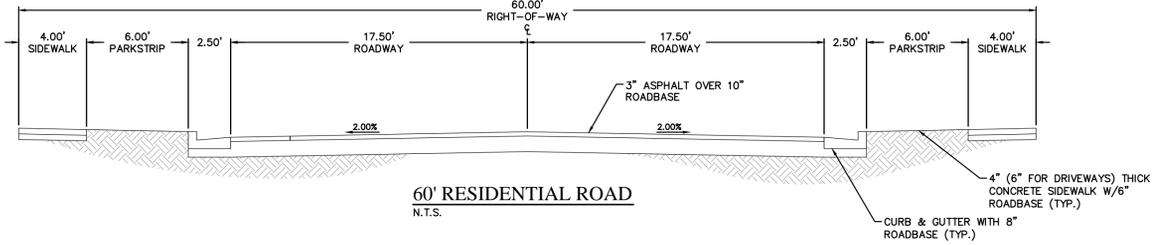
- CONSTRUCTION ENTRANCE
- MATERIALS STORAGE
- FUEL TANKS
- CONCRETE WASHOUT
- TRASH BIN
- PORTABLE TOILET
- CONSTRUCTION TRAILER
- INLET PROTECTION
- SURFACE WATERS
- OUTFALL
- SILT FENCE
- CUTBACK CURB
- FIBER ROLL



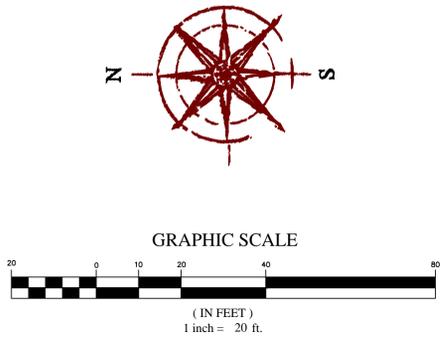
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1250 WEST PHASE 2 PLAN

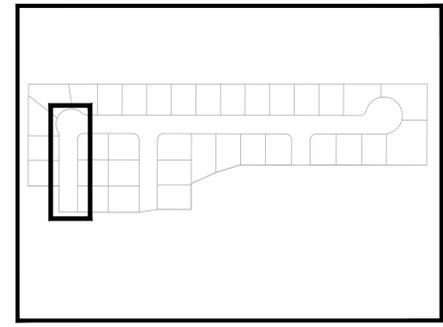


CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	16.23'	30.00'	31°00'10"	8.32'	N15°22'13"W	16.04'
C2	115.48'	40.00'	165°25'05"	312.64'	S51°50'15"W	79.35'
C3	23.26'	30.00'	44°24'55"	12.25'	S67°39'40"E	22.68'
C4	47.12'	30.00'	90°00'00"	30.00'	S45°07'52"W	42.43'
C5	47.12'	30.00'	90°00'00"	30.00'	N44°52'08"W	42.43'
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C8	47.12'	30.00'	90°00'00"	30.00'	S45°07'52"W	42.43'
C9	39.54'	30.00'	75°31'21"	23.24'	N52°22'12"E	36.74'
C10	222.99'	50.00'	255°31'21"	64.55'	N37°37'48"W	79.06'



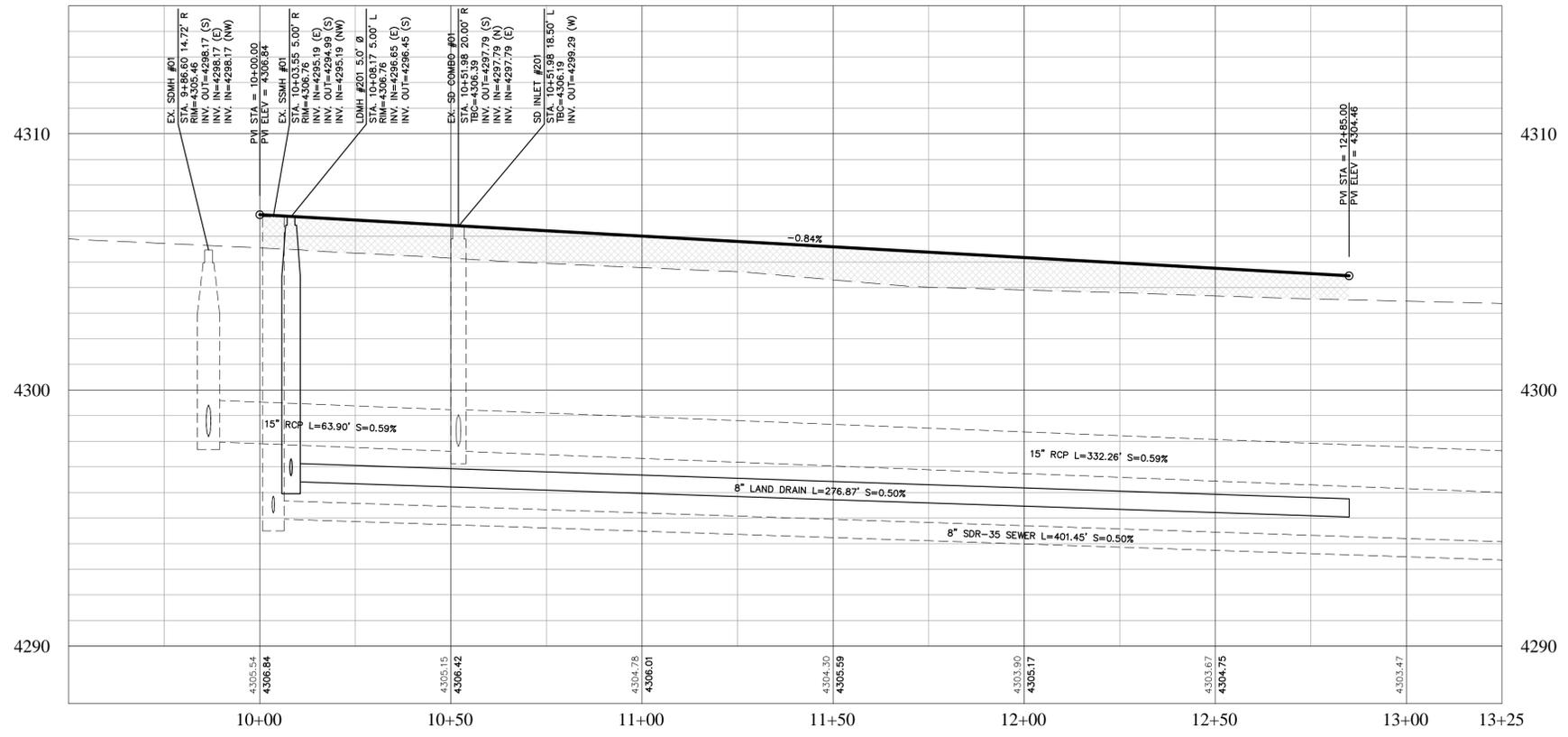
LEGEND

	BOUNDARY
	ROW
	CENTERLINE
	LOT LINE
	EASEMENT
	REVERSE-PAN CURB & GUTTER
	15" STORM DRAIN
	8" SANITARY SEWER
	8" CULINARY WATER
	8" SECONDARY WATER
	CONTOUR MAJOR
	CONTOUR MINOR
	EXIST. STORM DRAIN
	EXIST. SANITARY SEWER
	EXIST. CULINARY WATER
	EXIST. SECONDARY WATER
	EXIST. FENCE
	EXIST. CONTOUR MAJOR
	EXIST. CONTOUR MINOR
	SIGN
	STREET LIGHT
	SD MH, INLET, AND COMBO
	SEWER MANHOLE
	VALVE, TEE & BEND
	WATER BLOW-OFF
	FIRE HYDRANT
	STREET MONUMENT
	EXIST. SD INLET & MH
	EXIST. SEWER MH
	EXIST. VALVE, TEE, & BEND
	EXIST. FIRE HYDRANT
	SPOT ELEVATION

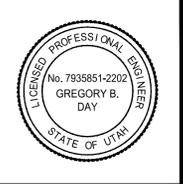


KEY MAP N.T.S.

BENCHMARK
Vertical data (contour lines and/or spot elevations, etc.) is based on the NGVD29 elevation of 4279.30 published by the Davis County Surveyor on the brass cap monument marking the Center 1/4 Corner of Section 15, T4N, R2W.



1250 WEST PHASE 2 PROFILE



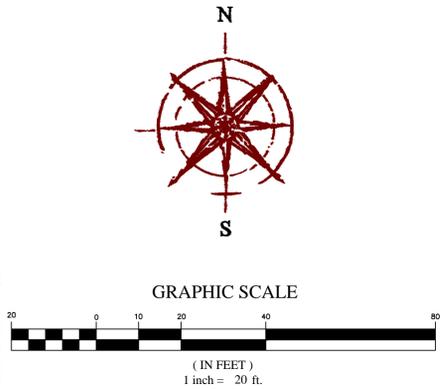
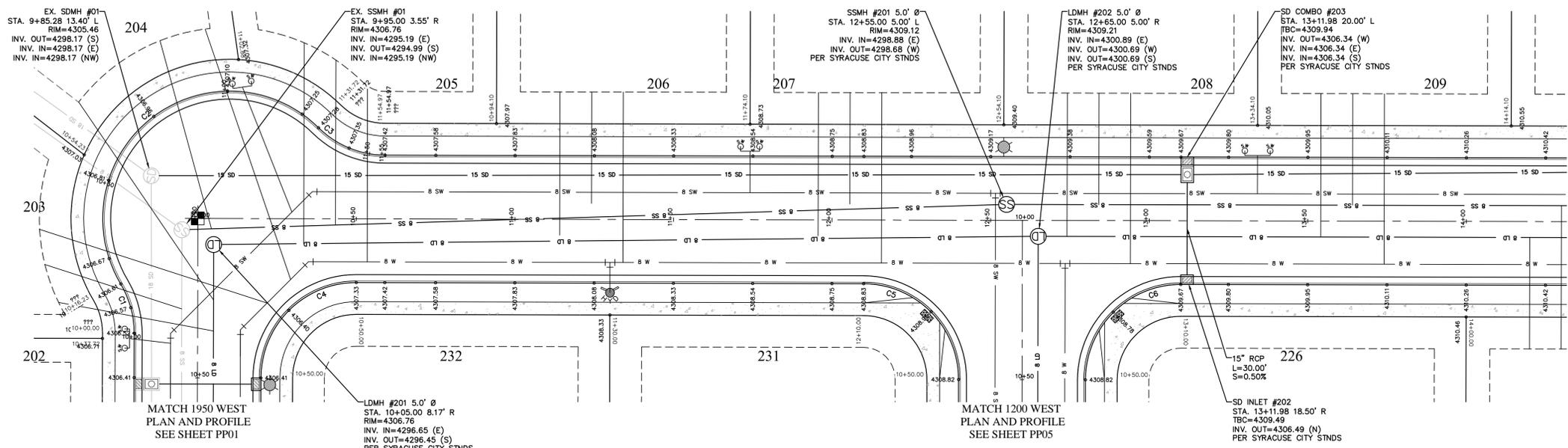
TIVOLI GARDENS PHASE 2
SYRACUSE CITY, DAVIS COUNTY, UTAH
1950 WEST PLAN AND PROFILE

REVISION BLOCK

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2		
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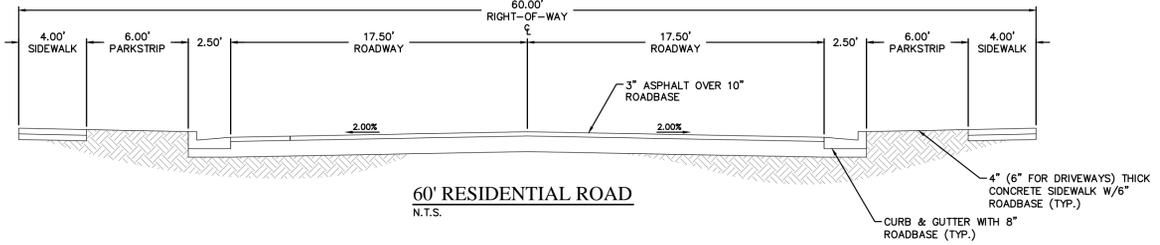
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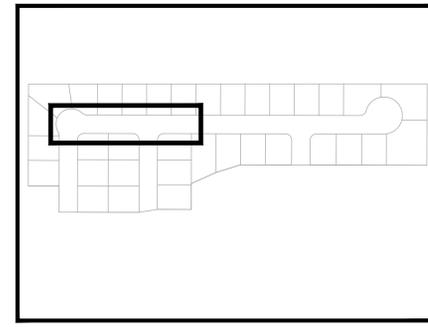
---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
---	REVERSE-PAN CURB & GUTTER
15 SD	15" STORM DRAIN
8 SS	8" SANITARY SEWER
8 W	8" CULINARY WATER
8 SW	8" SECONDARY WATER
XXXX	CONTOUR MAJOR
XXXX	CONTOUR MINOR
Ex SD	EXIST. STORM DRAIN
Ex SS	EXIST. SANITARY SEWER
Ex W	EXIST. CULINARY WATER
Ex SW	EXIST. SECONDARY WATER
X	EXIST. FENCE
(XXXX)	EXIST. CONTOUR MAJOR
(XXXX)	EXIST. CONTOUR MINOR
+	SIGN
⊙	STREET LIGHT
⊙	SD MH, INLET, AND COMBO
⊙	SEWER MANHOLE
⊙	VALVE, TEE & BEND
⊙	WATER BLOW-OFF
⊙	FIRE HYDRANT
⊙	STREET MONUMENT
⊙	EXIST. SD INLET & MH
⊙	EXIST. SEWER MH
⊙	EXIST. VALVE, TEE, & BEND
⊙	EXIST. FIRE HYDRANT
⊙	SPOT ELEVATION

1875 SOUTH PHASE 2 PLAN

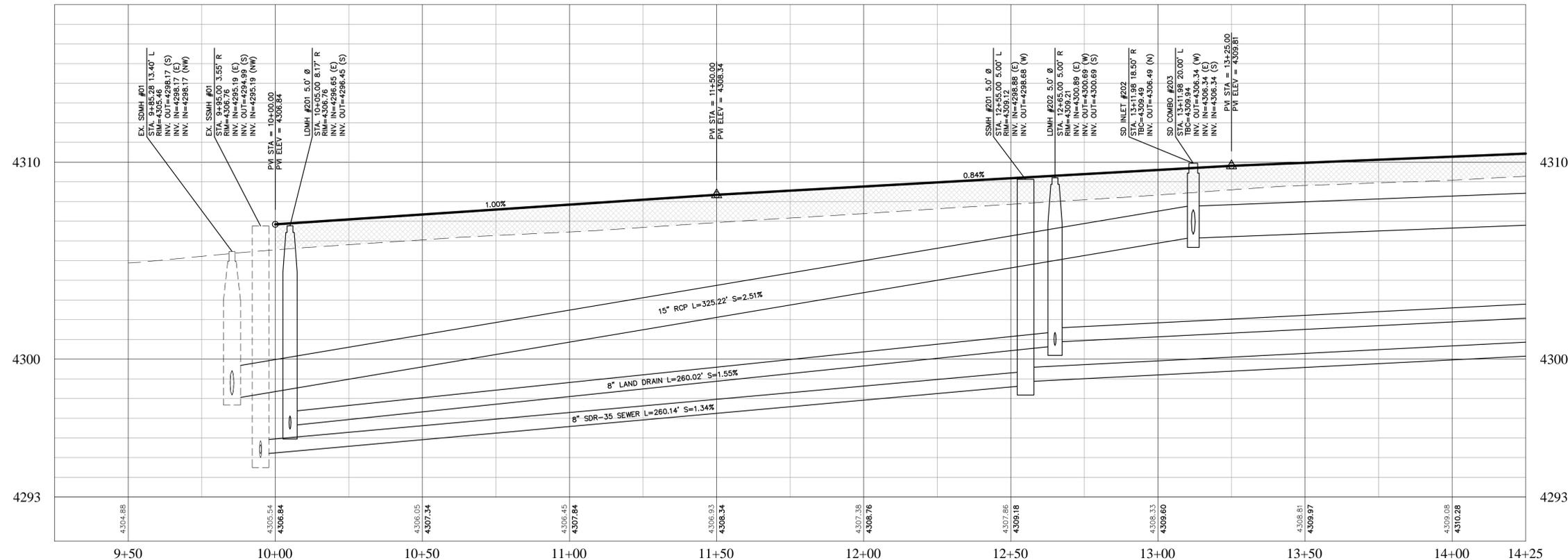


Curve Table

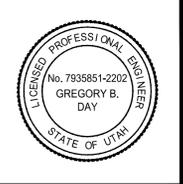
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	16.23'	30.00'	31°00'10"	8.32'	N15°22'13"W	16.04'
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C10	222.99'	50.00'	255°31'21"	64.55'	N37°37'48"W	79.06'



BENCHMARK
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1875 SOUTH PHASE 2 PROFILE



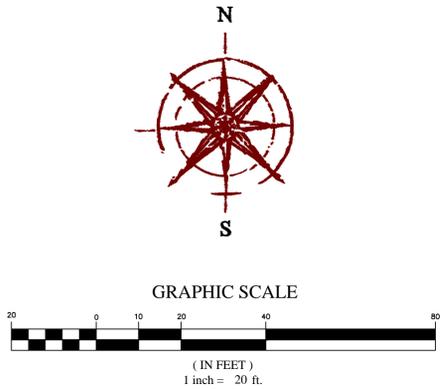
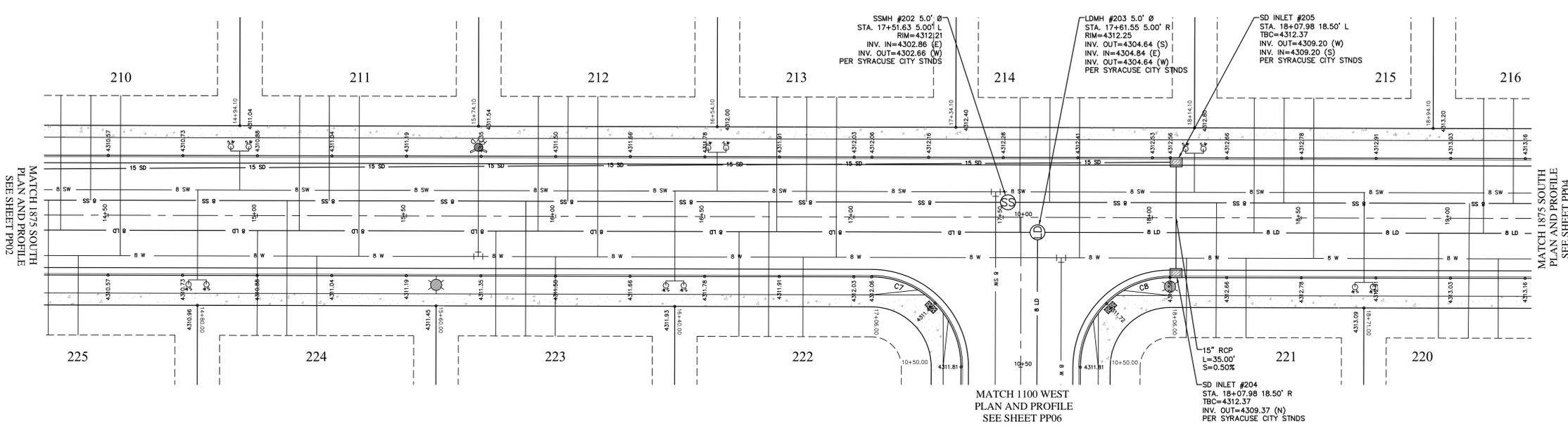
TIVOLI GARDENS PHASE 2
SYRACUSE CITY, DAVIS COUNTY, UTAH
1875 SOUTH PLAN AND PROFILE

REVISION BLOCK

#	DATE	DESCRIPTION
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2		
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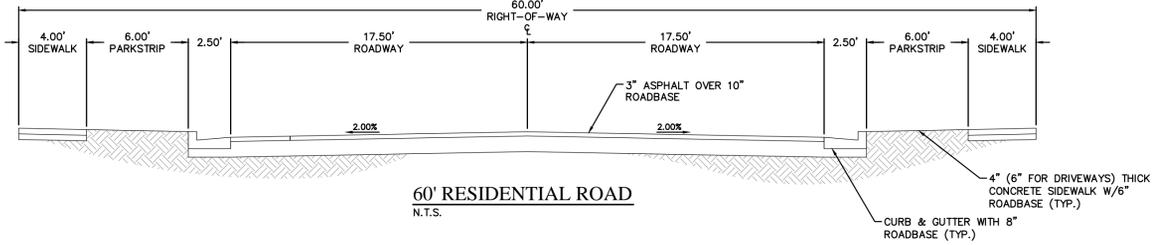


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LEGEND

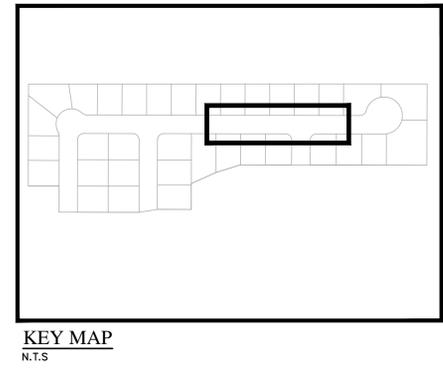
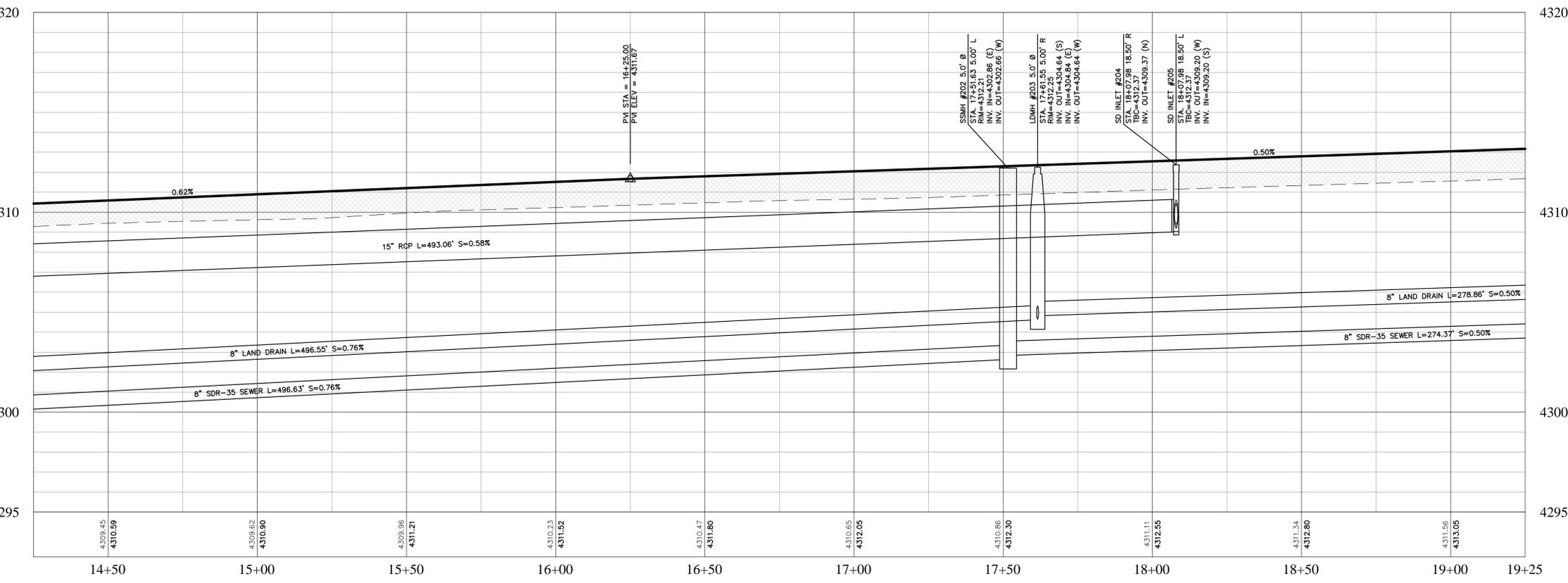
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---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
---	REVERSE-PAN CURB & GUTTER
15 SD	15" STORM DRAIN
8 SS	8" SANITARY SEWER
8 W	8" CULINARY WATER
8 SW	8" SECONDARY WATER
XXXX	CONTOUR MAJOR
XXXX	CONTOUR MINOR
Ex SD	EXIST. STORM DRAIN
Ex SS	EXIST. SANITARY SEWER
Ex W	EXIST. CULINARY WATER
Ex SW	EXIST. FENCE
(XXXX)	EXIST. CONTOUR MAJOR
(XXXX)	EXIST. CONTOUR MINOR
+	SIGN
⊙	STREET LIGHT
⊙	SD MH, INLET, AND COMBO
⊙	SEWER MANHOLE
⊙	VALVE, TEE & BEND
⊙	WATER BLOW-OFF
⊙	FIRE HYDRANT
⊙	STREET MONUMENT
⊙	EXIST. SD INLET & MH
⊙	EXIST. SEWER MH
⊙	EXIST. VALVE, TEE, & BEND
⊙	EXIST. FIRE HYDRANT
⊙	SPOT ELEVATION



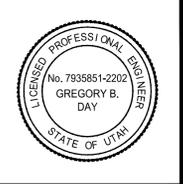
1875 SOUTH PHASE 2 PLAN

Curve Table

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	16.23'	30.00'	31°00'10"	8.32'	N15°22'13"W	16.04'
C2	115.48'	40.00'	165°25'05"	312.64'	S51°50'15"W	79.35'
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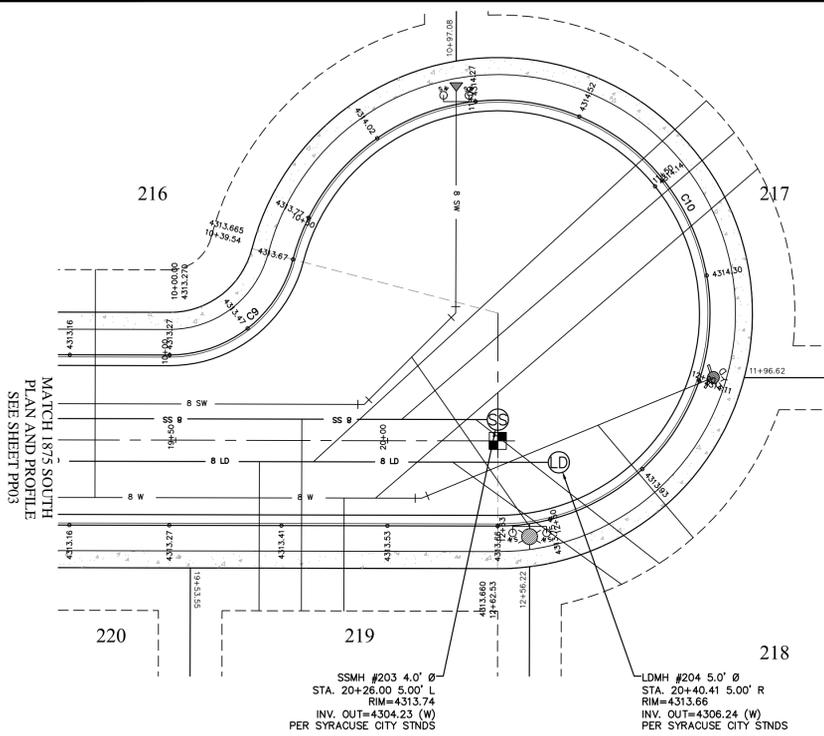
TIVOLI GARDENS PHASE 2
SYRACUSE CITY, DAVIS COUNTY, UTAH
1875 SOUTH PLAN AND PROFILE

REVISION BLOCK

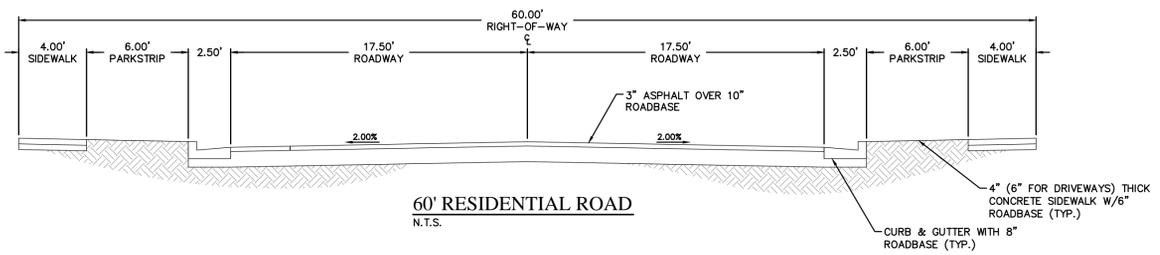
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1875 SOUTH PLAN AND PROFILE
Scale: 1"=20'
Date: 12/04/14
Job #: 14-033
Sheet: **PP03**

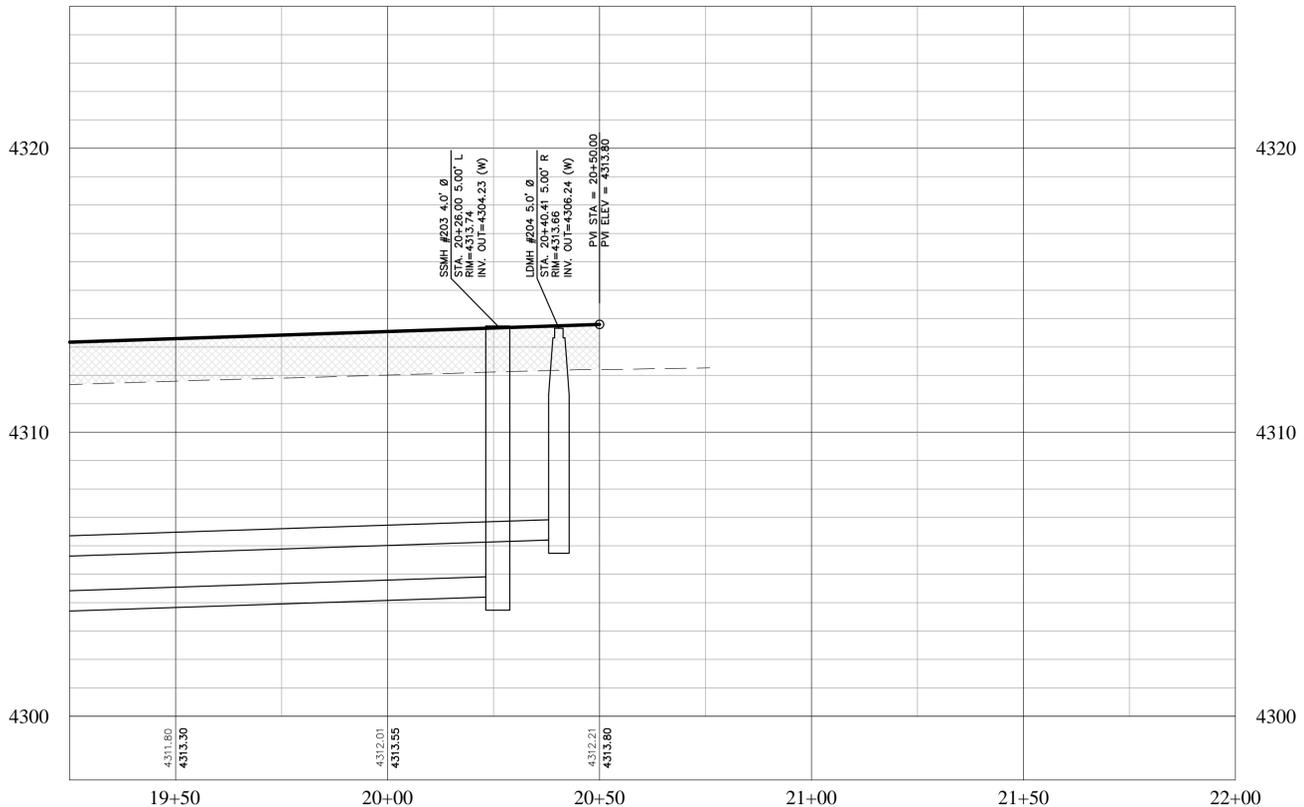




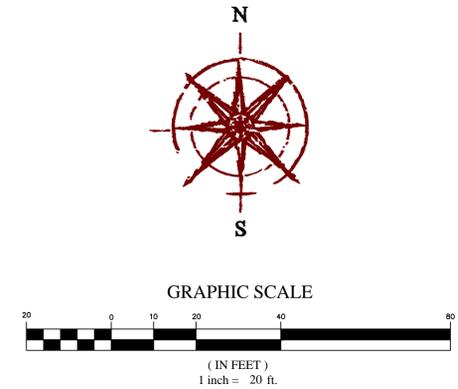
1875 SOUTH PHASE 2 PLAN



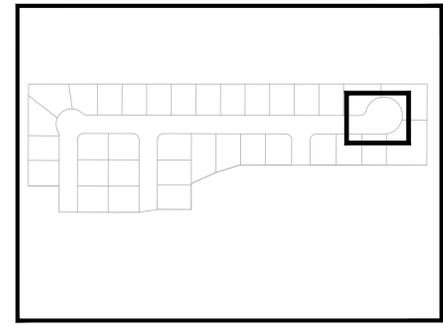
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C1	16.23'	30.00'	31°00'10"	8.32'	N15°22'13"W	16.04'
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C9	39.54'	30.00'	75°31'21"	23.24'	N52°22'12"E	36.74'
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1875 SOUTH PHASE 2 PROFILE

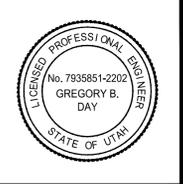


- LEGEND**
- BOUNDARY
 - ROW
 - CENTERLINE
 - LOT LINE
 - EASEMENT
 - REVERSE-PAN CURB & GUTTER
 - 15" SD 15" STORM DRAIN
 - 8" SS 8" SANITARY SEWER
 - 8" W 8" CULINARY WATER
 - 8" SW 8" SECONDARY WATER
 - XXXX CONTOUR MAJOR
 - XXXX CONTOUR MINOR
 - Ex SD EXIST. STORM DRAIN
 - Ex SS EXIST. SANITARY SEWER
 - Ex W EXIST. CULINARY WATER
 - Ex SW EXIST. SECONDARY WATER
 - EXIST. FENCE
 - EXIST. CONTOUR MAJOR
 - EXIST. CONTOUR MINOR
 - SIGN
 - STREET LIGHT
 - SD MH, INLET, AND COMBO
 - SEWER MANHOLE
 - VALVE, TEE & BEND
 - WATER BLOW-OFF
 - FIRE HYDRANT
 - STREET MONUMENT
 - EXIST. SD INLET & MH
 - EXIST. SEWER MH
 - EXIST. VALVE, TEE, & BEND
 - EXIST. FIRE HYDRANT
 - SPOT ELEVATION



KEY MAP
N.T.S.

BENCHMARK
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TIVOLI GARDENS PHASE 2
SYRACUSE CITY, DAVIS COUNTY, UTAH
1875 SOUTH PLAN AND PROFILE

REVISION BLOCK

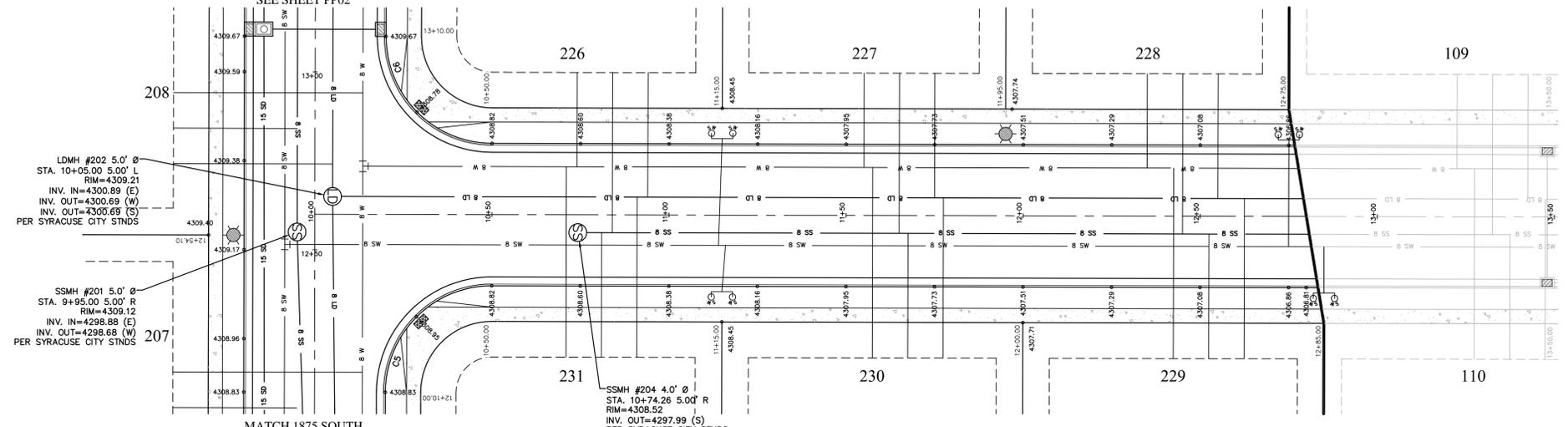
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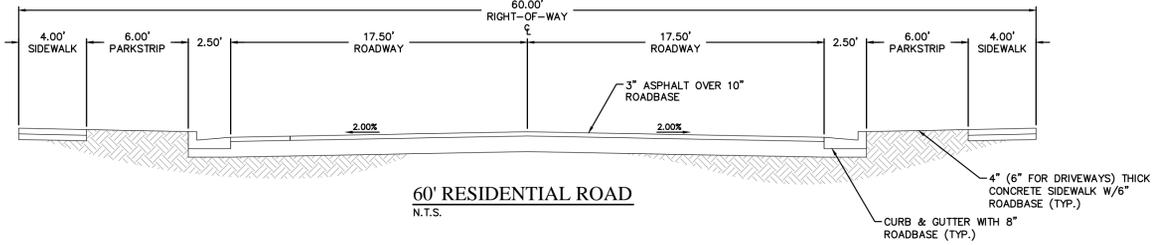
21_2014A14-033 Wright Development-Syracuse_Vesign_14-033.dwg\Sheets\Final_Ph_2\PP04.dwg

MATCH 1875 SOUTH
PLAN AND PROFILE
SEE SHEET PP02

MATCH 1875 SOUTH
PLAN AND PROFILE
SEE SHEET PP02

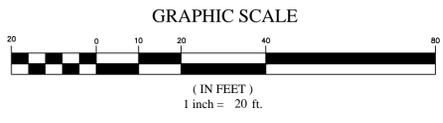


1200 WEST PHASE 2 PLAN



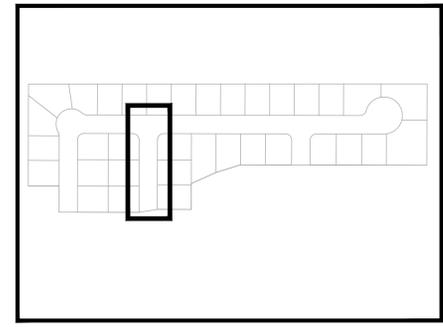
60' RESIDENTIAL ROAD
N.T.S.

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	16.23'	30.00'	31°00'10"	8.32'	N15°22'13"W	16.04'
C2	115.48'	40.00'	165°25'05"	312.64'	S51°50'15"W	79.35'
C3	23.26'	30.00'	44°24'55"	12.25'	S67°39'40"E	22.68'
C4	47.12'	30.00'	90°00'00"	30.00'	S45°07'52"W	42.43'
C5	47.12'	30.00'	90°00'00"	30.00'	N44°52'08"W	42.43'
C6	47.12'	30.00'	90°00'00"	30.00'	S45°07'52"W	42.43'
C7	47.12'	30.00'	90°00'00"	30.00'	N44°52'08"W	42.43'
C8	47.12'	30.00'	90°00'00"	30.00'	S45°07'52"W	42.43'
C9	39.54'	30.00'	75°31'21"	23.24'	N52°22'12"E	36.74'
C10	222.99'	50.00'	255°31'21"	64.55'	N37°37'48"W	79.06'



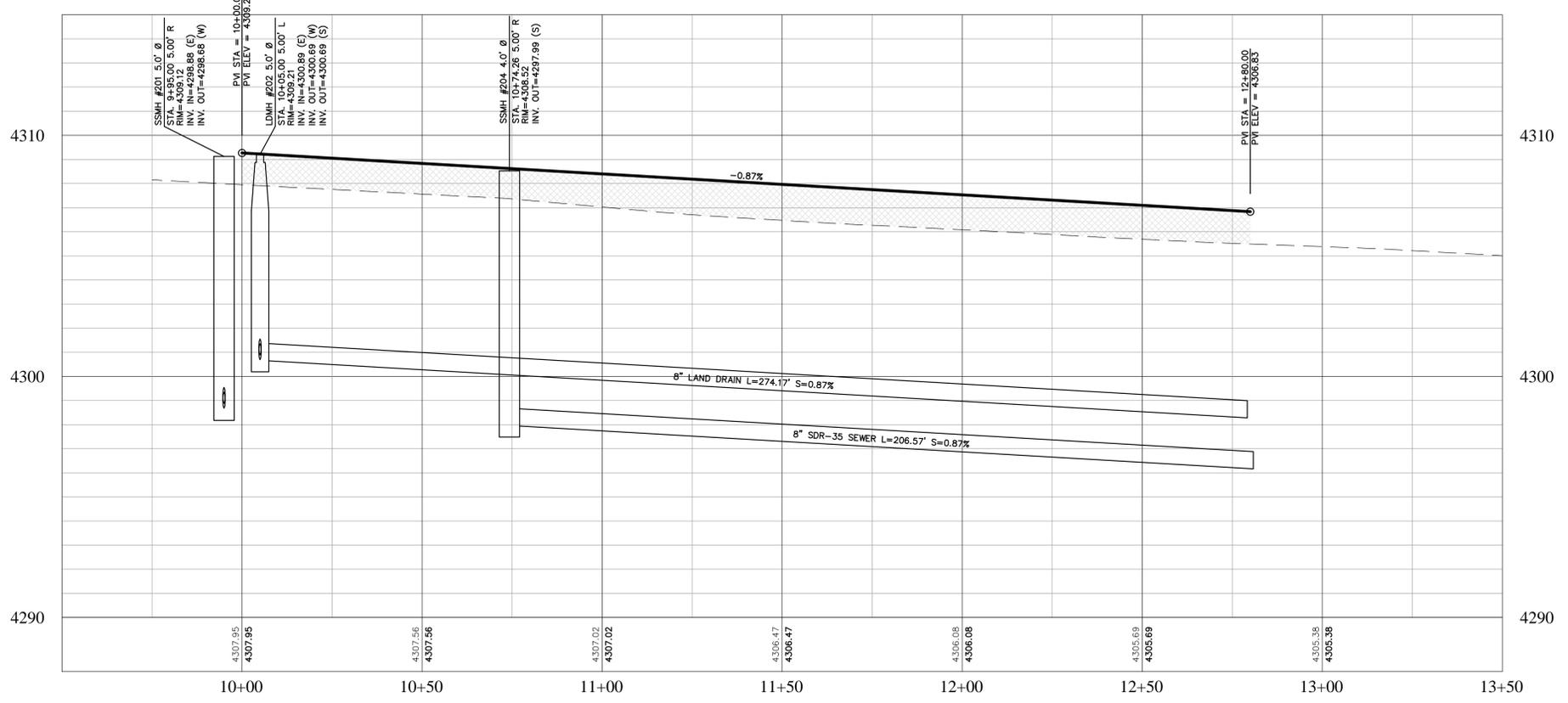
LEGEND

- BOUNDARY
- ROW
- CENTERLINE
- LOT LINE
- EASEMENT
- REVERSE-PAN CURB & GUTTER
- 15 SD 15" STORM DRAIN
- 8 SS 8" SANITARY SEWER
- 8 W 8" CULINARY WATER
- 8 SW 8" SECONDARY WATER
- XXXX CONTOUR MAJOR
- XXXX CONTOUR MINOR
- Ex SD EXIST. STORM DRAIN
- Ex SS EXIST. SANITARY SEWER
- Ex W EXIST. CULINARY WATER
- Ex SW EXIST. SECONDARY WATER
- X X EXIST. FENCE
- (XXXX) EXIST. CONTOUR MAJOR
- (XXXX) EXIST. CONTOUR MINOR
- SIGN
- STREET LIGHT
- SD MH, INLET, AND COMBO
- SEWER MANHOLE
- VALVE, TEE & BEND
- WATER BLOW-OFF
- FIRE HYDRANT
- STREET MONUMENT
- EXIST. SD INLET & MH
- EXIST. SEWER MH
- EXIST. VALVE, TEE, & BEND
- EXIST. FIRE HYDRANT
- o XXXX.XX SPOT ELEVATION



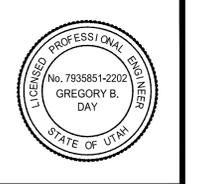
KEY MAP
N.T.S.

BENCHMARK
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1200 WEST PHASE 2 PROFILE

FOCUS
ENGINEERING AND SURVEYING, LLC
502 WEST 8360 SOUTH
SANDY, UTAH 84070 PH: (801) 352-0075
www.focusutah.com



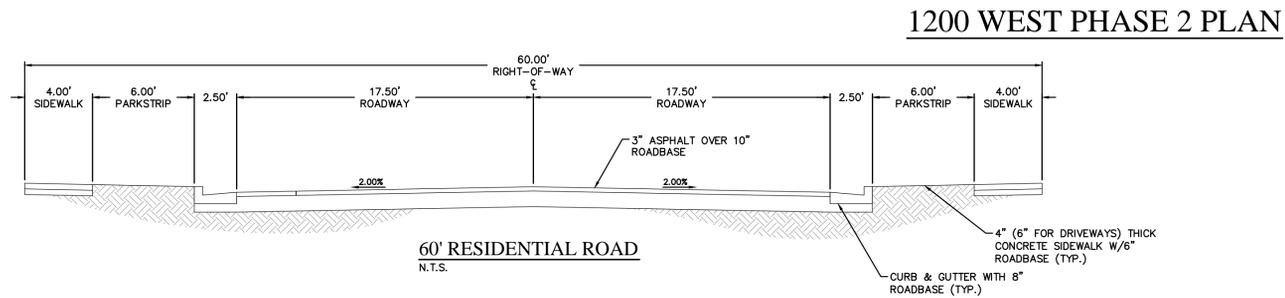
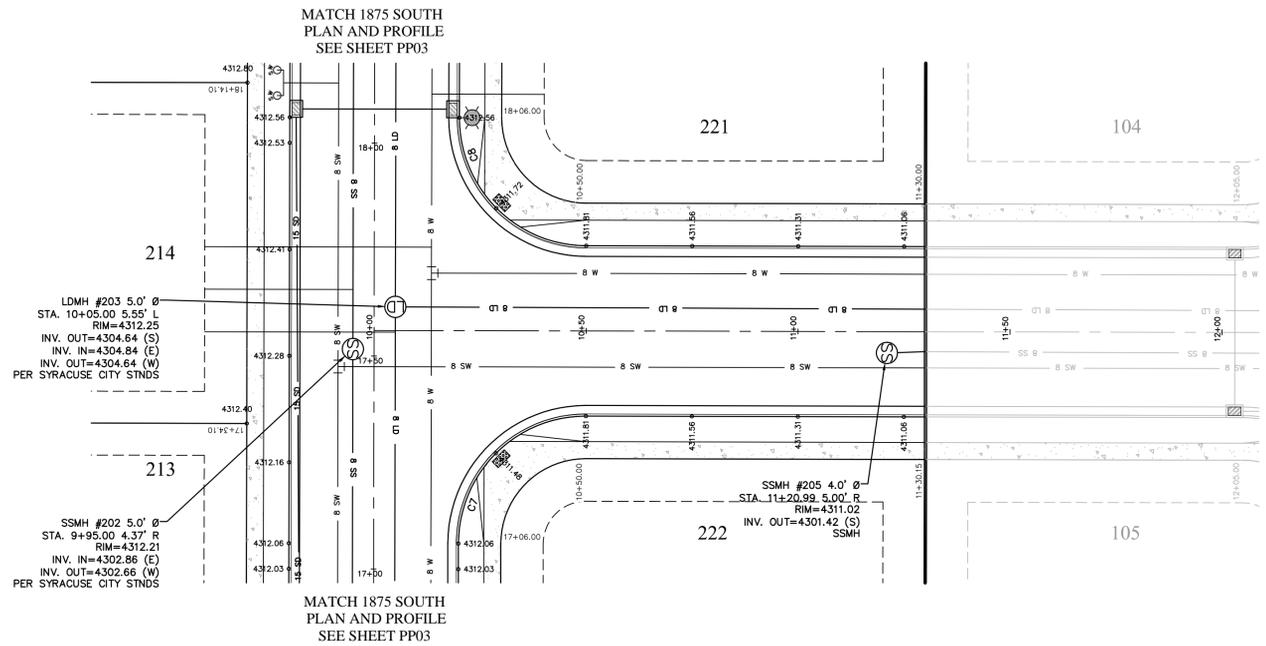
TIVOLI GARDENS PHASE 2
SYRACUSE CITY, DAVIS COUNTY, UTAH
1200 WEST PLAN AND PROFILE

#	DATE	DESCRIPTION
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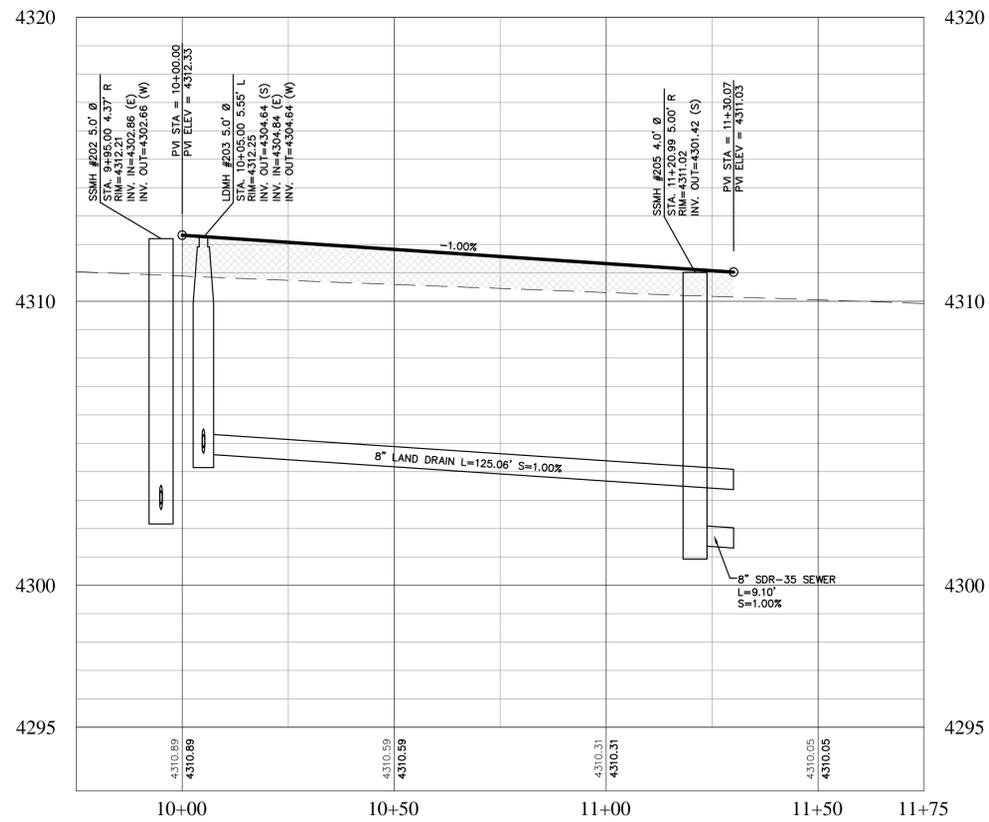
1200 WEST PLAN AND PROFILE
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Date: 12/04/14
Sheet: PP05
Drawn: DRP
Job #: 14-033



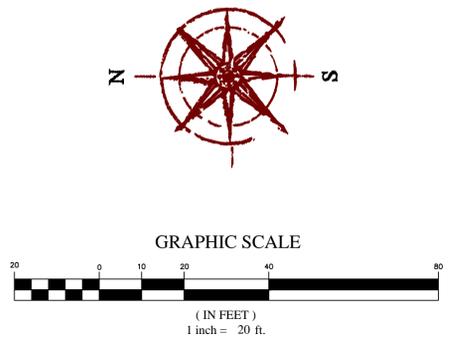
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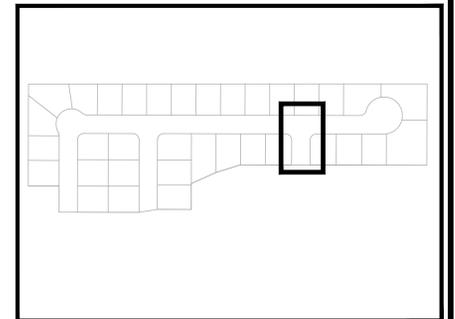
Curve Table						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
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1100 WEST PHASE 2 PROFILE

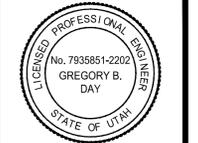


LEGEND	
[Symbol]	BOUNDARY
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[Symbol]	XXXX
[Symbol]	EXIST. STORM DRAIN
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[Symbol]	VALVE, TEE & BEND
[Symbol]	WATER BLOW-OFF
[Symbol]	FIRE HYDRANT
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[Symbol]	SPOT ELEVATION



KEY MAP
N.T.S.

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TIVOLI GARDENS PHASE 2
SYRACUSE CITY, DAVIS COUNTY, UTAH
1100 WEST PLAN AND PROFILE

REVISION BLOCK	
#	DESCRIPTION
1	
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4	
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Engineer Final Plan Review – Tivoli Gardens Subdivision Phase 2

1950 South Street & 1000 West Street

Completed by Brian Bloemen on December 12, 2014

Below are the engineering comments for the final plan review of the Tivoli Gardens Subdivision Phase 2.

Plat:

1. Verify the summation of all Lots add up to the total boundary length.
2. Update the year on the signature blocks.
3. The call to the point of beginning needs to be tied to a found monument not a calculated corner.

Plans:

4. End the sewer main on 1200 West Street after the service for Lot 231 and install a manhole instead of extending the main all the way to the intersection.
5. End the sewer main on 1100 West Street at the south side of Lot 222 and install a manhole instead of extending the main all the way to the intersection.
6. The ADA ramps at 1875 South & 1200 West and 1875 South & 1100 West shall only have one truncated dome panel in the east west direction of pedestrian travel.
7. Minimum secondary water service line size is 1".

If you have any further comments or questions please feel free to contact me at 801-614-9682.

Sincerely,

Robert Whiteley
Public Works Director



TO: Community Development, Attention: Jenny Schow
FROM: Jo Hamblin, Fire Marshal
RE: Tivoli Gardens Phase 2

DATE: December 16, 2014

I have reviewed the plan submitted on December 10, 2014 for the above referenced project. The Fire Prevention Division of this department has the following comments/concerns.

1. The minimum fire flow requirement is 1000 gallons per minute for 60 consecutive minutes for residential one and two family dwellings. Fire flow requirements may be increased for residential one and two family dwellings with a building footprint equal to or greater than 3,600 square feet or for buildings other than one and two family dwellings. Provide documentation that the fire flow has been confirmed through the Syracuse City Engineering Division, Water Model.
2. Fire hydrants and access roads shall be installed prior to construction of any buildings. All hydrants shall be placed with the 4 ½" connection facing the point of access for Fire Department Apparatus. Provide written assurance that this will be met.
 - The fire hydrants exceed the maximum travel distance required in table C105.1 of the 2012 IFC please adjust the hydrants to meet the requirement. The hydrant on lot # 231 is the one that needs to be adjusted.
3. Prior to beginning construction of any buildings, a fire flow test of the new hydrants shall be conducted to verify the actual fire flow for this project. The Fire Prevention Division of this department shall witness this test and shall be notified a minimum of 48 hours prior to the test.

These plans have been reviewed for Fire Department requirements only. Other departments must review these plans and will have their requirements. This review by the Fire Department must not be construed as final approval from Syracuse City.

Sincerely,

Jo Hamblin
Deputy Chief/ Fire Marshal
Syracuse City Fire Department

1869 South 3000 West, Syracuse, Utah 84075
801-614-9614 (Station)
801-776-1976 (Fax)



SYRACUSE
EST. CITY 1935

Subdivision Final Plan Review

Subdivision: Tivoli Gardens Phase 2

Date: January 5, 2015

Completed By: Jenny Schow, City Planner

Updated:

8-6-010: Final Plat:		Planning Staff Review:
1.	Proposed name of subdivision (to be approved by Planning Commission and County Recorder).	Yes
2.	Accurate angular and linear dimensions for all lines, angles and curves used to describe boundaries, streets, easements, areas reserved for public use, etc.	No, Public Utility Easements are missing from the lots. Typical is 10' rear and front, 7.5' side yard.
3.	Identification system for lots, blocks, and names of streets. Lot lines show dimensions in feet and hundredths.	Clean up street labels and include Public Street below name. Fix lot dimensions on lot 202 and 217
4.	Street addresses shown for each lot as assigned by the City.	No-Update as submitted by the City
5.	True angles and distances to nearest street lines or official monuments as accurately described and shown by appropriate symbol.	Yes
6.	Radii, internal angles, points and curvatures, tangent bearings and the length of all arcs.	Yes
7.	Accurate location of all monuments to be Installed, shown by appropriate symbol.	Refer to City Engineer
8.	Dedication to City of all streets, highways and other public uses and easements included in the proposed subdivision.	Yes
9.	Street monuments shown on Final Plat as approved by City Engineer.	Refer to City Engineer
10.	Pipes or other iron markers shown on the plat.	Refer to City Engineer
11.	Accurate outlines and dimensions of any areas to be dedicated or reserved for public use, with the purposes indicated thereon, and any areas to be reserved by deed or covenant for common use of all property owners.	Yes
12.	All boundary, lot and other geometrics (bearings, distances, curve data etc.) on Final Plat accurate to not less than one part in five thousand (1/5000).	Refer to City Engineer
13.	Location, function, ownership and manner of maintenance of common open space not reserved or dedicated for public use.	Maintenance Agreement for Storm Detention will be required prior to recording.
14.	Legal boundary description of the subdivision and acreage included.	Yes
15.	Current inset City map showing location of subdivision.	Yes
16.	Standard signatures forms/boxes reflected on the Final Plat as designated by City Code	Yes

8-6-020: Final Plan and Profile	See Engineer Review
--	----------------------------

Conditional Items of Final Plan Approval	
1.	
2.	

Conditional Items of Final Plan Approval for Preconstruction	
1.	Construction Drawing Prints and PDF files
2.	Schedule a preconstruction meeting
3.	Bond estimate using the City template
4.	Final Inspection Fees as calculated in the approved bond estimate
5.	Offsite Improvement Agreement
6.	BMP Facilities Maintenance Agreement (Parcel A)
7.	Streetlight Agreement
8.	SWPPP NOI
9.	SWPPP City Permit
10.	Fugitive Dust Control Plan

Conditional Items of Final Plan Approval for Recording	
1.	Escrow Agreement
2.	Water Shares
3.	Title Report - must be dated within 30 days of recording
4.	Recording fees: \$37/page +\$1/lot and any common space as well as \$1/land-owner signatures over two



General Plan Amendment 1000 W 1900 S Wright Development Group





COUNCIL AGENDA

July 28, 2015

Agenda Item #10

West Davis Corridor Letter

Factual Summation

- Any question regarding this agenda item may be directed at Brody Bovero, City Manager.
- At the July 14th City Council meeting, the Council expressed a desire to discuss the West Davis Corridor in preparation of the expected Record of Decision by UDOT, and possibly review, reaffirm, or edit the previous letter issued by the City regarding the Shared Solutions alternative.
- In a meeting with Councilmember Lisonbee and Mayor Palmer, it was decided that the best course of action would be to discuss the West Davis Corridor and address the upcoming issues related to the expected Record of Decision.
- Councilmember Lisonbee asked the other Councilmembers to send their comments to the City Manager in order to provide direction in the drafting of a letter to UDOT.
- Based on the input received from Councilmembers Lisonbee and Gailey as of Wednesday, July 22nd, City Manager Brody Bovero has drafted the attached letter for the Council's consideration.
- Also included for reference are the minutes of the March 10 City Council meeting during which a similar item was discussed.



Mayor
Terry Palmer

City Council
Brian Duncan
Mike Gailey
Craig Johnson
Karianne Lisonbee
Douglas Peterson

City Manager
Brody Bovero

July 28, 2015

Carlos M. Braceras, Director
Utah Department of Transportation
4501 South 2700 West
Salt Lake City, Utah 84114

Randy Jefferies, Project Manager
UDOT West Davis Corridor EIS
466 North 900 West
Kaysville, Utah 84037

Re: West Davis Corridor

Dear Mr. Braceras and Mr. Jefferies,

In light of the expected Record of Decision for the West Davis Corridor, the Syracuse City Council would like to present its strongly held concerns regarding the impact of the highway through our City.

The impacts of a limited access highway through the middle of our City will no doubt create a physical division in our community, making it more difficult for our residents, both young and old, to traverse across neighborhoods as they have been able to for decades. If an alternative exists that would provide the regional transportation need without a limited access highway, the City would be interested in this. While the City did not agree with all of the Shared Solutions alternative, and in particular the assumed requirement that the City would effectively forfeit its future land use decision-making powers to make it happen, the idea of an alternative to the highway is of interest to this City Council.

The City respects UDOT and the NEPA process, and recognizes that the decision of the WDC rests with the State. Should the highway alternative be chosen, the City will be supportive; but with grave concerns regarding the impacts to our neighborhoods as it relates to noise, unsightly road design and landscaping, exhaust, and accessibility across the highway.

In addition, Syracuse City has made a substantial investment in its trail systems and bike route program to make it one of the most bike and pedestrian friendly cities in Davis

County. Included in these trail systems are the associated natural landscapes and views of west Davis County and Antelope Island, which has become an iconic hallmark of our City and a draw to our City that provides economic benefits. Through careful design, it is our expectation that UDOT will incorporate and protect these resources along with the implementation of a highway.

While Syracuse City will accept the highway if such decision is made, this City Council has an expectation that UDOT will not only construct the highway with great sensitivity to Syracuse City, but to all the communities that will be bisected by its structure.

Syracuse City will continue to encourage UDOT, the State Legislature, and the other affected cities, to work together in ensuring that the roadway design mitigates the potential negative impacts typically brought by a limited-access highway.

The City Council desires to continue working with the surrounding municipalities in a cooperative manner to solve land use and transportation issues. A large transportation investment such as the proposed West Davis Highway would become a lasting landmark on this region. We owe it to ourselves and future generations to ensure that such a structure is built with the appropriate sensitivities in mind.

Respectfully submitted,

Terry Palmer
Mayor, Syracuse City

Cc: State Senator Jerry Stevenson
State Representative Curtis Oda
State Representative Brad R. Wilson
Davis County Commission
Weber County Commission
Mayor and Council of Centerville City
Mayor and Council of Farmington City
Mayor and Council of Layton City
Mayor and Council of Kaysville City
Mayor and Council of West Point City
Mayor and Council of Clinton City
Mayor and Council of Roy City
Mayor and Council of Hooper City

[9:01:01 PM](#)

11. Recommendation on the Shared Solution Proposal.

A staff memo from the Community and Economic Development Department explained the Shared Solution Coalition has approached Davis County municipalities with an alternative proposal to the West Davis Corridor Highway. The Utah Department of Transportation has asked these Cities to determine if the Shared Solution land use assumptions are reasonable and feasible for Syracuse City. If the cities indicate that the Shared Solution land use assumptions are feasible and reasonable, UDOT will run additional tests to see if the other assumptions made by Shared Solutions are also feasible and reasonable. If the Shared Solutions alternative passes the additional testing, it would become Scenario #47. If UDOT then indicates that #47 would become the preferred alternative, UDOT will be returning to the cities requiring them to amend their land uses to reflect the Shared Solutions alternative before the final determination can be made on the selection of the preferred scenario and final decision. The current objective is to determine if the Shared Solution land use assumptions are reasonable and feasible for Syracuse City through resolution at the March 10, 2015 City Council Meeting. The Syracuse City Planning Commission voted unanimously during their February 17, 2015 regular meeting to recommend denial to the City Council for the Shared Solution land use proposal and have determined that it is not reasonable and feasible for Syracuse City.

[9:01:05 PM](#)

Mr. Bovero reviewed the staff memo and read a draft letter indicating the City's position on the Shared Solution.

“Dear Mr. Braceras, Mr. Jefferies and Mr. Borgenicht,

The Shared Solution Coalition has presented the Syracuse City Mayor, Council, Planning Commission and staff with an alternative proposal to the West Davis Corridor Highway. The Utah Department of Transportation has asked for a determination if the Shared Solution land use assumptions are reasonable and feasible for Syracuse City and if the City would incorporate the land use scenario into the general plan and zoning map, should this alternative be selected by UDOT based upon a complete Environmental Impact Study.

The City Council does not believe the proposed land use changes are in harmony with the current General Plan for Syracuse City, and does not agree that the City would change its General Plan and Zoning Ordinance to accommodate the proposed land use.

Based on transportation studies conducted by the City, the Council has real concerns with the impacts on the City's local road network, and the additional demands that will be placed on local road capacities, should the Shared Solutions proposal be implemented.

The City Council desires to continue working with the surrounding municipalities in a cooperative manner to solve land use and transportation issues, but does not agree that the proposed land use solution brought by Shared Solutions is best for the general health, safety, and welfare of the public in Syracuse City.

Respectfully submitted,

Terry Palmer
Mayor, Syracuse City”

[9:03:15 PM](#)

COUNCILMEMBER DUNCAN MADE A MOTION TO AUTHORIZE THE MAYOR TO EXECUTE THE LETTER INDICATING THE CITY'S POSITION REGARDING THE SHARED SOLUTION. COUNCILMEMBER GAILEY SECONDED THE MOTION.

[9:03:48 PM](#)

Councilmember Duncan stated he is not opposed to the Shared Solution concept, but he feels the concept has been co-opted by another party that is seeking to control the way Syracuse City is zoned and planned for the future. He is willing to work with other cities and UDOT to come up with solutions that solve transportation problems without giving up control of planning the future of the City. Councilmember Johnson agreed and clarified that the City is also not endorsing the West Davis Corridor proposal. Councilmember Peterson agreed as well.

City Council Regular Meeting
March 10, 2015

9:05:20 PM

Mayor Palmer stated there has been a motion and second regarding the letter and he called for a vote: ALL VOTED IN FAVOR.



COUNCIL AGENDA

July 28, 2015

Agenda Item #11

Proposed Resolution appointing Paul Roberts as the Syracuse City Attorney.

Factual Summation

- Any question regarding this agenda item may be directed at City Manager Bovero or Mayor Palmer.
- The Mayor has extended a conditional offer to Paul Roberts for the City Attorney position. This was following two rounds of interviews that involved attorneys from Clearfield and Layton cities, Councilmember Peterson, City Manager Brody Bovero, and Shauna Greer. The second round of interviews also included Councilmember Lisonbee, Mayor Palmer, Cassie Brown, and Garret Atkin.

RESOLUTION NO. R15-26

A RESOLUTION OF THE SYRACUSE CITY COUNCIL APPOINTING A CITY ATTORNEY FOR SYRACUSE CITY.

WHEREAS, the position of City Attorney was created by Section 2.06.050 of the Syracuse City; and

WHEREAS, Section 2.06.050 of the Syracuse City Code includes the Attorney position in the list of positions that must be appointed by the Mayor with advice and consent of the City Council; and

WHEREAS, Paul Roberts desires to work as the City Attorney of Syracuse City and the Administration, Mayor, and Council have found that he possesses the necessary skills, abilities and qualifications to do so.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, AS FOLLOWS:

Section 1. Appointment:

- The Syracuse City Mayor, with advice and consent of the Council, hereby appoints Paul Robers to serve as the City Attorney pursuant to the City's Ordinances, Rules and Regulations.

Section 2. Severability. If any section, part or provision of this Resolution is held invalid or unenforceable, such invalidity or unenforceability shall not affect any other portion of this Resolution, and all sections, parts and provisions of this Resolution shall be severable.

Section 3. Effective Date. This Resolution shall become effective immediately upon its passage.

PASSED AND ADOPTED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, THIS 28th DAY OF JULY, 2015.

SYRACUSE CITY

ATTEST:

Cassie Z. Brown, City Recorder

By: _____
Terry Palmer, Mayor